

Chief Executive Officer

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director

Lorraine Cochran-Johnson

Juliana Njoku

Application for Certificate of Appropriateness

Date submitted: _____

Date Received: _____

Address of Subject Property: _____

Applicant: _____

E-Mail

Applicant Mailing Address: _____

Applicant Ph

Applicant's relationship to the owner: Owner ☐

Architect ☐

Contractor/Builder ☐

Other ☐

Owner(s): _____

Email

Owner(s): _____

Email:

Owner(s) Mailing Address: _____

Owner(s) Telephone Number

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

New construction ☐

New Accessory Building ☐

Other Building Changes ☐

Demolition ☐

Landscaping ☐

Other Environmental Changes ☐

Addition ☐

Fence/Wall ☐

Other ☐

Moving a Building ☐

Sign Installation ☐

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. **All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pyjennings@dekalbcountyga.gov. An incomplete application will not be accepted.**

Signature of Applicant: _____

Decision of the DeKalb County Historic Preservation Commission

Name of Applicant: Susan Habib

Address of Property: 1343 Briarcliff Road

Date(s) of hearing if any: November 17, 2025

Case Number: 1247855

☒ **Approved** ☐ **Denied** ☐ **Deferred**

Approval: The Historic Preservation Commission, having considered the submissions made on behalf of the applicant and all other matters presented to the Preservation Commission finds that the proposed change(s) will not have a substantial adverse effect on the aesthetic, historic, or architectural significance and value of the historic district and hereby approves the issuance of a certificate of appropriateness.

Any conditions or modifications are shown below.

☒ Pursuant to Code of DeKalb County, § 13.5-8(3), the Preservation Commission has considered the historical and architectural value and significance; architectural style; scale; height; setback; landscaping; general design; arrangement; texture and materials of the architectural features involved and the relationship of such texture and materials to the exterior architectural style; pertinent features of other properties in the immediate neighborhood, as prescribed generally by county code and specifically by the district design guidelines.

☒ This application relates to an existing building, pursuant to the authority granted to the Preservation Commission by Code of DeKalb County, § 13.5-8(3), the Preservation Commission has also used the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guideline for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings therein as guidelines. The Preservation Commission finds that all relevant guidelines have been met.

Additional pertinent factors:

Demolish a nonhistoric garage, rear addition, and deck, replacing a driveway, and constructing an addition on the rear of a historic house. A portion of the existing driveway and the entire garage will be completely demolished and will be graded/replaced with sod to address stormwater control issues on the site. Existing retaining walls in the rear of the property will also be removed. The rear addition and deck will be demolished, and a new addition (approx. 470 square feet) and open deck (approx. 196 square feet) will be constructed in their place.

The addition shall comprise two stories and a basement level and will consist of a brick veneer at the basement level matching existing brick siding elsewhere; the ground floor and second-story portions shall be finished with cement board lap siding. New asphalt shingles are proposed on the addition's roof, closely matching existing slate shingles in the front.

Application is approved with conditions or modifications ☐ /without conditions or modifications ☒

Conditions or modifications (if applicable):

Denial: The Preservation Commission has determined that the proposed material changes in appearance would have a substantial adverse effect on the aesthetic, historic or architectural significance and value of the historic property or the historic district ☐ / or, the applicant has not provided sufficient information for the Preservation Commission to approve the application ☐. Specifically, the Preservation Commission finds as follows:

Deferral: The Preservation Commission has deferred action on this application for the following reasons:

The application will be re-heard by the Historic Preservation Commission at its meeting on

_____.

Date: 12/2/25

Signature: 

**Chair, DeKalb County
Historic Preservation Commission**



Dekalb County Historic Preservation Commission

330 Ponce De Leon Avenue, Suite 300

Decatur, GA 30030

(404) 371-2155 or (404) 371-2813 (Fax)

Lorraine Cochran-Johnson
Chief Executive Officer

CERTIFICATE OF APPROPRIATENESS

December 04, 2025

Site Address: 1343 BRIARCLIFF RD
ATLANTA, GA 30306-

Parcel ID: 18-054-02-008

Application Date: November 04, 2025

Applicant: Susan Habib

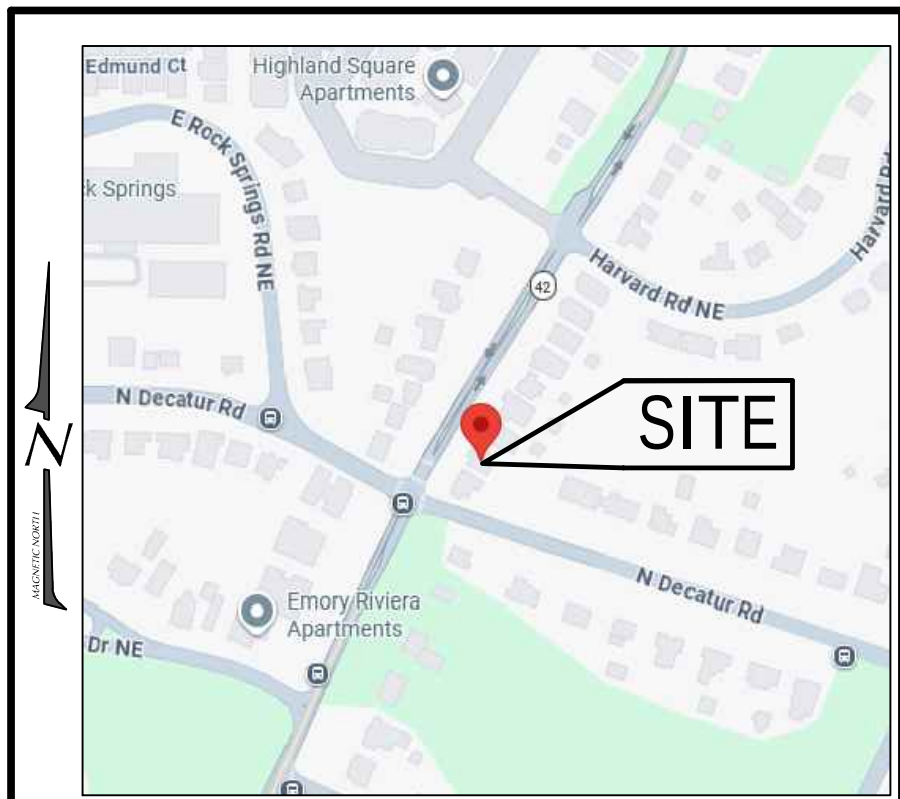
Mailing Address: 1343 Briarcliff Road NE
Atlanta, GA 30306

THIS IS TO ADVISE YOU THAT THE DEKALB COUNTY HISTORIC PRESERVATION COMMISSION, AT ITS REGULARLY SCHEDULED PUBLIC MEETING ON November 17, 2025, REACHED THE FOLLOWING DECISION ON THIS APPLICATION:

ACTION: Approval

Demolish a nonhistoric garage, rear addition, and deck, replacing a driveway, and constructing an addition on the rear of a historic house. A portion of the existing driveway and the entire garage will be completely demolished and will be graded/replaced with sod to address stormwater control issues on the site. Existing retaining walls in the rear of the property will also be removed. The rear addition and deck will be demolished, and a new addition (approx. 470 square feet) and open deck (approx. 196 square feet) will be constructed in their place.

The addition shall comprise two stories and a basement level and will consist of a brick veneer at the basement level matching existing brick siding elsewhere; the ground floor and second-story portions shall be finished with cement board lap siding. New asphalt shingles are proposed on the addition's roof, closely matching existing slate shingles in the front.

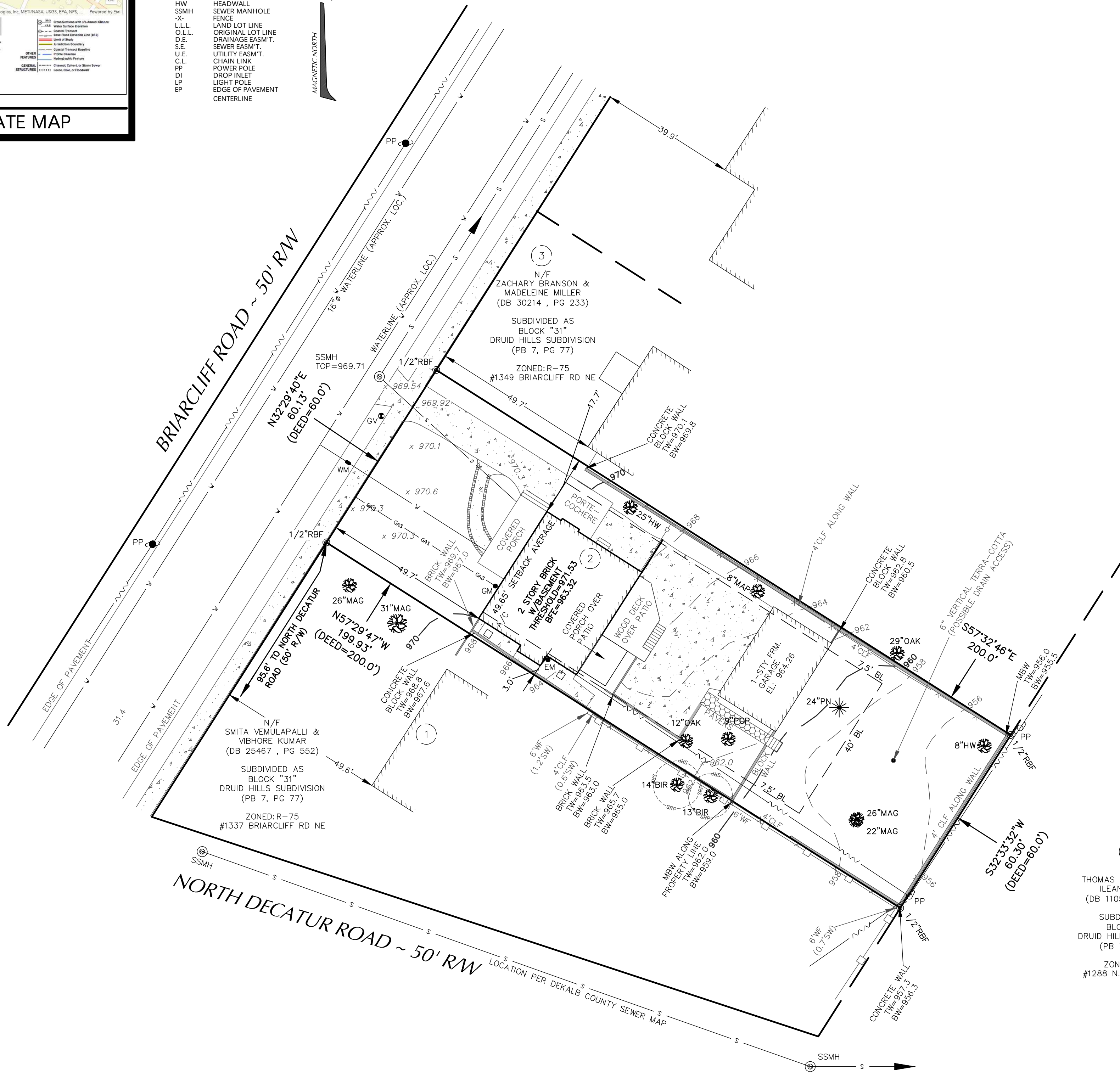


LOCATION MAP



FLOOD INSURANCE RATE MAP

- LEGEND
- IPS IRON PIN SET (1/2" REBAR)
 - RBF REBAR FOUND
 - CTF CRIMP TOP FOUND
 - OTF OPEN TOP FOUND
 - JB JUNCTION BOX
 - R/W RIGHT-OF-WAY
 - B.L. BUILDING LINE
 - PROPERTY LINE
 - CB CATCH BASIN
 - HW HEADWALL
 - SSMH SEWER MANHOLE
 - FENCE
 - LAND LOT LINE
 - O.L.L. ORIGINAL LOT LINE
 - D.E. DRAINAGE EASMT.
 - S.E. SEWER EASMT.
 - U.E. UTILITY EASMT.
 - C.L. CHAIN LINK
 - DI DROP INLET
 - LP LIGHT POLE
 - EP EDGE OF PAVEMENT
 - CENTERLINE



(23)
N/F
THOMAS HOGAN, JR. &
ILEANA HOGAN
(DB 11055, PG 177)
SUBDIVIDED AS
BLOCK "31"
DRUID HILLS SUBDIVISION
(PB 7, PG 77)
ZONED: R-85
#1288 N. DECATUR RD

SITE INFORMATION:

1343 BRIARCLIFF ROAD
TOTAL AREA: 0.28 ACRES
R-75 (DEKALB COUNTY) REQUIREMENTS
DRUID HILLS HISTORIC DISTRICT
LOT WIDTH: 75' FEET MIN.
MINIMUM LOT AREA: 10,000 S.F.
MINIMUM YARD ADJACENT TO PUBLIC STREET:
FRONT YARD: 35 FEET
INTERIOR SIDE YARD SETBACKS: 7.5 FEET
REAR YARD: 40 FEET
MINIMUM FLOOR AREA: 1,800 S.F.
MAXIMUM LOT COVERAGE: 35 PERCENT
MINIMUM PARKING: 2
MAXIMUM BUILDING HEIGHT: 35 FEET

UTILITIES:
GAS - ATLANTA GAS LIGHT CO.
TELEPHONE - AT&T
POWER - GEORGIA POWER

THIS PROPERTY IS NOT LOCATED INSIDE A
DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA
AS PER DEKALB COUNTY FLOOD INSURANCE RATE
MAP #13089C0062K, EFFECTIVE DATE: 8/13/2019.

REVISIONS		DESCRIPTION	
DATE	BY	DATE	BY

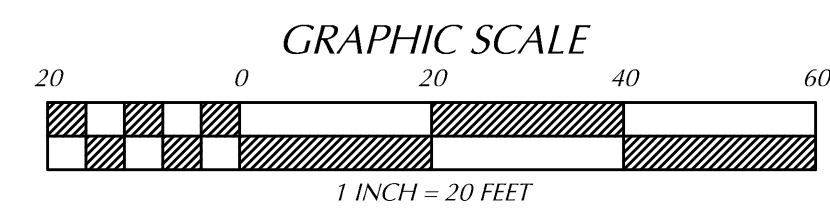
gaddy surveying & design, inc.

1215 Pleasant Hill Road
Lawrenceville, Georgia 30044
Phone - (770) 931-5920
FAX - (770) 931-5903

1343 BRIARCLIFF ROAD NE
LOT 2, BLOCK "31"
DRUID HILLS SUBDIVISION
(PLAT BOOK 7, PAGE 77)
LAND LOT 54 ~ 18TH DISTRICT
DEKALB COUNTY, GEORGIA

DATE	DRAWN	CHECKED
2-27-26	CV	VFG
SCALE: 1" = 20'		
SHEET TITLE		
EXISTING CONDITIONS		

PROJECT NUMBER EHC-25-011
1 DRAWING NUMBER



EXISTING CONDITIONS
SCALE: 1" = 20'

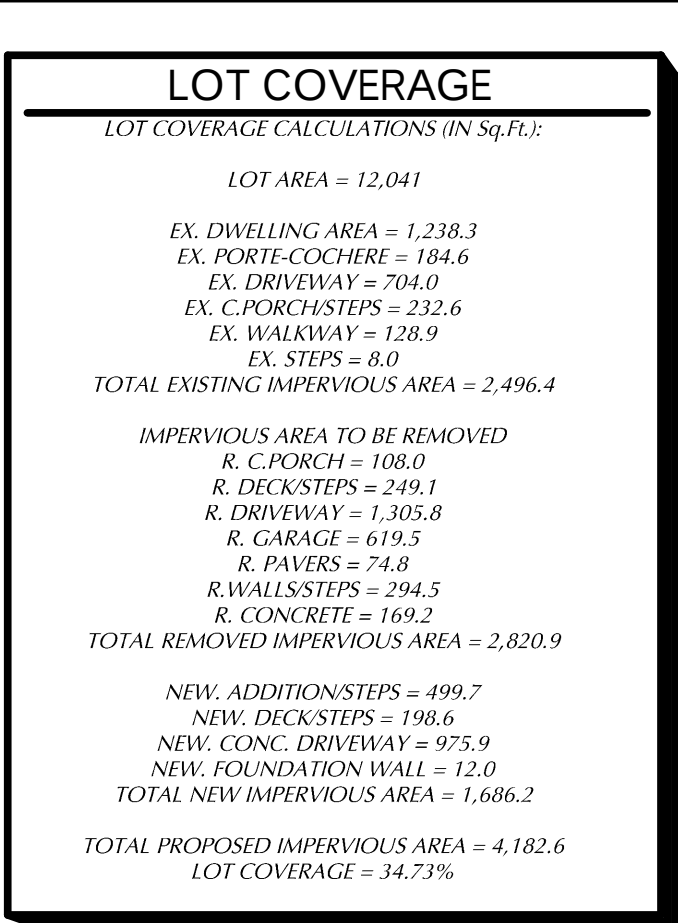
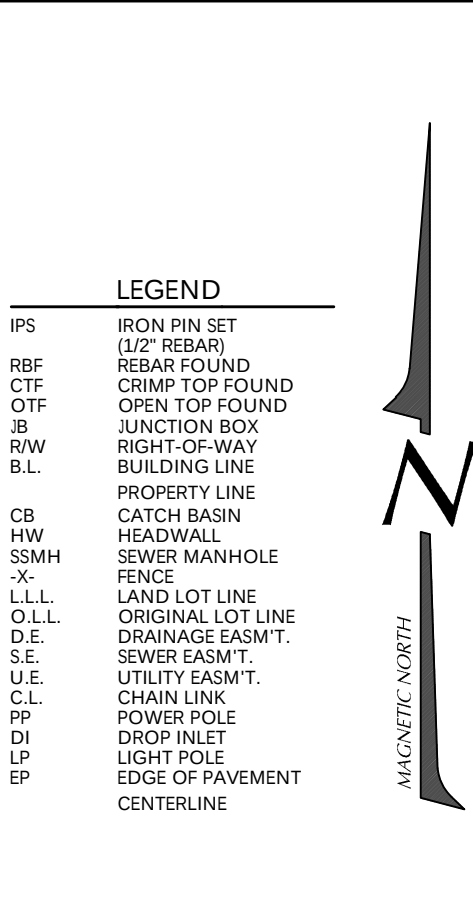
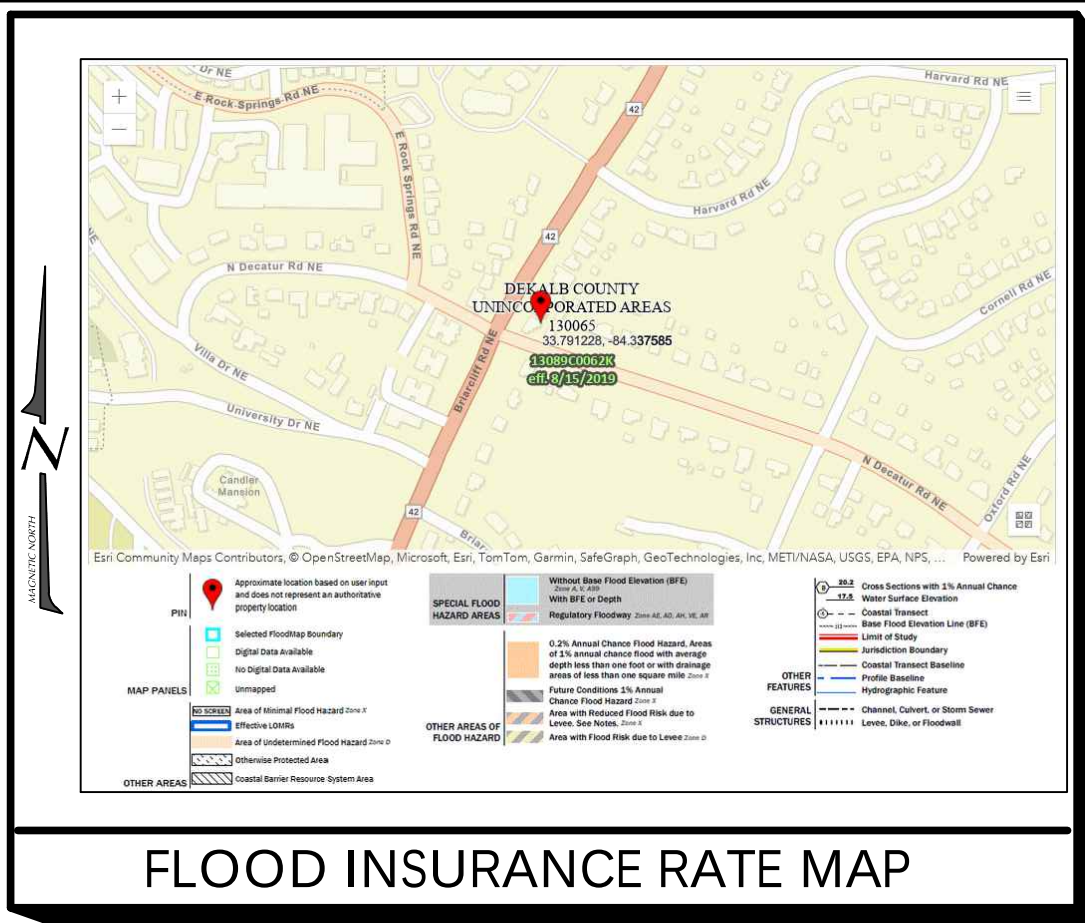
811 Know what's below.
Call before you dig.
Dial 811.
or call 800-282-7411

GSWCC
GEORGIA SOIL AND WATER CONSERVATION COMMISSION
VIRGIL F. GADDY
Level II Certified Design Professional
CERTIFICATION NUMBER 0000004448
ISSUED: 1/6/09 EXPIRES: 1/24/27

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS
PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED
HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY
DIRECT SUPERVISION.
VIRGIL F. GADDY JR. DATE 2/27/26

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 17324
VIRGIL F. GADDY JR.
2/27/26

GEORGIA REGISTERED LAND SURVEYOR
No. 2661
VIRGIL F. GADDY JR.
2/27/26



- EROSION CONTROL MEASURES:
1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
 2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 3. MAINTENANCE STATEMENT - EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.
 4. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
 5. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
 6. VEGETATIVE PLANS - FOR ALL TEMPORARY AND PERMANENT VEGETATIVE PRACTICES WILL INCLUDE: SPECIES, PLANTING DATES, SEEDING, FERTILIZER AND MULCHING RATES.
 7. SILT FENCE SHALL BE "TYPE C" AS PER THE MANUAL FOR EROSION CONTROL AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
 8. SILT FENCE ALSO INDICATES LIMITS OF DISTURBANCE.

SITE INFORMATION:

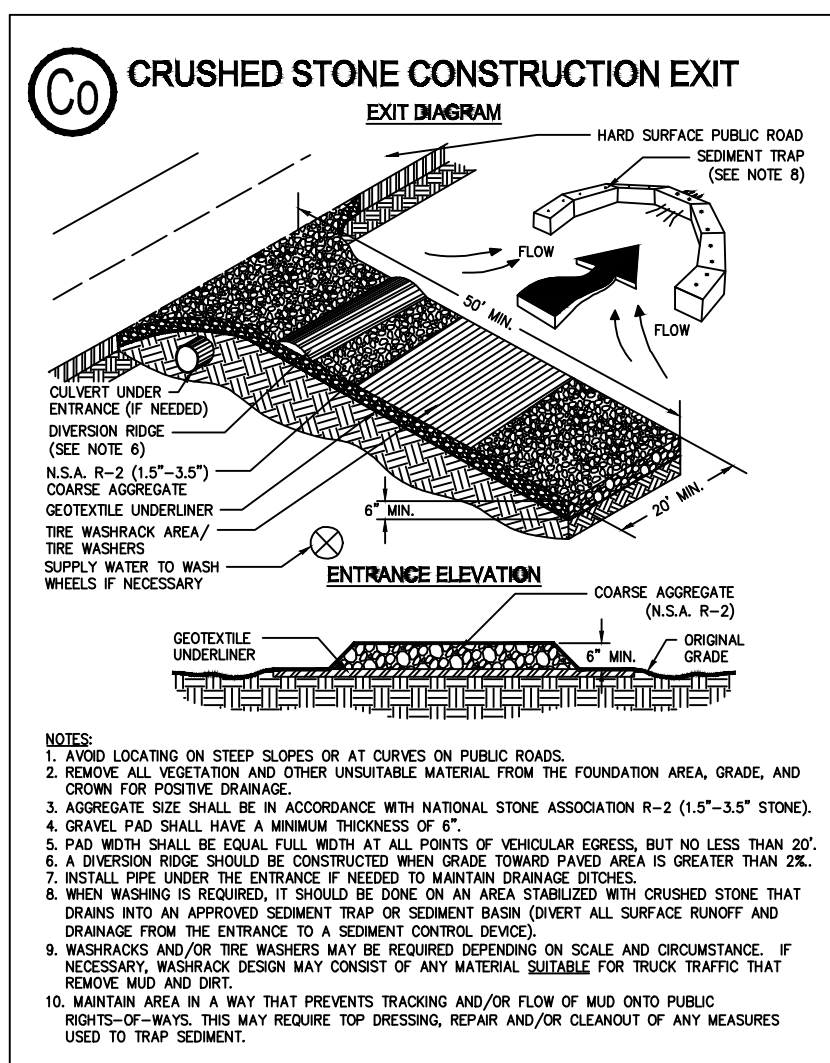
1343 BRIARCLIFF ROAD
TOTAL AREA: 0.28 ACRES

R-75 (DEKALB COUNTY) REQUIREMENTS
DRUID HILLS HISTORIC DISTRICT
LOT WIDTH: 75' FEET MIN.
MINIMUM LOT AREA: 10,000 S.F.
MINIMUM YARD ADJACENT TO PUBLIC STREET:
FRONT YARD: 35 FEET.
INTERIOR SIDE YARD SETBACKS: 7.5 FEET.
REAR YARD: 40 FEET.

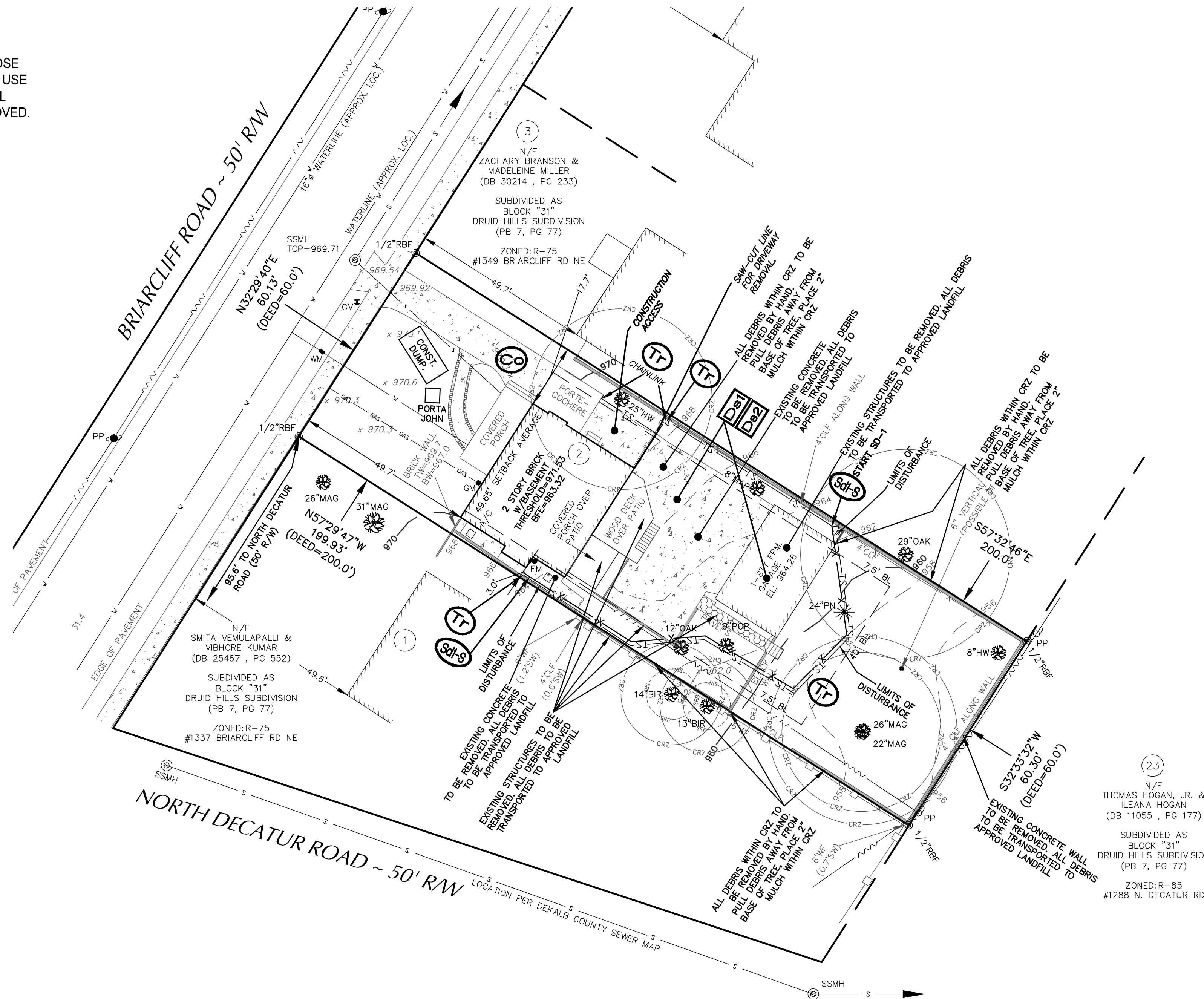
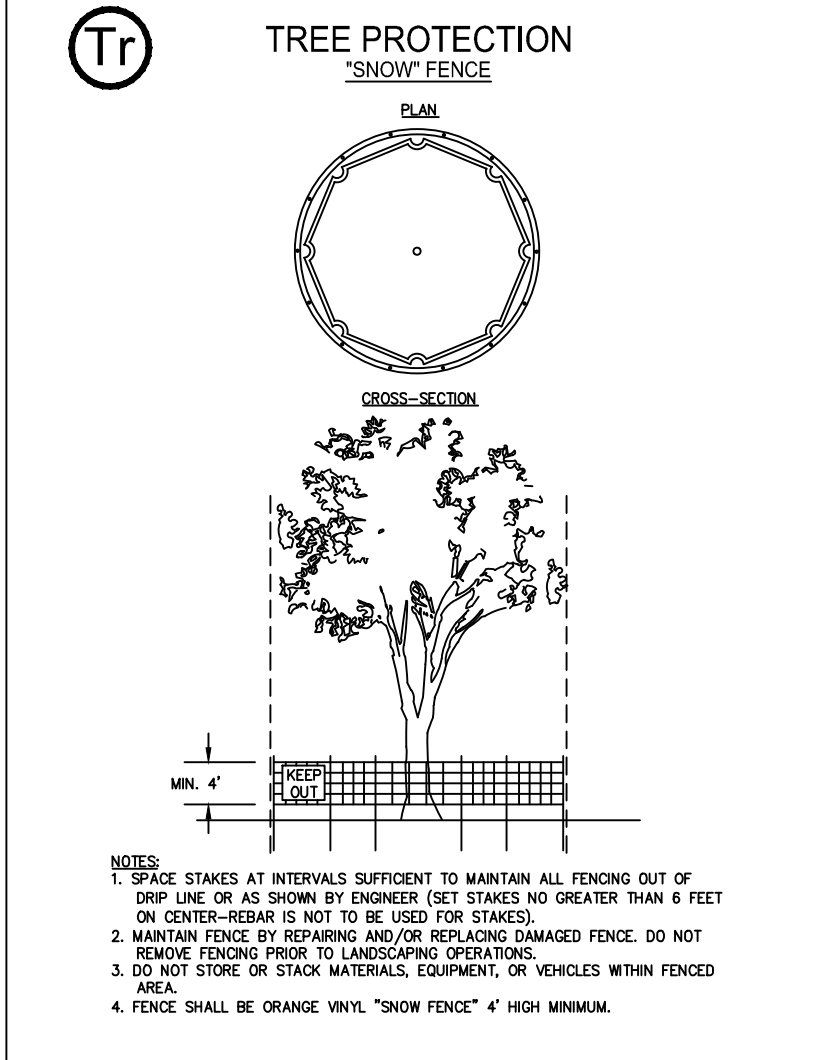
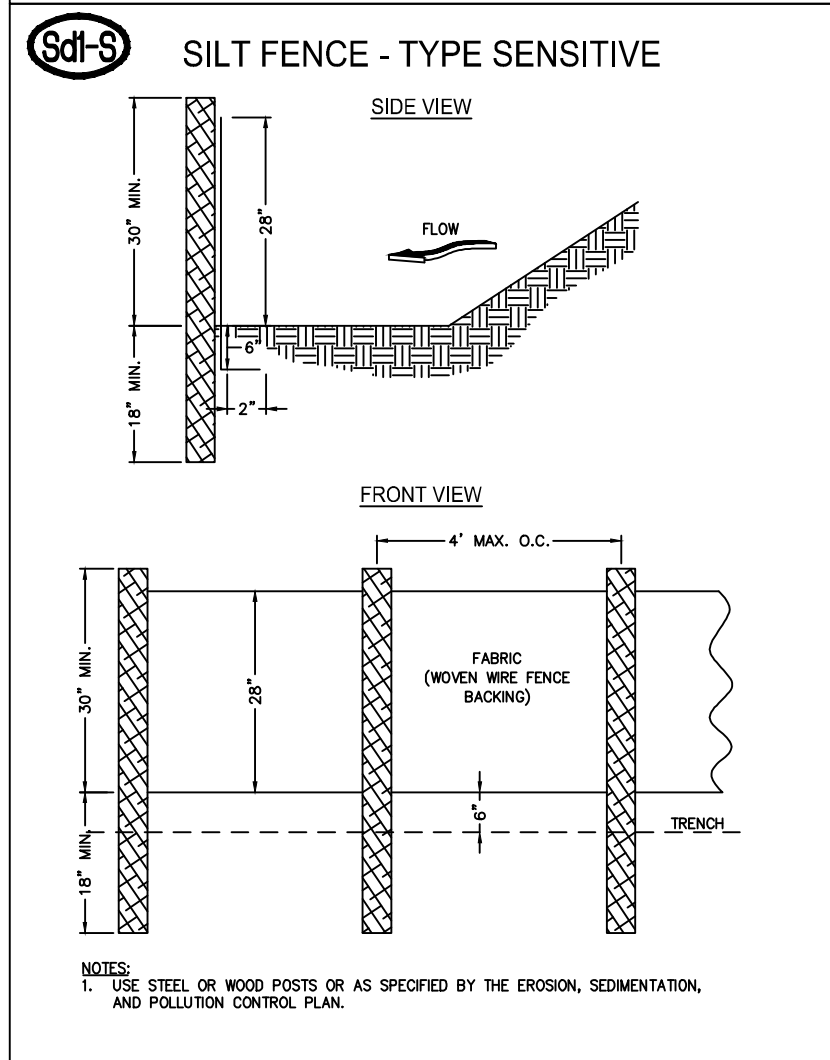
MINIMUM FLOOR AREA: 1,800 S.F.
MAXIMUM LOT COVERAGE: 35 PERCENT
MINIMUM PARKING: 2
MAXIMUM BUILDING HEIGHT: 35 FEET

UTILITIES:
GAS - ATLANTA GAS LIGHT CO.
TELEPHONE - AT&T
POWER - GEORGIA POWER

THIS PROPERTY IS NOT LOCATED INSIDE A DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA AS PER DEKALB COUNTY FLOOD INSURANCE RATE MAP #13089C0062K, EFFECTIVE DATE: 8/13/2019.



ATTACH GARDEN HOSE TO EXISTING HOSE BIB FOR MANDATORY TIRE WASH AREA. USE TEMPORARY CONSTRUCTION EXIT UNTIL FRONT PORTION OF DRIVEWAY IS REMOVED.



DEMOLITION NOTES:

- TOTAL AREA = 0.28 ac
TOTAL DISTURBED AREA = 0.09 ac
TOTAL DEMOLITION DEBRIS = 85 CU. YDS.
- 40 CU. YD. CONSTRUCTION DUMPSTERS TO BE UTILIZED TO HAUL DEMOLITION DEBRIS TO A STATE APPROVED LAND FILL.
- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V ON RESIDENTIAL PROJECTS AND LOTS. ALL OTHER PROJECT SHALL NOT EXCEED 2H:1V.
- ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATES OTHERWISE.
- ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- THERE ARE NO KNOWN EXISTING OR PROPOSED INERT WASTE BURY PITS ON SITE.
- TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER II, SECTION 2-11 AND 2-12 OF THE "MANUAL OF STANDARDS" AS DESCRIBED IN NOTE.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITIES IF ANY UTILITY DISCONNECTION IS REQUIRED, PRIOR TO START OF DEMOLITION.
- CONTACT AT&T @ 770-391-2810 BEFORE STARTING CONSTRUCTION.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING. ALL TREE SAVE FENCE TO BE REPAIRED OR REPLACED AS NEEDED. NO PARKING, STORAGE, OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- DUMPSTER OR ANY ONSITE WASTE DISPOSAL EQUIPMENT MAY NOT BE LOCATED ON THE STREET. IF ADEQUATE TRAFFIC CONTROLS CAN BE IMPLEMENTED, THE PLANNING DEPARTMENT DIRECTOR OR DESIGNEE MAY APPROVE THE PLACEMENT OF DUMPSTER AND ONSITE WASTE DISPOSAL EQUIPMENT ON STREET SO LONG AS THE STREET HAS A PAVED WIDTH GREATER THAN TWENTY-FOUR FEET.
- POTABLE TOILETS SHALL BE LOCATED OFF OF THE RIGHT-OF-WAY AND AT LEAST FIFTEEN (15) FEET FROM ANY SIDE PROPERTY LINE.
- CALL FOR FINAL INSPECTION AT: (404) 371-4913.

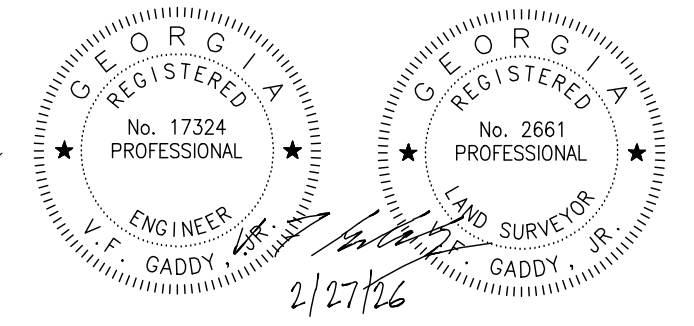
DEMO PERMIT #TBD



I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

2/27/26
DATE

VIRGIL F. GADDY JR.



REVISIONS		DESCRIPTION	
NO.	DATE	BY	

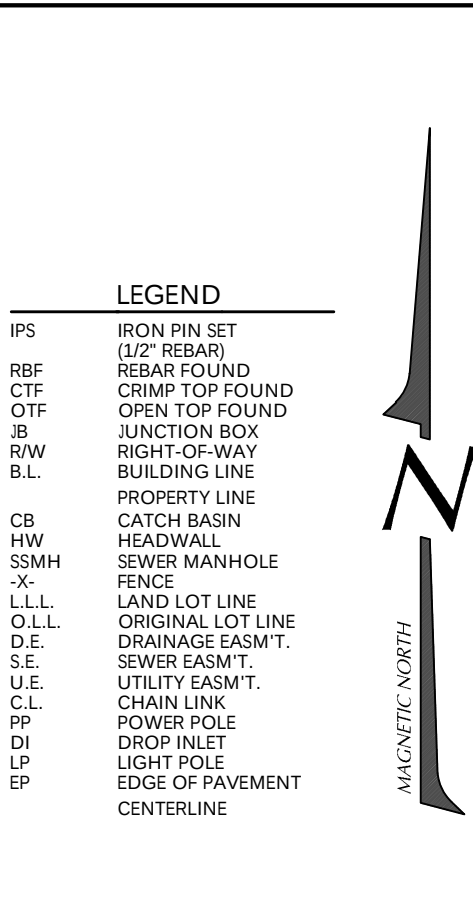
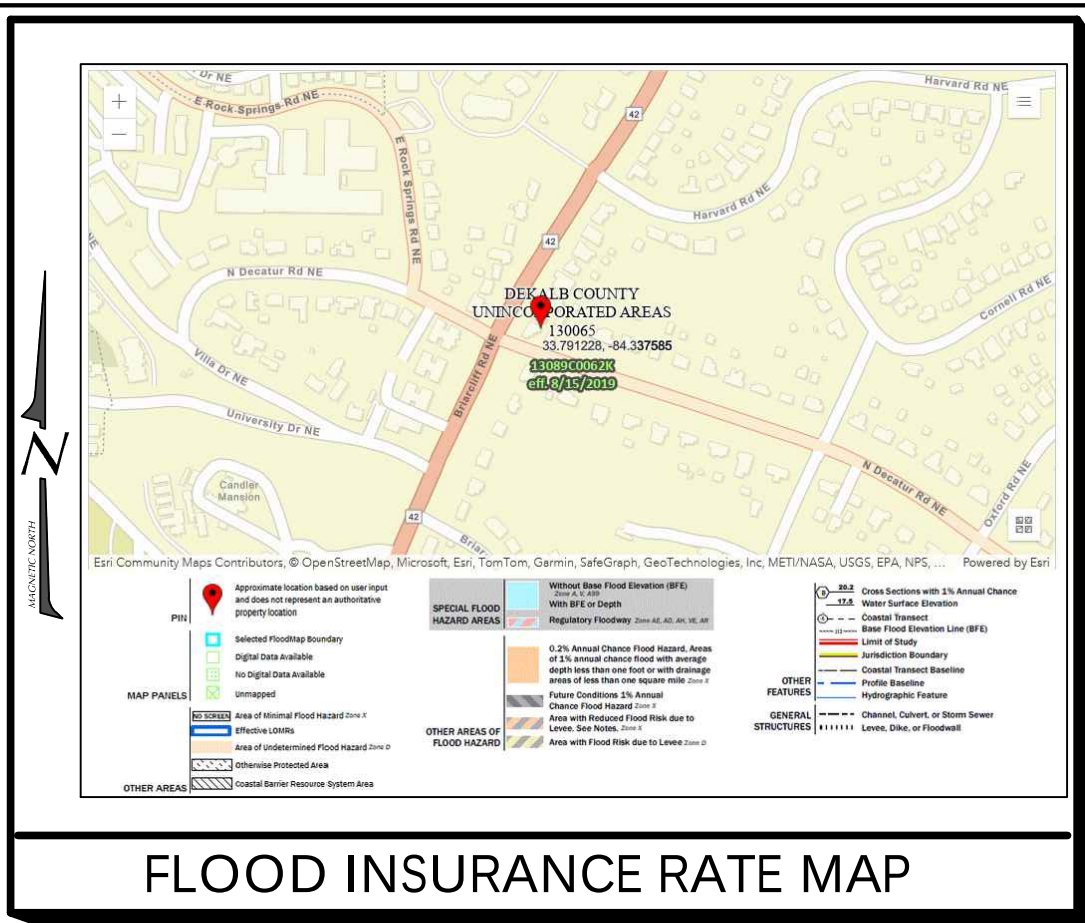
gaddy surveying & design, inc.

1215 Pleasant Hill Road
Lawrenceville, Georgia 30044
Phone - (770) 931-5920
FAX - (770) 931-5903

1343 BRIARCLIFF ROAD NE
LOT 2, BLOCK "31"
DRUID HILLS SUBDIVISION
(PLAT BOOK 7, PAGE 77)
LAND LOT 54 ~ 18TH DISTRICT
DEKALB COUNTY, GEORGIA

DATE	DRAWN	CHECKED
2-27-26	CV	VFG
SCALE: 1" = 20'		
SHEET TITLE		
DEMO PLAN		

PROJECT NUMBER EHC-25-011
D-1 DRAWING NUMBER



LOT COVERAGE

LOT COVERAGE CALCULATIONS (IN Sq.Ft.):

LOT AREA = 12,041

EX. DWELLING AREA = 1,238.3

EX. PORTE-COCHERE = 184.6

EX. DRIVEWAY = 704.0

EX. C/PORCH/STEPS = 232.6

EX. WALKWAY = 128.9

EX. STEPS = 8.0

TOTAL EXISTING IMPERVIOUS AREA = 2,496.4

NEW ADDITION STEPS = 499.7

NEW DECK STEPS = 198.6

NEW CONC. DRIVEWAY = 975.9

NEW FOUNDATION WALL = 12.0

TOTAL NEW IMPERVIOUS AREA = 1,686.2

TOTAL IMPERVIOUS AREA = 4,182.6

LOT COVERAGE = 34.73%

DIRT STATEMENT

CUT = 50 CY

FILL = 10 CY

NET = 40 cu. yd. CUT

TOTAL SITE AREA = 0.28 ac.

LIMITS OF DISTURBANCE = 3,601.0 sq.ft. (0.08 ac.)

WATER QUALITY (RRV)

1,686.2 S.F. < 2,000 S.F.

; THEREFORE, WATER QUALITY (RRV) NOT REQUIRED

TREE CALCULATIONS

SEE SHEET #4 FOR TREE CALCULATIONS AND INFORMATION

- EROSION CONTROL MEASURES:
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - MAINTENANCE STATEMENT - EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTORS.
 - DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
 - VEGETATIVE PLANS - FOR ALL TEMPORARY AND PERMANENT VEGETATIVE PRACTICES WILL INCLUDE: SPECIES, PLANTING DATES, SEEDING, FERTILIZER AND MULCHING RATES.
 - SILT FENCE SHALL BE "TYPE C" AS PER THE MANUAL FOR EROSION CONTROL AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
 - SILT FENCE AND TREE SAVE INDICATES LIMITS OF DISTURBANCE.

SITE INFORMATION:

1343 BRIARCLIFF ROAD

TOTAL AREA: 0.28 ACRES

R-75 (DEKALB COUNTY) REQUIREMENTS

DRUID HILLS HISTORIC DISTRICT

LOT WIDTH: 75' FEET MIN.

MINIMUM LOT AREA: 10,000 S.F.

MINIMUM YARD ADJACENT TO PUBLIC STREET:

FRONT YARD: 35 FEET

INTERIOR SIDE YARD SETBACKS: 7.5 FEET

REAR YARD: 40 FEET

MINIMUM FLOOR AREA: 1,800 S.F.

MAXIMUM LOT COVERAGE: 35 PERCENT

MINIMUM PARKING: 2

MAXIMUM BUILDING HEIGHT: 35 FEET

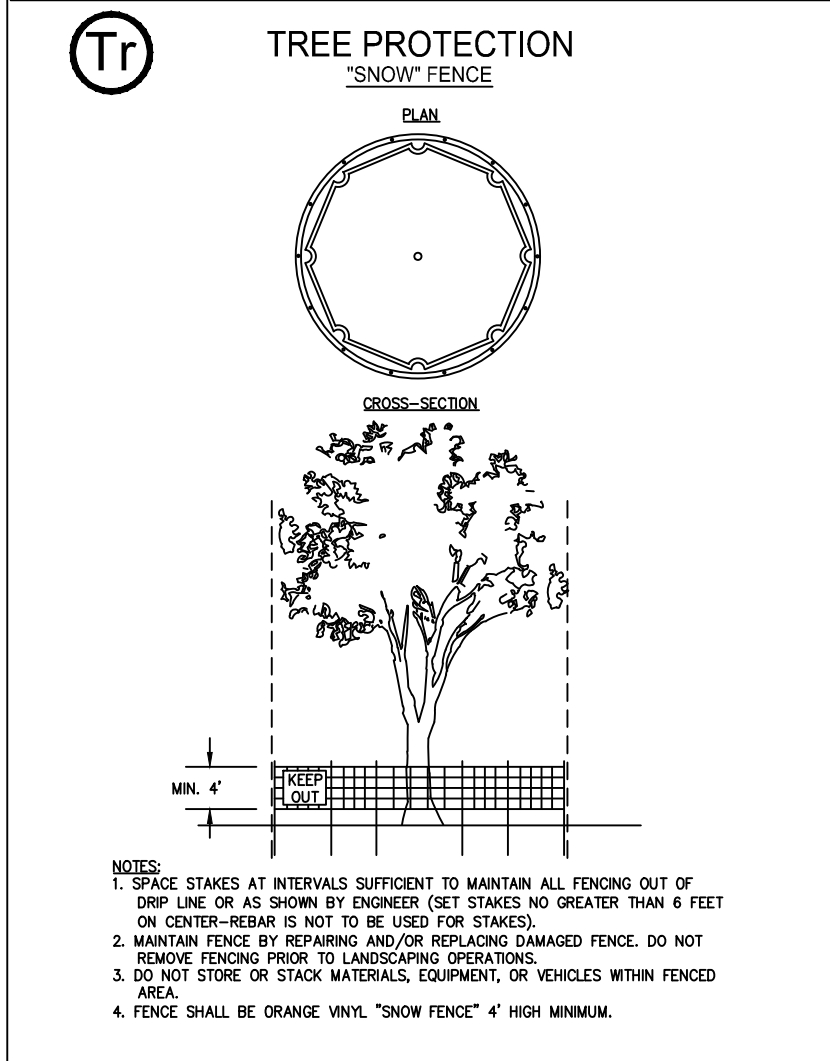
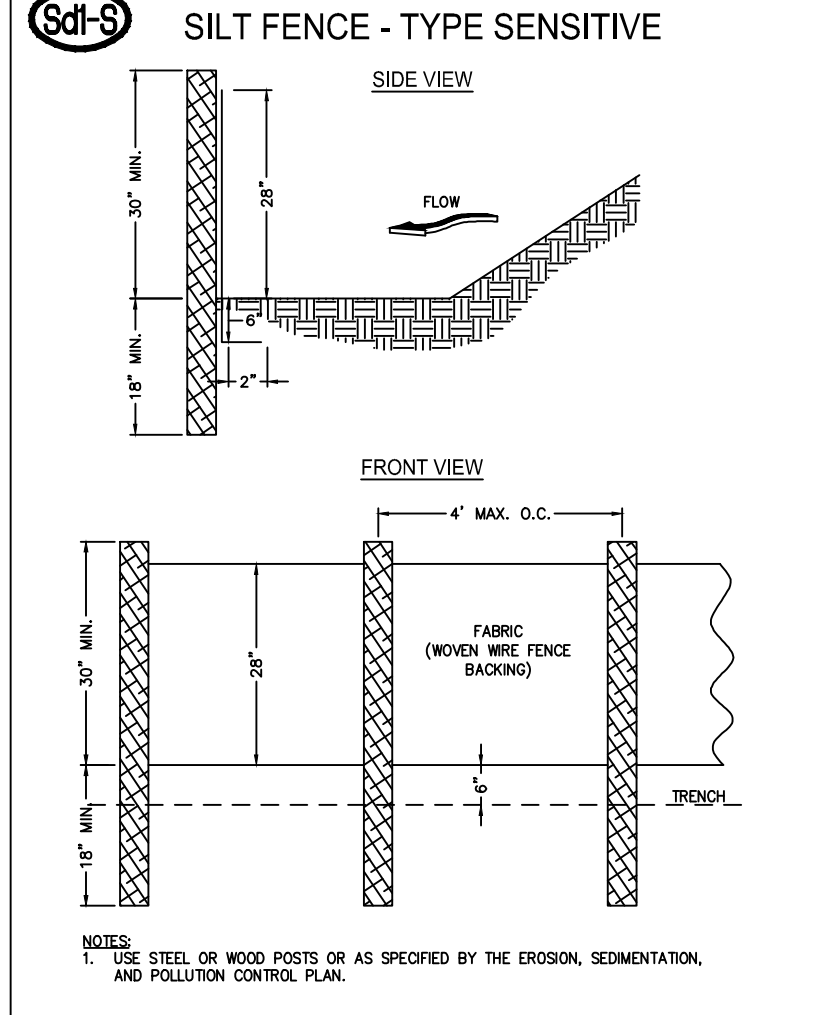
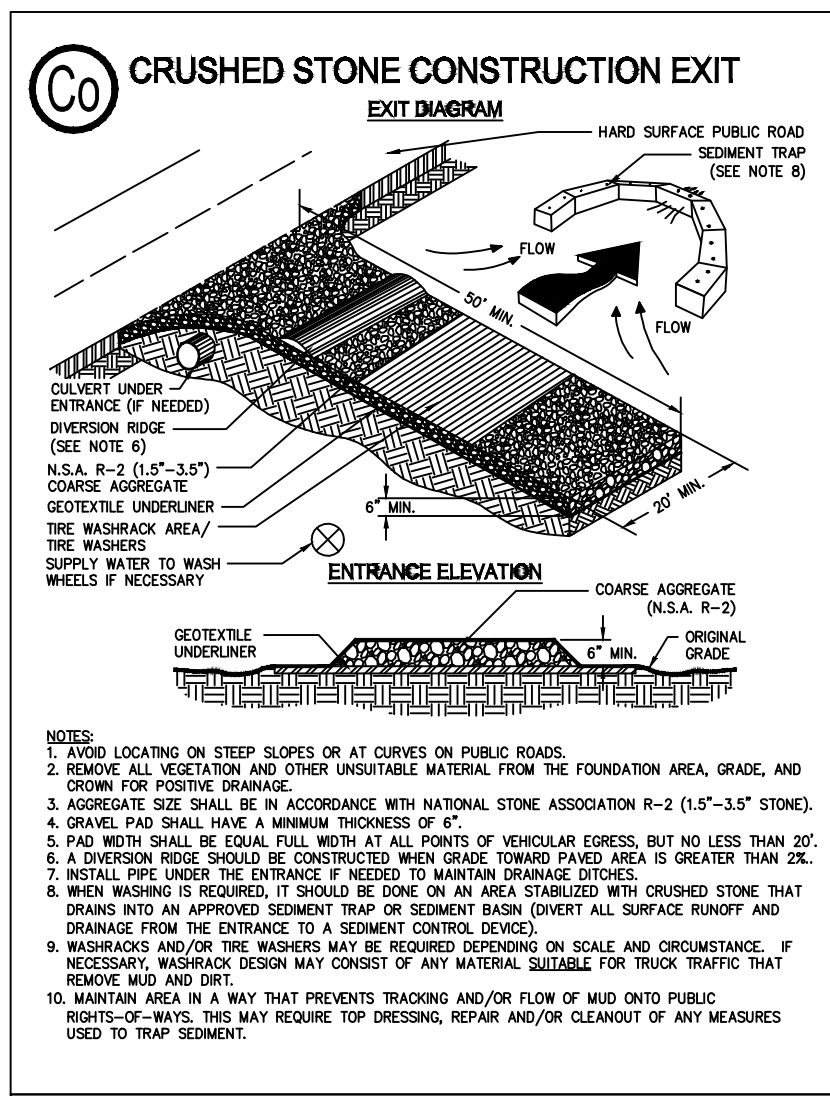
UTILITIES:

GAS - ATLANTA GAS LIGHT CO.

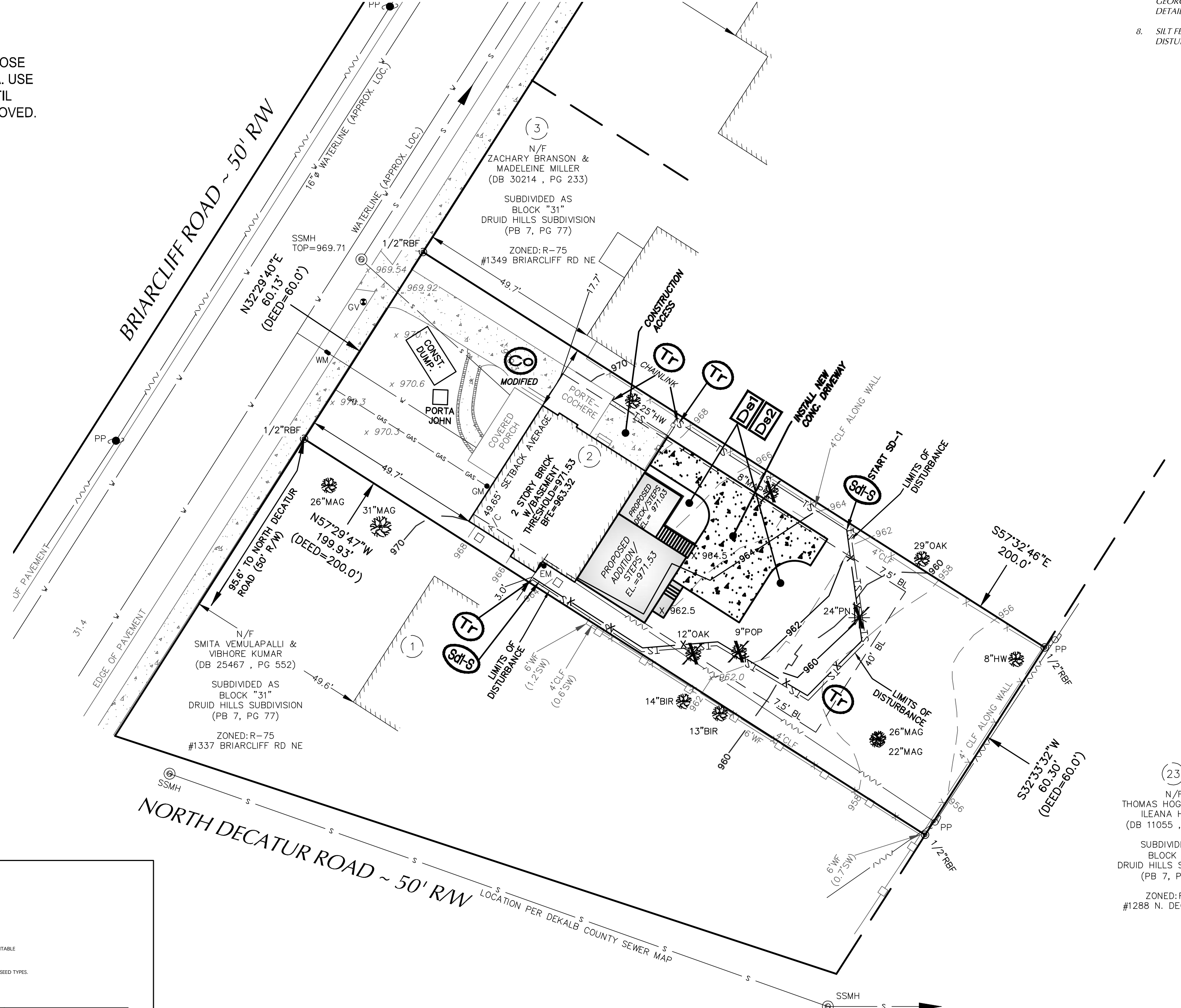
TELEPHONE - AT&T

POWER - GEORGIA POWER

THIS PROPERTY IS NOT LOCATED INSIDE A DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA AS PER DEKALB COUNTY FLOOD INSURANCE RATE MAP #13089C0062K, EFFECTIVE DATE: 8/13/2019.



ATTACH GARDEN HOSE TO EXISTING HOSE BIB FOR MANDATORY TIRE WASH AREA. USE TEMPORARY CONSTRUCTION EXIT UNTIL FRONT PORTION OF DRIVEWAY IS REMOVED.



(23)

N/F THOMAS HOGAN, JR. & LEANA HOGAN (DB 11055 - PG 177)

SUBDIVIDED AS BLOCK "31" DRUID HILLS SUBDIVISION (PB 7, PG 77)

ZONED: R-85 #1288 N. DECATUR RD

GRASSING SCHEDULE (HYDROSEEDING RATES)

MULCHING RATES

TEMPORARY VEGETATION

PERMANENT VEGETATION

SOD PLANTING REQUIREMENTS

FERTILIZER REQUIREMENTS FOR SOD

SPECIES	RATES/1000 S.F.	DATES	LIME	N	P	K	PHOSPHORUS (LB./ACRE)	4" (1")
WINTER RYE	1.5 - 2.0 LB.	10/15/19 - 11/15/19	1 TON/ACRE	60 - 80	120 - 180	120 - 180	120 - 180	120 - 180
WINTER RYE/GRASS	2.0 - 2.5 LB.	10/15/19 - 11/15/19	1 TON/ACRE	60 - 80	120 - 180	120 - 180	120 - 180	120 - 180
WINTER RYE/GRASS	2.0 - 2.5 LB.	10/15/19 - 11/15/19	1 TON/ACRE	60 - 80	120 - 180	120 - 180	120 - 180	120 - 180
WINTER RYE/GRASS	2.0 - 2.5 LB.	10/15/19 - 11/15/19	1 TON/ACRE	60 - 80	120 - 180	120 - 180	120 - 180	120 - 180

GSWCC

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

VIRGIL F. GADDY

Level II Certified Design Professional

CERTIFICATION NUMBER 0000004448

ISSUED: 1/6/09 EXPIRES: 1/24/22

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

1/7/2020

VIRGIL F. GADDY JR.

DATE

REGISTERED PROFESSIONAL ENGINEER

No. 17324

VIRGIL F. GADDY JR.

REGISTERED LAND SURVEYOR

No. 2661

VIRGIL F. GADDY JR.

DATE

REVISIONS

NO.	DATE	BY	DESCRIPTION

gaddy surveying & design, inc.

1215 Pleasant Hill Road

Lawrenceville, Georgia 30044

Phone - (770) 931-5920

FAX - (770) 931-5903

1343 BRIARCLIFF ROAD NE

LOT 2, BLOCK "31"

DRUID HILLS SUBDIVISION

(PLAT BOOK 7, PAGE 77)

LAND LOT 54 ~ 18TH DISTRICT

DEKALB COUNTY, GEORGIA

DATE 2-27-26

DRAWN CV

CHECKED VFG

SCALE: 1" = 20'

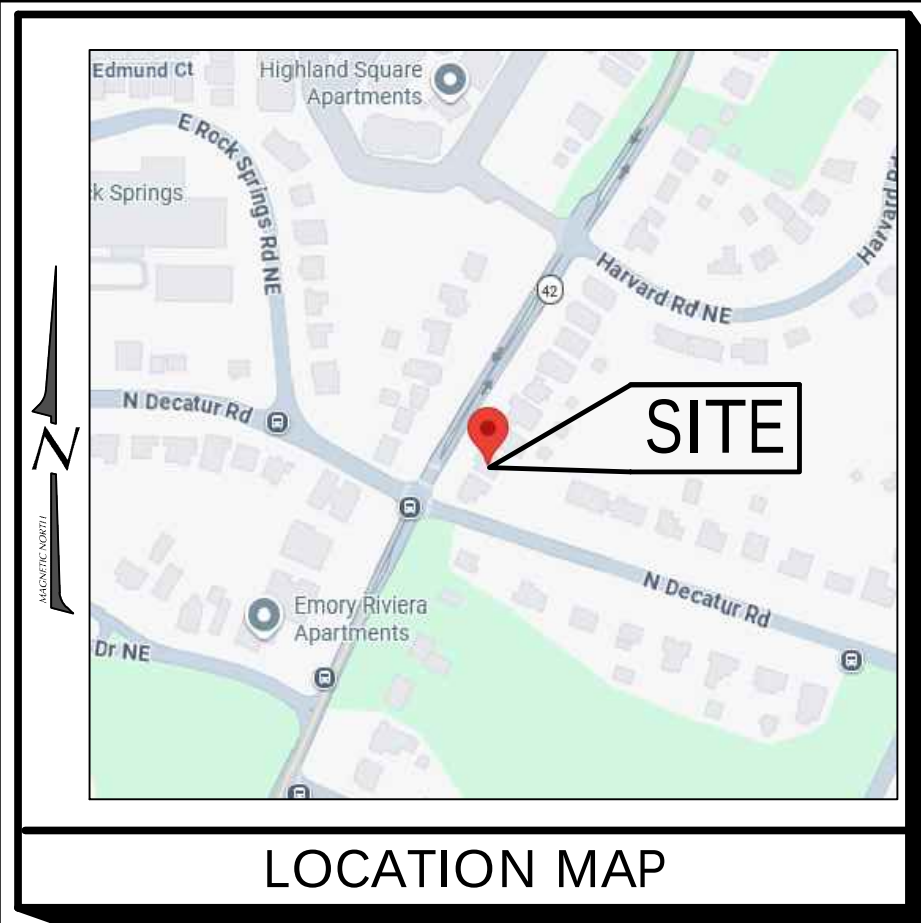
SHEET TITLE

RESIDENTIAL SITE PLAN

PROJECT NUMBER EHC-25-011

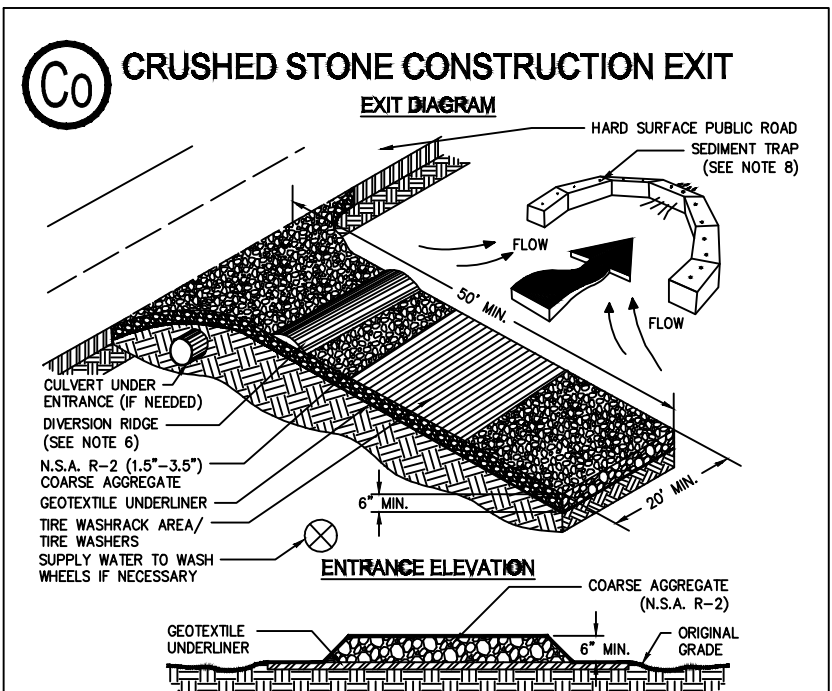
3

DRAWING NUMBER

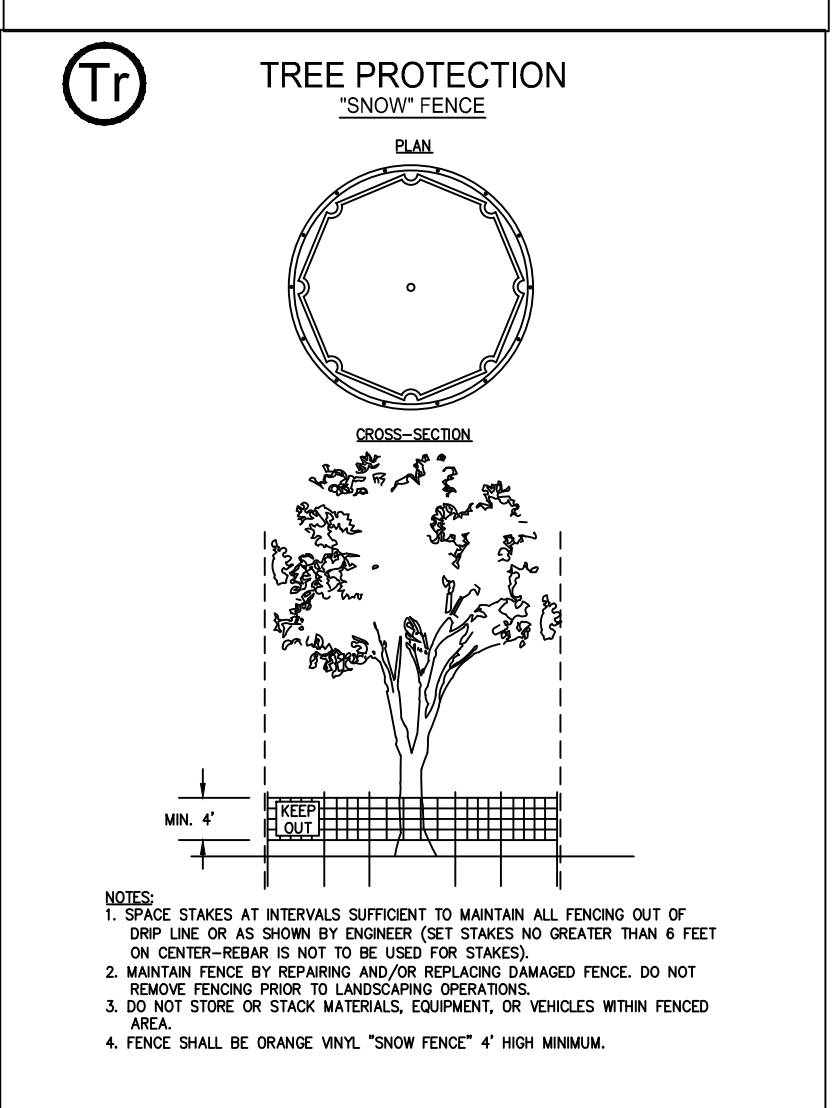
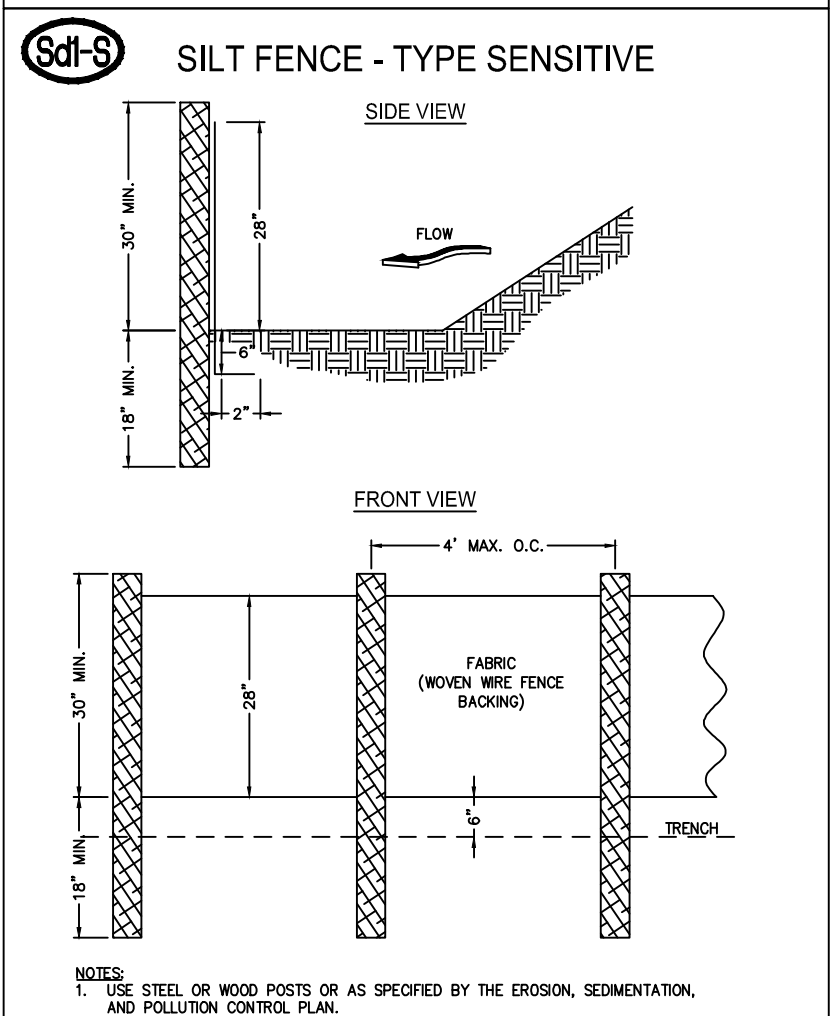


LEGEND

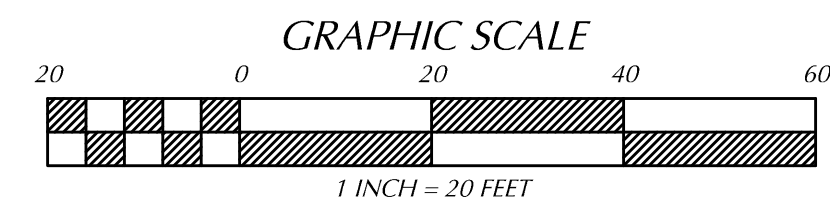
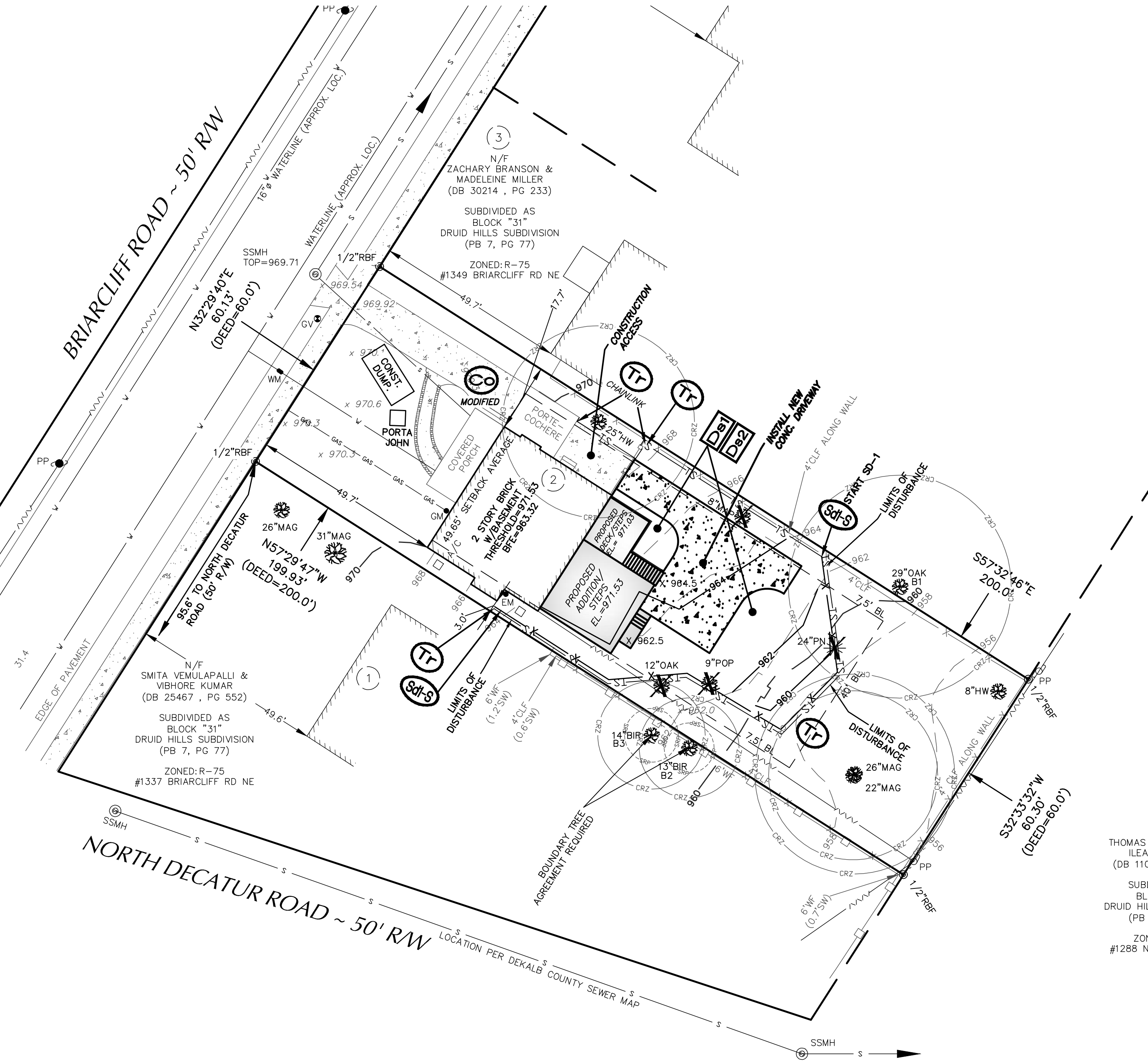
IPS	IRON PIN SET (1/2" REBAR)
RBF	REBAR FOUND
CTF	CRIMP TOP FOUND
OTF	OPEN TOP FOUND
JB	JUNCTION BOX
R/W	RIGHT-OF-WAY
B.L.	BUILDING LINE
CB	CATCH BASIN
HW	HEADWALL
SMH	SEWER MANHOLE
X	FENCE
L.L.L.	LAND LOT LINE
O.L.L.	ORIGINAL LOT LINE
D.E.	DRAINAGE EASMT.
U.E.	UTILITY EASMT.
PP	CHAIN LINK
DI	POWER POLE
LP	DROP INLET
EP	EDGE OF PAVEMENT
	CENTERLINE



- NOTES:
1. ROAD LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND DRAINAGE FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 4".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DRAINAGE HOSE SHOULD BE CONSTRUCTED WHERE GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (OVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TREE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL, SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



ATTACH GARDEN HOSE TO EXISTING HOSE BIB FOR MANDATORY TIRE WASH AREA. USE TEMPORARY CONSTRUCTION EXIT UNTIL FRONT PORTION OF DRIVEWAY IS REMOVED.



TREE PLAN
SCALE : 1" = 20'

LOT COVERAGE

LOT COVERAGE CALCULATIONS (IN Sq.Ft.):

LOT AREA = 12,041
EX. DWELLING AREA = 1,238.3
EX. PORTE-COCHERE = 184.6
EX. DRIVEWAY = 704.0
EX. C.PORCH/STEPS = 232.6
EX. WALKWAY = 128.9
EX. STEPS = 8.0
TOTAL EXISTING IMPERVIOUS AREA = 2,496.4
NEW ADDITION/STEPS = 499.7
NEW DECK/STEPS = 198.6
NEW CONC. DRIVEWAY = 975.9
NEW FOUNDATION WALL = 12.0
TOTAL NEW IMPERVIOUS AREA = 1,686.2
TOTAL IMPERVIOUS AREA = 4,182.6
LOT COVERAGE = 34.73%

SITE INFORMATION:

1343 BRIARCLIFF ROAD
TOTAL AREA: 0.28 ACRES

R-75 (DEKALB COUNTY) REQUIREMENTS
DRUID HILLS HISTORIC DISTRICT
LOT WIDTH: 75' FEET MIN.
MINIMUM LOT AREA: 10,000 S.F.
MINIMUM YARD ADJACENT TO PUBLIC STREET:
FRONT YARD: 35 FEET
INTERIOR SIDE YARD SETBACKS: 7.5 FEET
REAR YARD: 40 FEET

MINIMUM FLOOR AREA: 1,800 S.F.
MAXIMUM LOT COVERAGE: 35 PERCENT
MINIMUM PARKING: 2
MAXIMUM BUILDING HEIGHT: 35 FEET

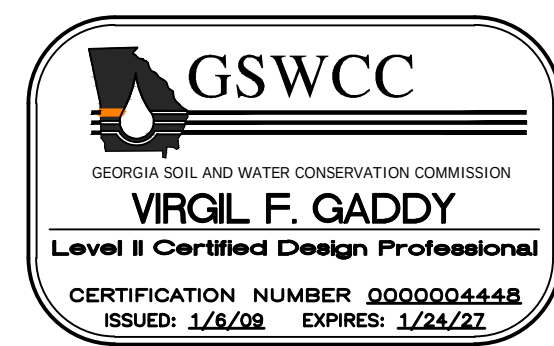
UTILITIES:
GAS - ATLANTA GAS LIGHT CO.
TELEPHONE - AT&T
POWER - GEORGIA POWER

THIS PROPERTY IS NOT LOCATED INSIDE A DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA AS PER DEKALB COUNTY FLOOD INSURANCE RATE MAP #13089C0062K, EFFECTIVE DATE: 8/13/2019.

- DeKALB COUNTY TREE NOTES:**
1. No person engaged in the construction of any structures or improvements or any activity shall encroach or place solvents, material, construction machinery or temporary soil deposits within six(6) feet of the area outside the critical root zone, as defined herein, of any existing significant tree within a Tree-Save Area, transitional or undisturbed buffer zone.
 2. All Tree Fence and other tree protection devices must remain in functioning condition until completion of the project or until the certificate of occupancy is issued.
 3. A tree that is designated to be saved, but is damaged during construction, SHALL be replaced with 4" caliper trees equal to the unit value of the tree removed. Any specimen tree damaged SHALL be replaced with 4" caliper trees equal to 1.5 times the DBH of the damaged specimen tree.
 4. All tree protection areas to be protected from sedimentation.
 5. All tree protection devices, including critical root zone (CRZ) protection, to be installed prior to the start of land disturbance, and maintained until final landscaping.
 6. All tree protection fencing to be inspected daily, and repaired or replaced as needed.
 7. No parking, storage or other construction activities are to occur within tree protection areas (CRZ).
 8. All required vegetation must be maintained for two growing seasons after the date of final inspection.
 9. Apply 2" to 4" mulch on tree CRZ.
 10. NO TREES TO BE REMOVED DURING DEMOLITION.

- EROSION CONTROL MEASURES:**
1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
 2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 3. MAINTENANCE STATEMENT - EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.
 4. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTORS.
 5. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
 6. VEGETATIVE PLANS - FOR ALL TEMPORARY AND PERMANENT VEGETATIVE PRACTICES WILL INCLUDE: SPECIES, PLANTING DATES, SEEDING, FERTILIZER AND MULCHING RATES.
 7. SILT FENCE SHALL BE "TYPE C" AS PER THE MANUAL FOR EROSION CONTROL AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
 8. SILT FENCE AND TREE SAVE INDICATES LIMITS OF DISTURBANCE.

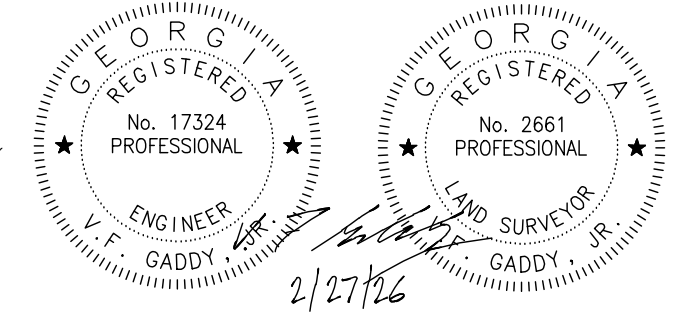
- DeKALB COUNTY SITE NOTES:**
1. The installation of erosion and sedimentation control measures and practices shall occur prior to or concurrent with land disturbing activities.
 2. Erosion & sedimentation control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
 3. Additional erosion and sediment control measures will be installed if deemed necessary by the inspector.
 4. All lotswater with 2" or fill or greater will require a compaction certificate by a professional registered engineer prior to building permit and / or footers being poured.
 5. Locate and field stake all utilities, easements, pipes, flood limits, stream buffer, and tree save areas prior to any land disturbing activities.
 6. All tree protection fence to be protected from sedimentation.
 7. All tree protection devices to be installed prior to land disturbance and maintained until final landscaping.
 8. All tree protection fencing to be inspected daily and repaired or replaced as needed.
 9. A final as-built lot survey required prior to issuance of Certificate of Occupancy/Certificate of Completion.
 10. A final as-built water quality certificate required prior to Certificate of Occupancy/Certificate of Completion.
 11. Dumpsters and/or temporary sanitary facilities shall not be located in street or tree protection area or right-of-way.
 12. Water quality BMP(s) to be installed at the time of final landscaping.
 13. All collected water shall be directed to the water quality BMP(s).
 14. No water quality BMP(s) allowed in undisturbed stream buffers or tree save critical root zone.
 15. Work hours and construction deliveries are:
Monday-Friday 7:00am-7:00pm
Saturday 7:00am-5:00pm
 16. Disturbed areas left idle shall be stabilized with temporary vegetation after 14 days; after 30 days permanent vegetation shall be established.
 17. See chart for all temporary and permanent vegetative practices including species, planting dates, seeding, fertilizer and mulching rates.
 18. Silt fence shall be "Type C" as per the manual for Erosion Control and Sediment Control in Georgia, and be wire reinforced (see attached detail).
 19. There are no known existing or proposed inert waste bury pits on site.
 20. Contact AT&T @ 770-391-2810 before starting construction.
 21. No parking, storage, or other construction activities are to occur within tree protection areas.
 22. Contractor to provide positive 2% slope away from foundation structure at all times.
 23. Refer to DeKalb standard details 709, 710 and 103 for private driveway entrance installation. Driveway must be built per 709 & 103 DeKalb county detail.
 24. Safety restraints are required at the top of walls 30" or more.
 25. Cut and fill slopes shall not exceed 3H:1V on all other projects.
 26. Existing house is connected to existing water line & existing sanitary sewer - no add'l connections are needed.
 27. Overflow from water quality BMP(s) shall not adversely affect adjacent properties.



811 Know what's below.
Call before you dig.
Dial 811.
or call 800-282-7411

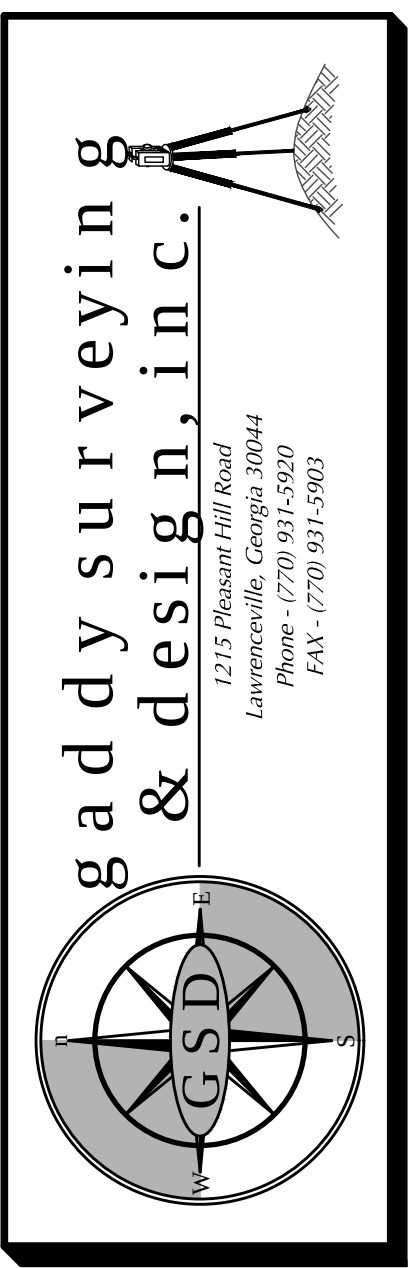
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

1/7/2025
VIRGIL F. GADDY JR.
DATE



REVISIONS

NO.	DATE	BY	DESCRIPTION



1343 BRIARCLIFF ROAD NE
LOT 2, BLOCK "31"
DRUID HILLS SUBDIVISION
(PLAT BOOK 7, PAGE 77)
LAND LOT 54 ~ 18TH DISTRICT
DEKALB COUNTY, GEORGIA

DATE: 2-27-26
DRAWN: CV
CHECKED: VFG
SCALE: 1" = 20'
SHEET TITLE

TREE PLAN

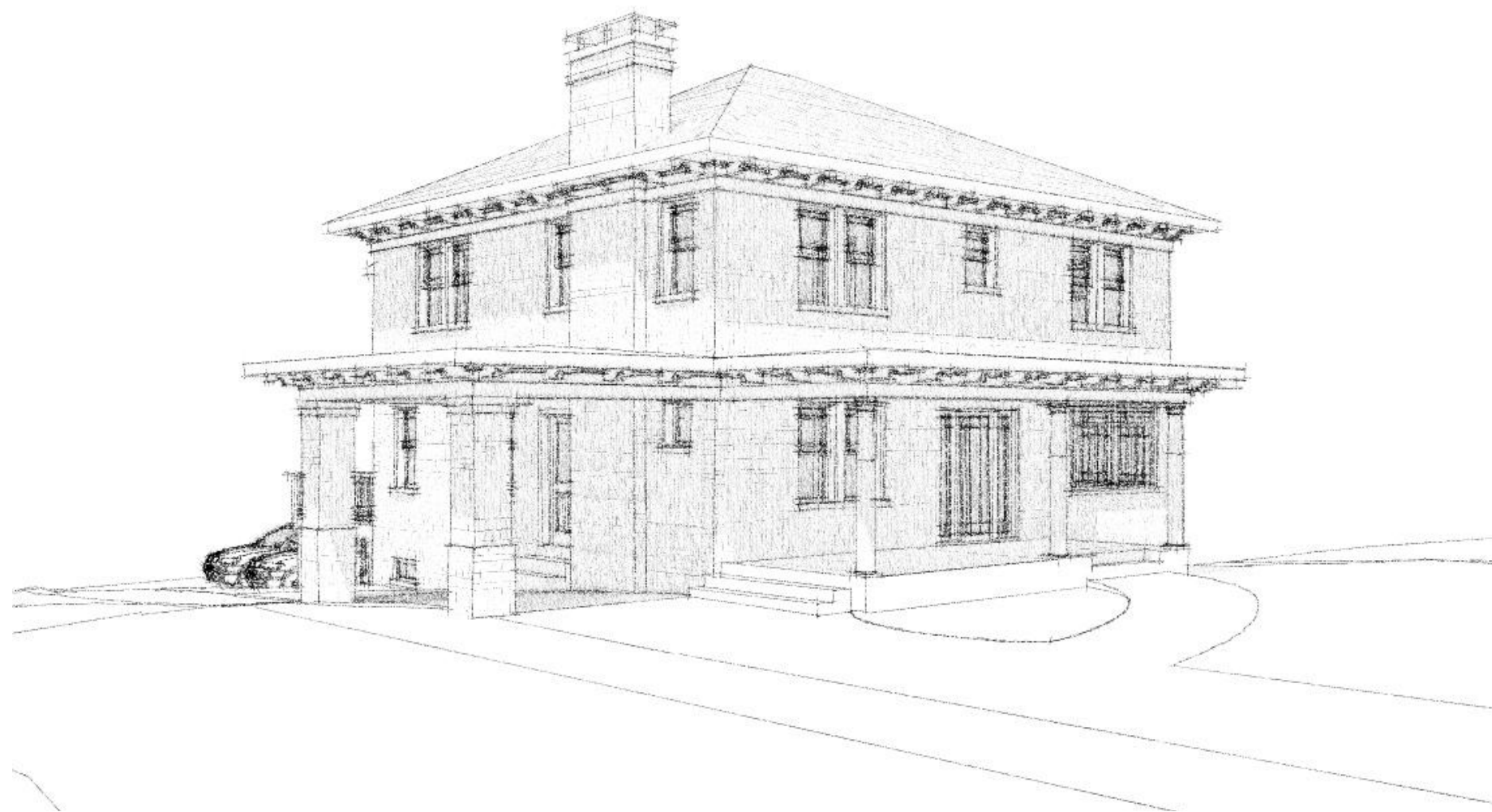
PROJECT NUMBER
EHC-25-011
4
DRAWING NUMBER

HABIB RESIDENCE

DEKALB COUNTY

SINGLE FAMILY DWELLING - RENOVATION

SUSAN & MATTHEW HABIB



GENERAL NOTES:	CODE INFORMATION:	ABBREVIATIONS:	GRAPHIC SYMBOLS:
1. G.C. SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BID. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION TO THE OWNER AND ARCHITECT BY THE G.C. PRIOR TO THE START OF ANY WORK. 2. G.C. SHALL COORDINATE ALL WORK TO BE PERFORMED. G.C. IS TO COORDINATE WORKING HOURS, DELIVERIES, TRASH REMOVAL, STORAGE, ETC. WITH THE OWNER. 3. G.C. SHALL REMOVE ALL DEBRIS AND LEAVE JOB SITE CLEAN UPON COMPLETION OF WORK. 4. G.C. SHALL BEAR FULL RESPONSIBILITY AND COSTS FOR THE FOLLOWING: - ALL PERMITS, LICENSES, AND FEES. 5. PRIOR TO BEGINNING WORK THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. SHOULD DAMAGE OCCUR TO ANY UTILITIES AS A RESULT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR REPAIRS AND ALL COSTS. 6. CONSULT WITH OWNER FOR ALL EQUIPMENT, FIXTURE, & FINISH SELECTIONS. 7. ELECTRICAL CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL ELECTRICAL SYSTEMS, PANELS, AND EQUIPMENT INCLUDING SIZE OF SERVICE AND LOCATION OF EQUIPMENT. ALL OUTLETS AT KITCHEN COUNTERTOPS TO BE AFCI GFCI COMBINATION. 8. MECHANICAL CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL MECHANICAL SYSTEMS INCLUDING SIZE OF DUCTS, TYPE AND SIZE OF MECHANICAL EQUIPMENT AND LOCATION OF ALL EQUIPMENT. 9. PLUMBING CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL PLUMBING SYSTEMS INCLUDING TYPE, SIZE, AND LOCATION OF COMPONENTS ASSOCIATED WITH PLUMBING SYSTEMS	PROJECT DESCRIPTION SINGLE FAMILY DWELLING - RENOVATION JURISDICTION DEKALB COUNTY APPLICABLE CODES INCLUDE AND NOT LIMITED TO: 2018 INTERNATIONAL BUILDING CODE W/ GA AMENDMENTS 2020, 2022, 2024, 2025 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO-FAMILY DWELLINGS W/ GA AMENDMENTS 2020, 2024 2018 INTERNATIONAL PLUMBING CODE W/ GA AMENDMENTS 2020, 2022, 2023, 2024 2018 INTERNATIONAL MECHANICAL CODE W/ GA AMENDMENTS 2020, 2024 2018 INTERNATIONAL FUEL GAS CODE W/ GA AMENDMENTS 2020, 2024 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ GA AMENDMENTS 2020, 2022, 2023 2018 INTERNATIONAL EXISTING BUILDING CODE W/ GA AMENDMENTS 2018 INTERNATIONAL FIRE CODE W/ GA AMENDMENTS (CONTACT STATE FIRE MARSHAL) 2023 NFPA NATIONAL ELECTRICAL CODE W/ GA AMENDMENTS 2021 2018 NFPA LIFE SAFETY CODE W/ 2020 GA AMENDMENTS GEORGIA HANDICAPPED ACCESSIBILITY LAW 120-3-20 FLOOR AREA CALCULATION: SECOND LEVEL 1652 FIRST LEVEL 1694 TOTAL 2801 sq ft BUILDING HEIGHT: TWO STORY: 27'-11" OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENCE OCCUPANT LOAD: N/A CONSTRUCTION TYPE: TYPE VB DESIGN LOADS: FLOOR: LIVE 20psf DEAD 40psf ROOF: LIVE 20psf DEAD 20psf	AFF. ABOVE FINISHED FLOOR ALUM. ALUMINUM C.J. CONTROL JOINT CL. CENTER LINE CLG. CLEAR CLR. CLEAR CO. CARBON MONOXIDE DETECTOR CONC. CONCRETE CONT. CONTINUOUS DS. DOWNSPOUT EJ. EXPANSION JOINT EP. ELECTRICAL PANEL EQ. EQUAL EQUIP. EQUIPMENT EX. EXTERIOR EXT. EXISTING FD. FLOOR DRAIN FFE. FINISH FLOOR ELEVATION G.C. GENERAL CONTRACTOR GALV. GALVANIZED GYP. BD. GYPSUM BOARD MFR. MANUFACTURER N.I.C. NOT IN CONTRACT P.T. PRESSURE TREATED O.C. ON CENTER REV. REVERSE SD. SMOKE DETECTOR SPECS. SPECIFICATIONS TYP. TYPICAL	1 A-1 DETAIL REFERENCE 1 A-1 SECTION REFERENCE 1 A-1 EXTERIOR ELEVATION REFERENCE 1 A-1 INTERIOR ELEVATION REFERENCE

VICINITY MAP



DRAWING INDEX

ARCHITECTURAL

A-1.1	Site Plan
A-1.2	Site Plan
A-2.1	Demolition Plan
A-2.2	Floor Plans
A-2.3	Floor Plans
A-2.4	Floor Plans
A-2.5	Floor Plans
A-2.6	Reflected Ceiling Plans
A-2.7	Reflected Ceiling Plans
A-3.1	Exterior Elevations
A-3.2	Exterior Elevations
A-3.3	Exterior Elevations
A-3.4	Exterior Elevations
A-4.1	Building Sections
A-4.2	Building Sections

HABIB RESIDENCE

1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

SUSAN & MATTHEW HABIB

Drawing Description:

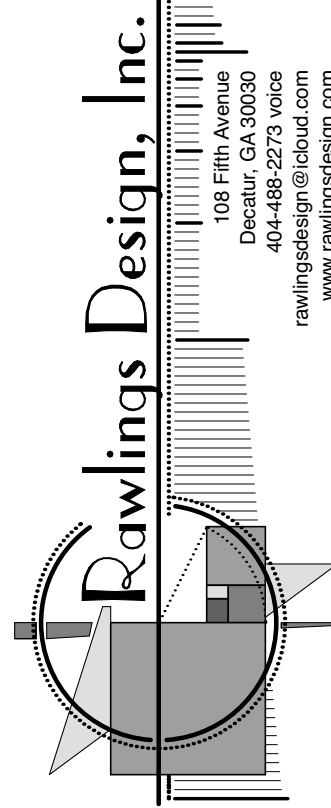
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

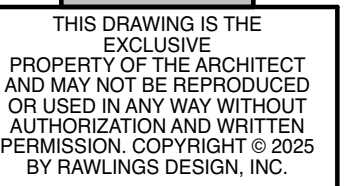
Revisions

Drawing Date:
8/14/26

RELEASED FOR
CONSTRUCTION

Project Number:
2522





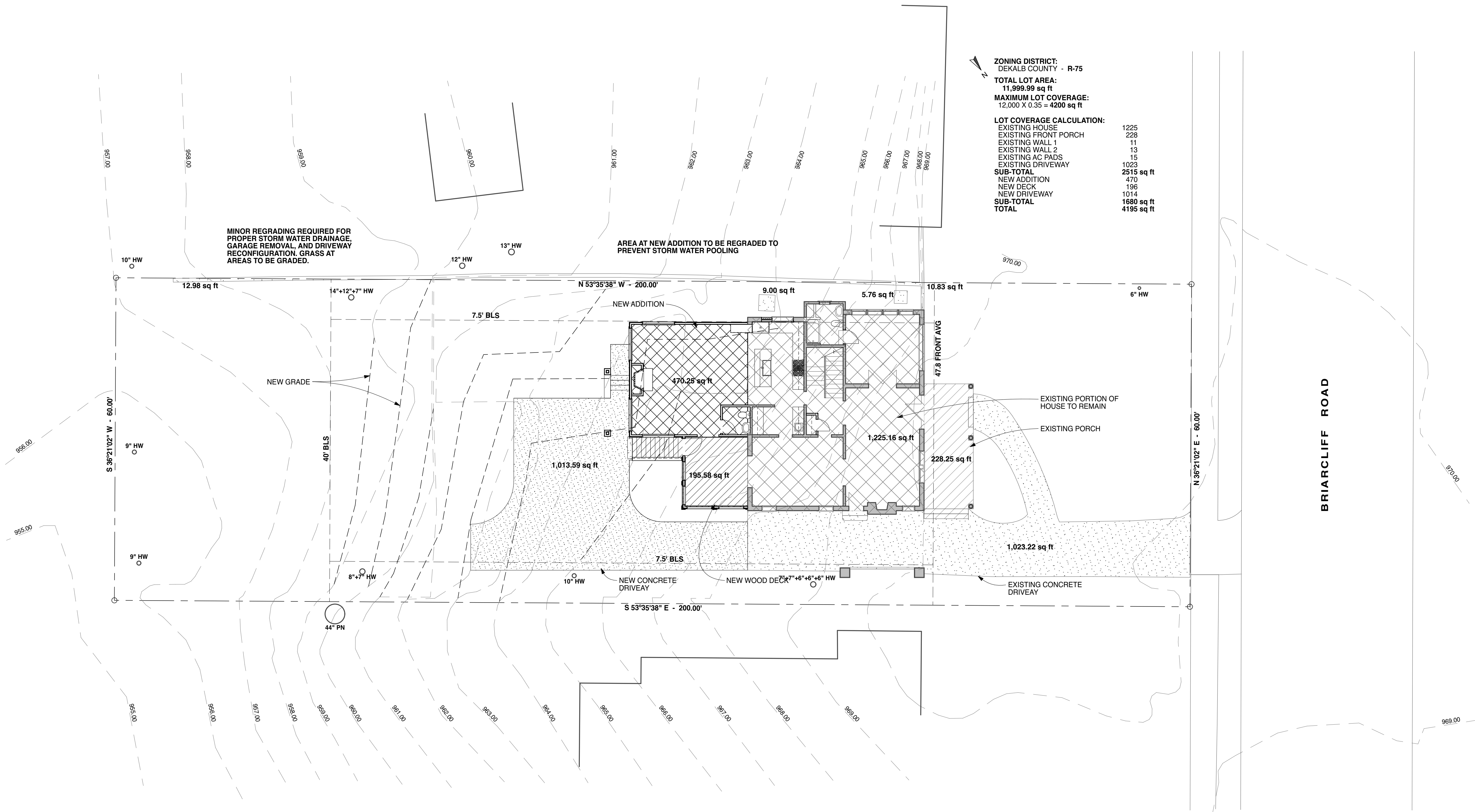
Drawing Date:
8/14/26

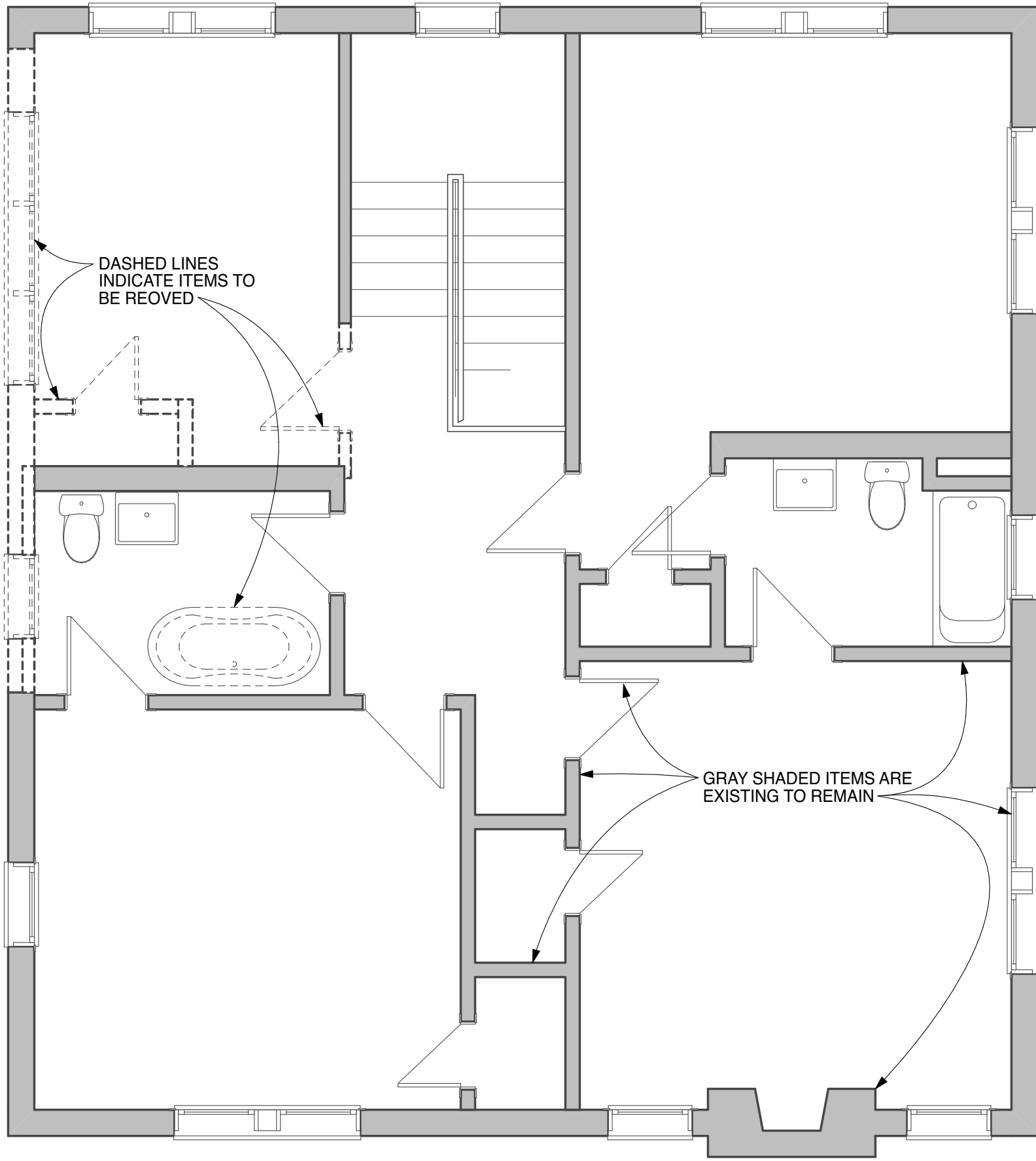
RELEASED FOR
CONSTRUCTION

Project Number:
0500

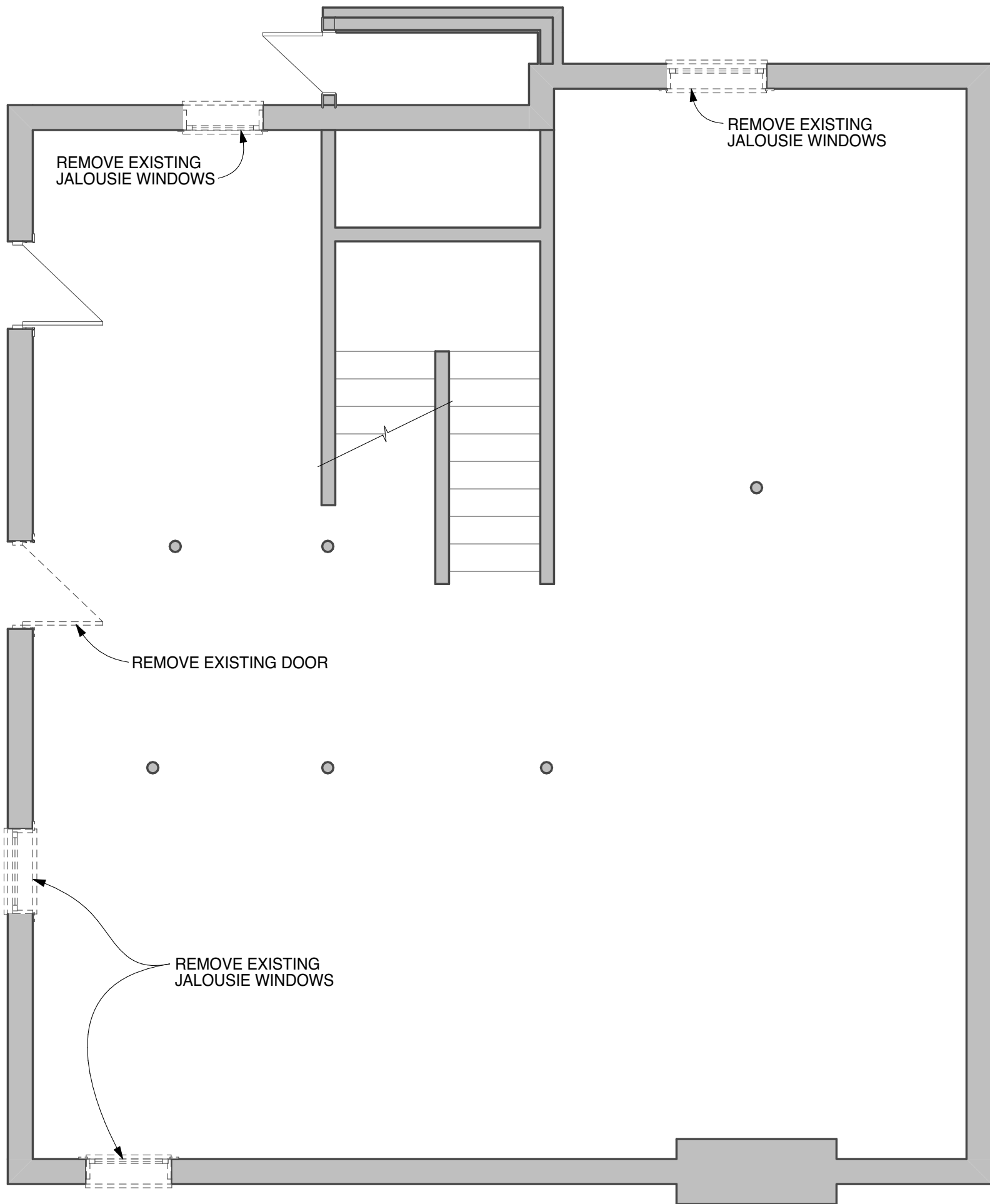
Drawing Description:
Site Plan

A-1.1

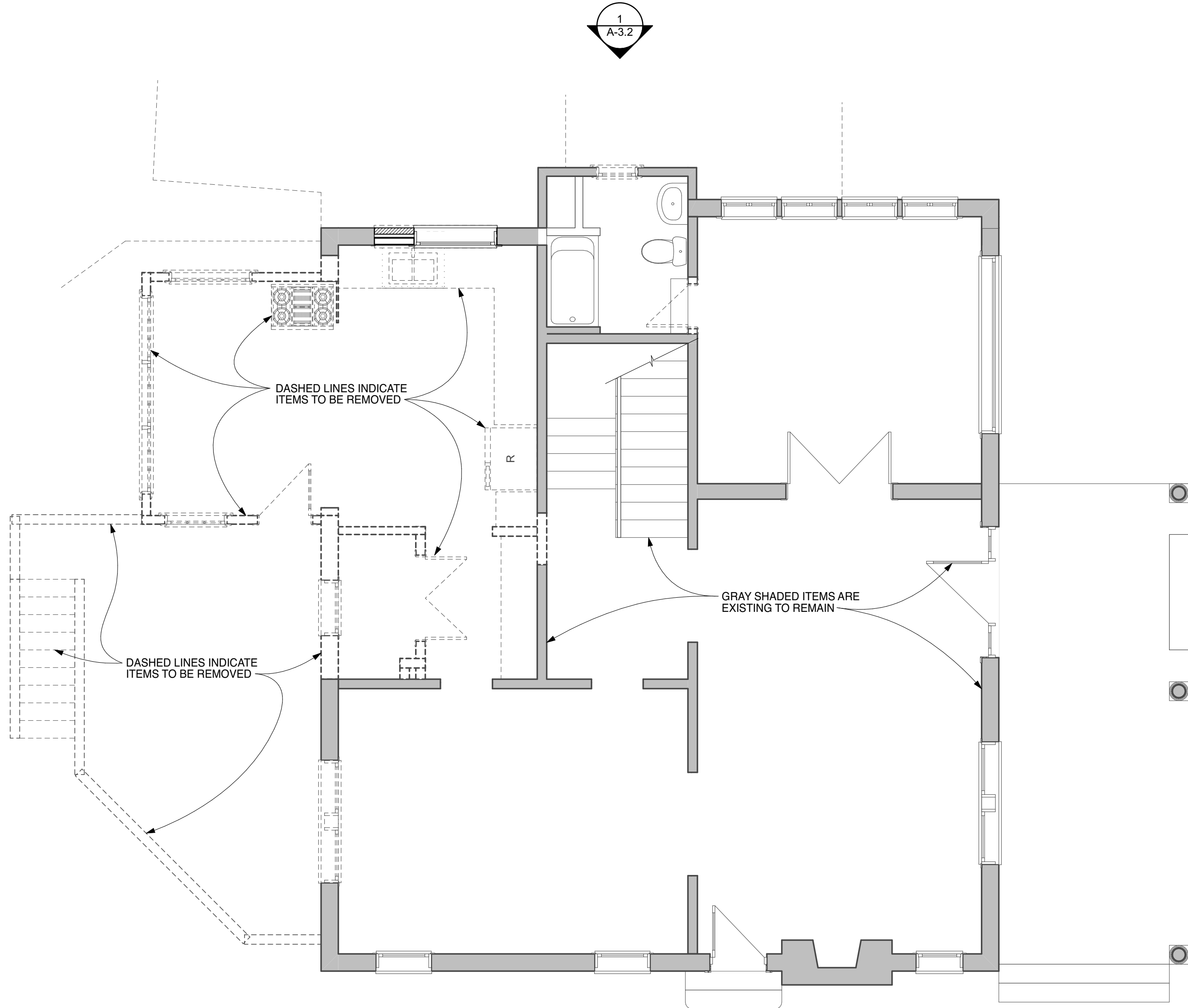




3 SECOND LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 FIRST LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26



RELEASED FOR
CONSTRUCTION

Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

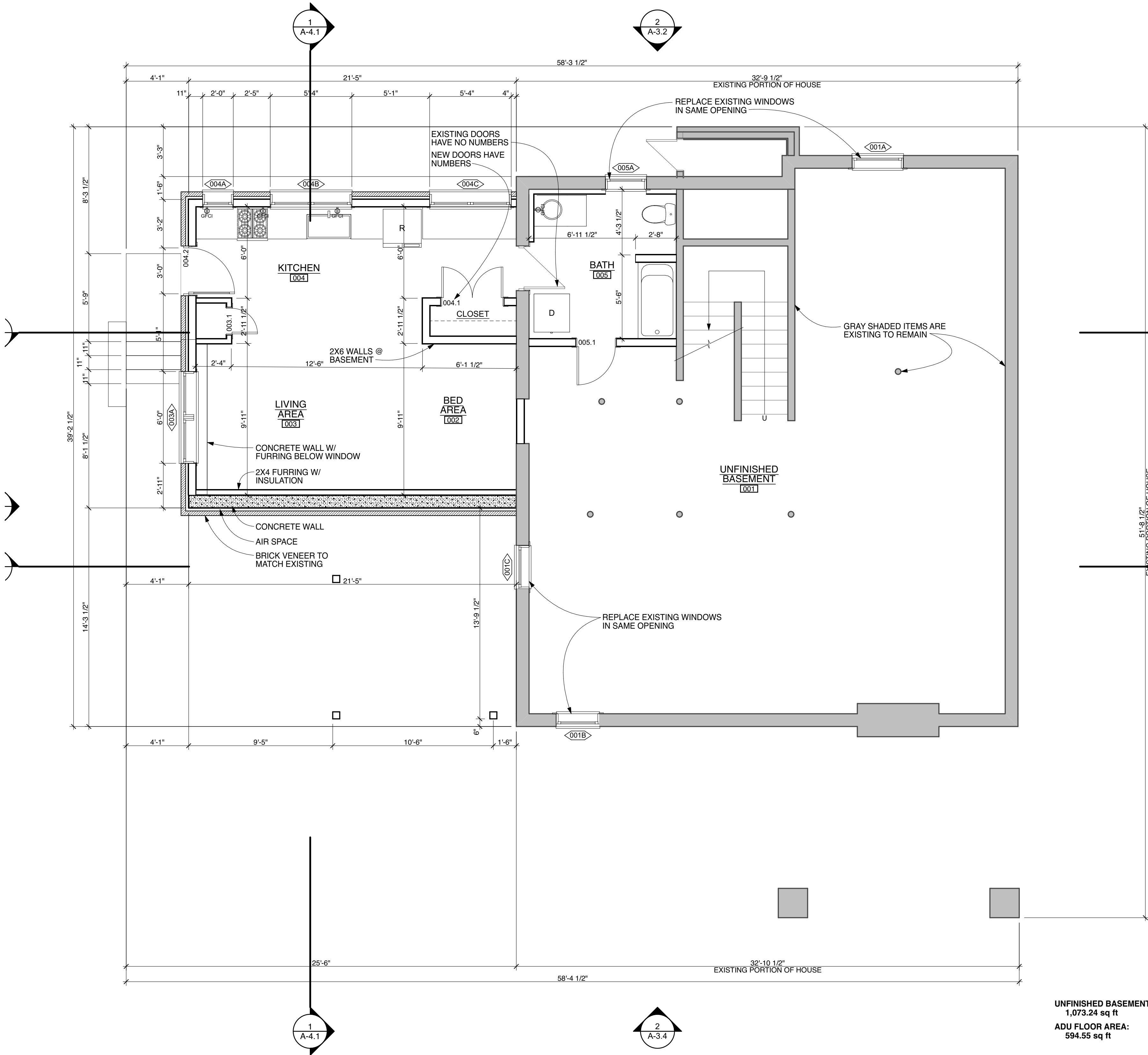
SUSAN & MATTHEW HABIB

Drawing Description:
Demolition Plan

A-2.1

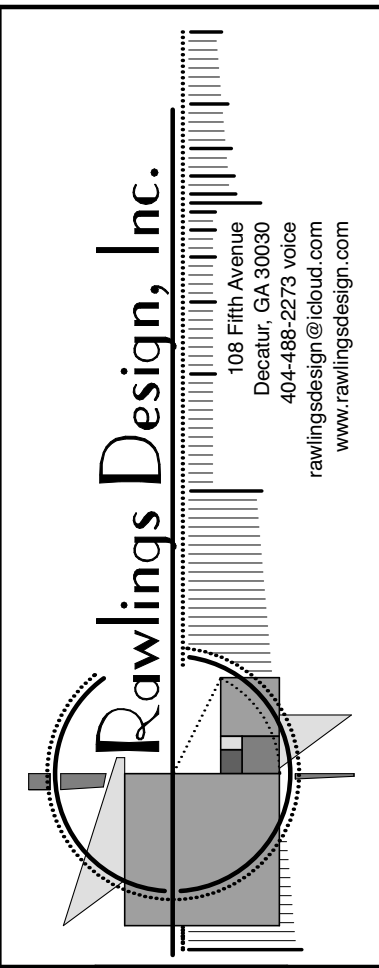
WINDOW SCHEDULE												
NO.	WIDTH	HEIGHT	ELEV	TYPE	MATERIAL	FINISH	GLAZING	DETAILS				REMARKS
								HEAD	JAMB	SILL	MULLION	
001A	3'-4"	2'-8"		FIXED			TEMPERED					
001B	2'-10"	1'-8"		FIXED			TEMPERED					
001C	2'-10"	2'-8"		FIXED			TEMPERED					
003A	6'-0"	3'-6"		DOUBLE HUNG			TEMPERED					
004A	2'-0"	3'-0"		CASEMENT								
004B	5'-4"	3'-0"		DOUBLE HUNG								
004C	5'-4"	3'-0"		DOUBLE HUNG								
005A	2'-8"	3'-0"		CASEMENT			TEMPERED					

DOOR SCHEDULE											
NO.	WIDTH	HEIGHT	DOOR			FRAME					REMARKS
			TYPE	LABEL	MATERIAL	TYPE	HEAD	JAMB	SILL	MATERIAL	
003.1	1'-8"	6'-8"									
004.1	4'-0"	6'-8"									
004.2	3'-0"	6'-8"									
005.1	2'-6"	6'-8"									



1 BASEMENT LEVEL PLAN
SCALE: 1/4" = 1'-0"

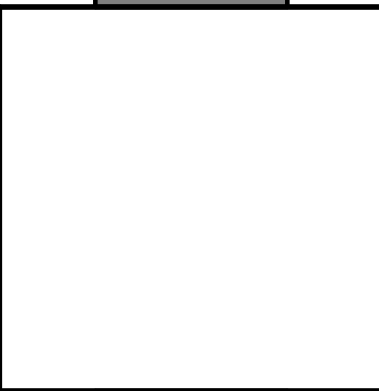
UNFINISHED BASEMENT AREA:
1,073.24 sq ft
ADU FLOOR AREA:
594.55 sq ft



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26



Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

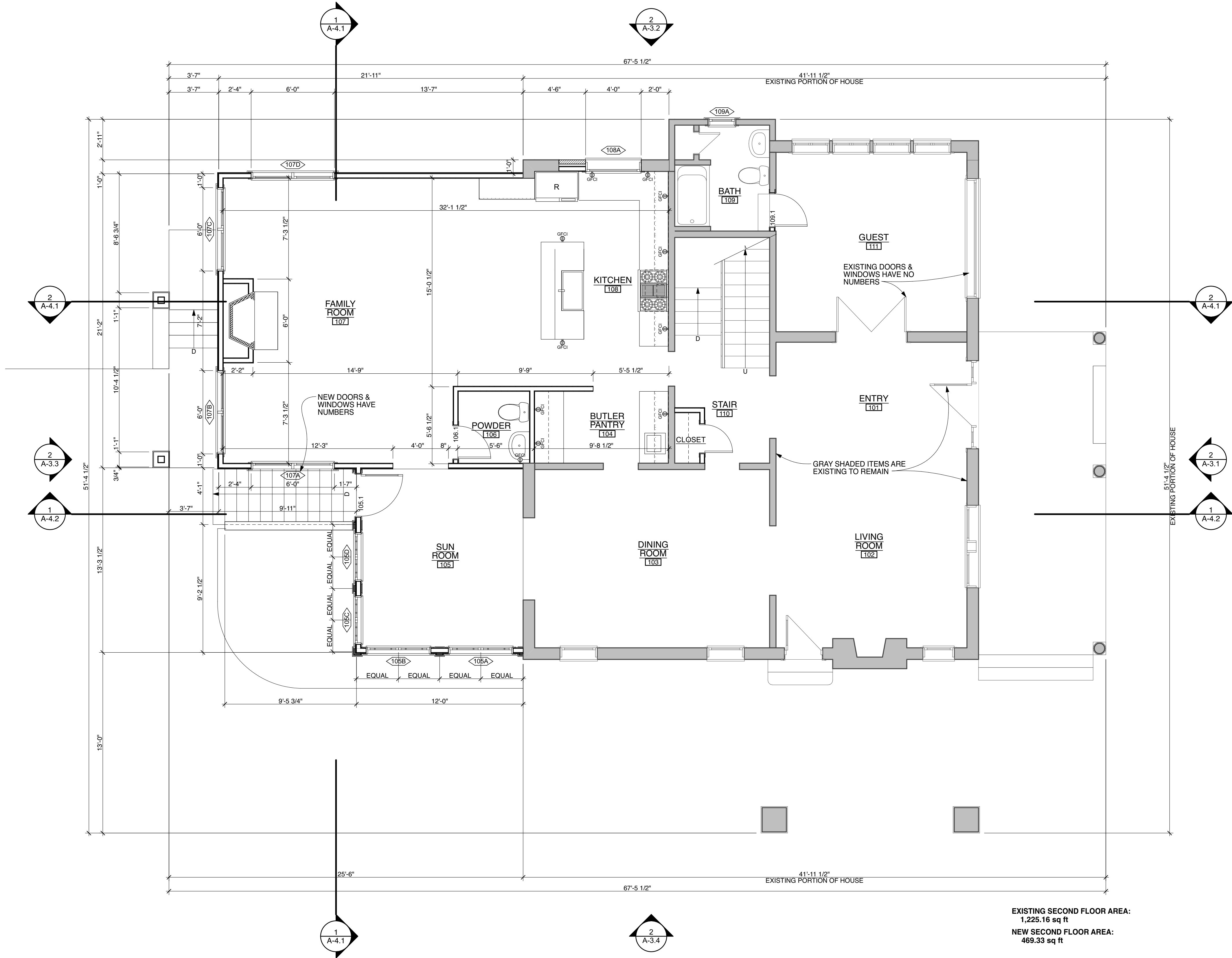
SUSAN & MATTHEW HABIB

Drawing Description:
Floor Plans

A-2.2

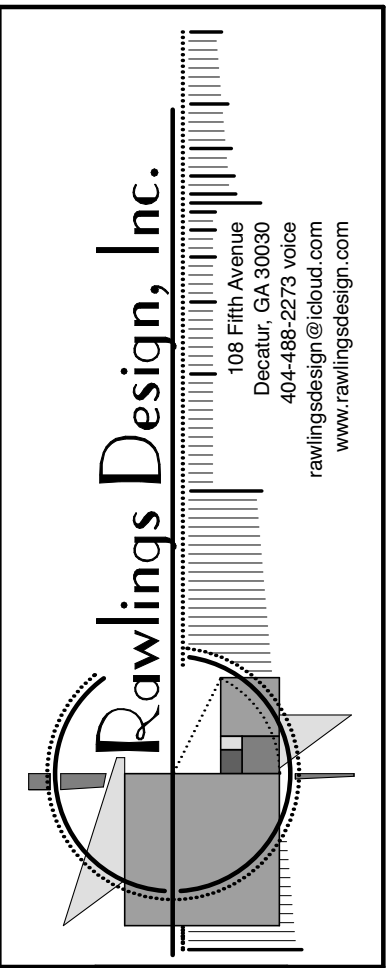
WINDOW SCHEDULE												
NO.	WIDTH	HEIGHT	ELEV	TYPE	MATERIAL	FINISH	GLAZING	DETAILS				REMARKS
								HEAD	JAMB	SILL	MULLION	
105A	4'-8"	6'-0"		DOUBLE HUNG								
105B	4'-8"	6'-0"		DOUBLE HUNG								
105C	3'-6"	6'-0"		DOUBLE HUNG								
105D	3'-6"	6'-0"		DOUBLE HUNG								
107A	6'-0"	5'-2"		CASEMENT			TEMPERED					
107B	6'-0"	5'-2"		CASEMENT								
107C	6'-0"	5'-2"		CASEMENT								
107D	6'-0"	5'-2"		CASEMENT								
108A	4'-0"	4'-0"		FIXED								
109A	2'-0"	3'-6"		FIXED								

DOOR SCHEDULE											
NO.	WIDTH	HEIGHT	DOOR			FRAME					REMARKS
			TYPE	LABEL	MATERIAL	TYPE	HEAD	JAMB	SILL	MATERIAL	
105.1	3'-0"	7'-0"									
106.1	2'-4"	6'-8"									
109.1	2'-4"	6'-8"									
110.1	2'-0"	6'-8"									



1 FIRST LEVEL PLAN
SCALE: 1/4" = 1'-0"

EXISTING SECOND FLOOR AREA:
1,225.16 sq ft
NEW SECOND FLOOR AREA:
469.33 sq ft



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26



Project Number:
2522

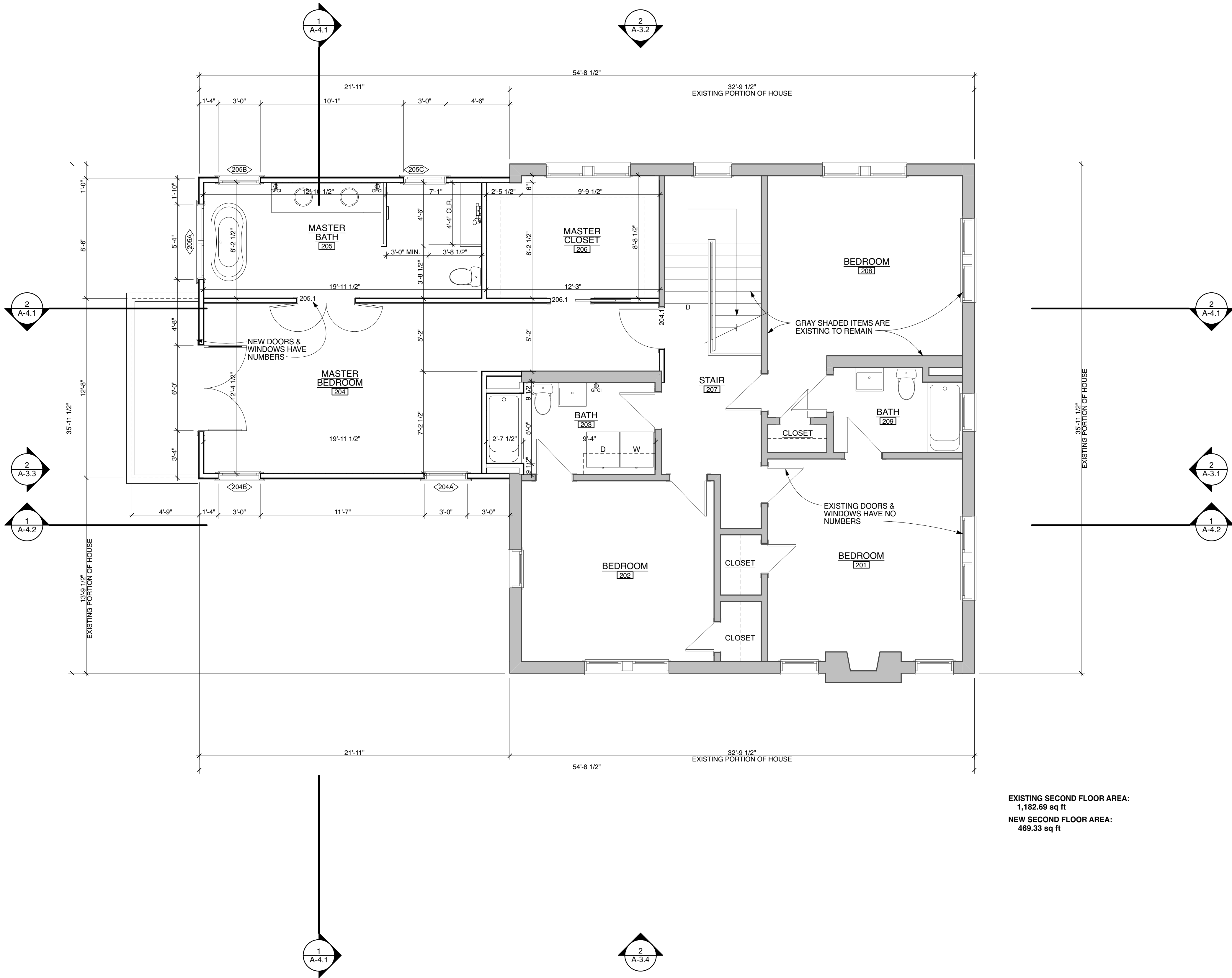
HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306
SUSAN & MATTHEW HABIB

Drawing Description:
Floor Plans

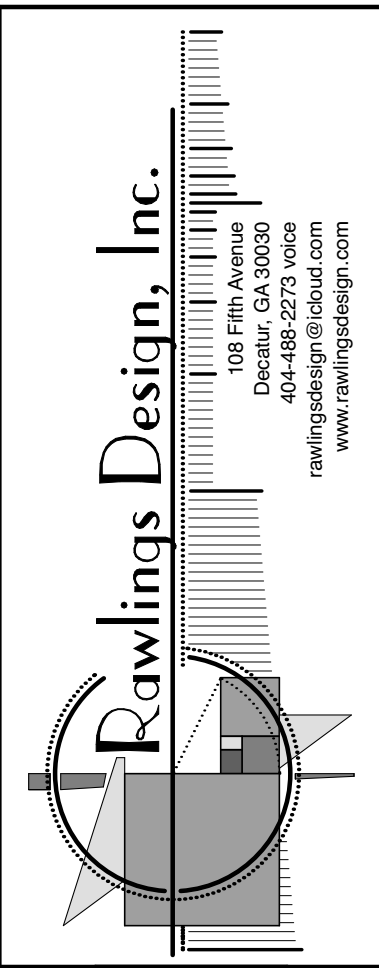
A-2.3

WINDOW SCHEDULE												
NO.	WIDTH	HEIGHT	ELEV	TYPE	MATERIAL	FINISH	GLAZING	DETAILS				REMARKS
								HEAD	JAMB	SILL	MULLION	
204A	3'-0"	5'-2"		DOUBLE HUNG								EGRESS
204B	3'-0"	5'-2"		DOUBLE HUNG								EGRESS
205A	5'-4"	5'-2"		DOUBLE HUNG			TEMPERED					
205B	3'-0"	5'-2"		DOUBLE HUNG			TEMPERED					
205C	3'-0"	1'-6"		FIXED			TEMPERED					

DOOR SCHEDULE											
NO.	WIDTH	HEIGHT	DOOR			FRAME					REMARKS
			TYPE	LABEL	MATERIAL	TYPE	HEAD	JAMB	SILL	MATERIAL	
204.1	2'-10"	6'-8"									
205.1	4'-0"	6'-8"									
206.1	2'-10"	6'-8"									



1 SECOND LEVEL PLAN
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26

--

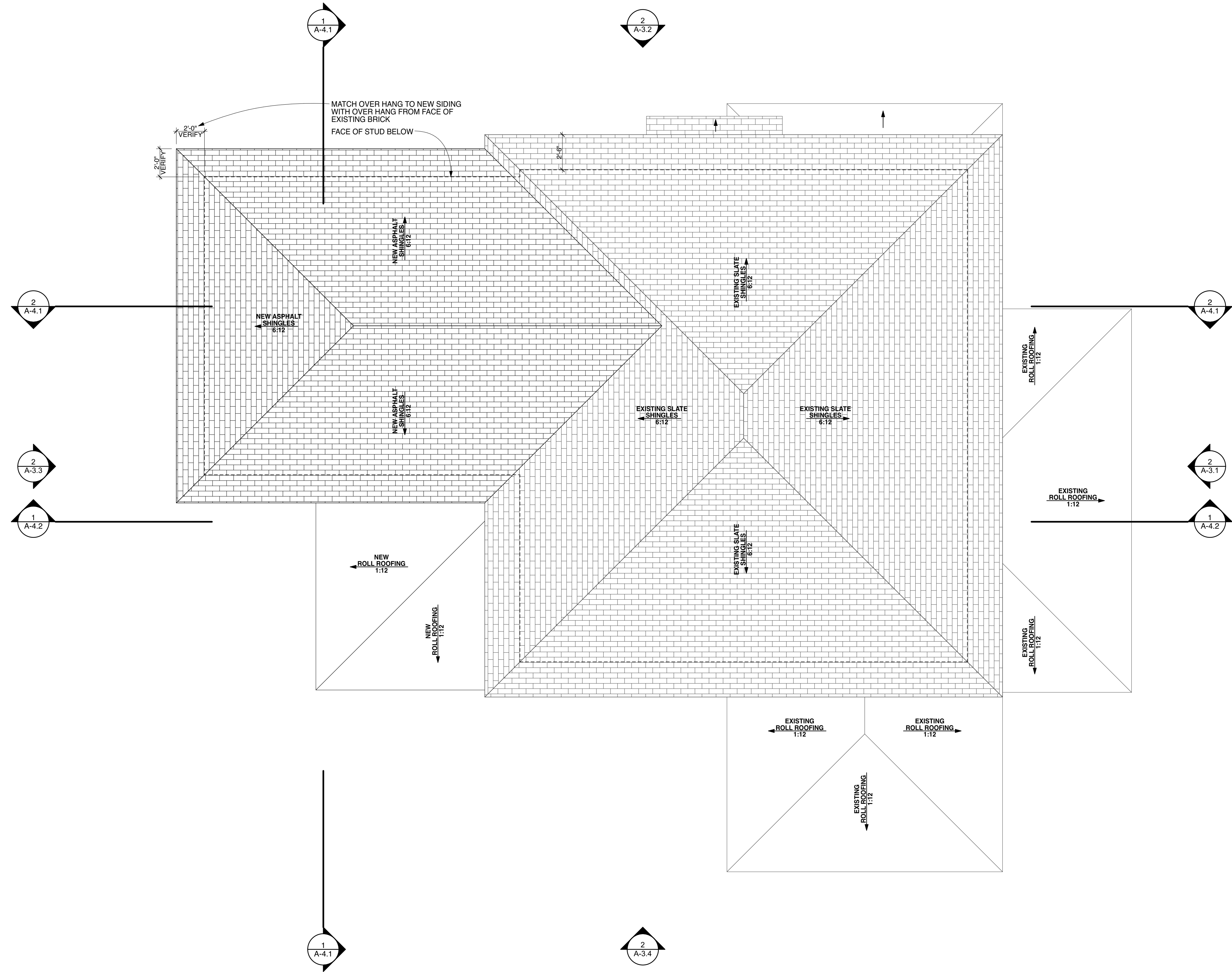
RELEASED FOR CONSTRUCTION

Project Number:
2522

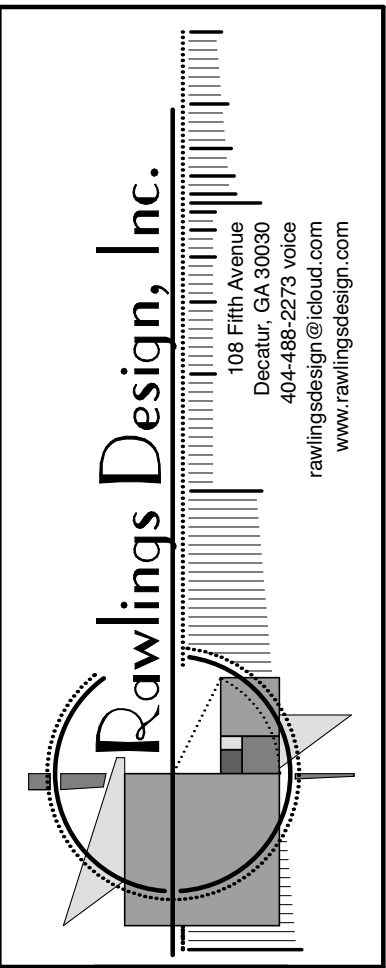
HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306
SUSAN & MATTHEW HABIB

Drawing Description:
Floor Plans

A-2.4



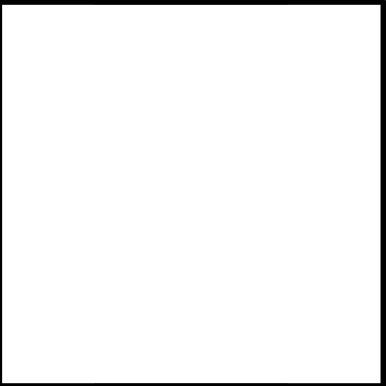
1 ROOF PLAN
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26



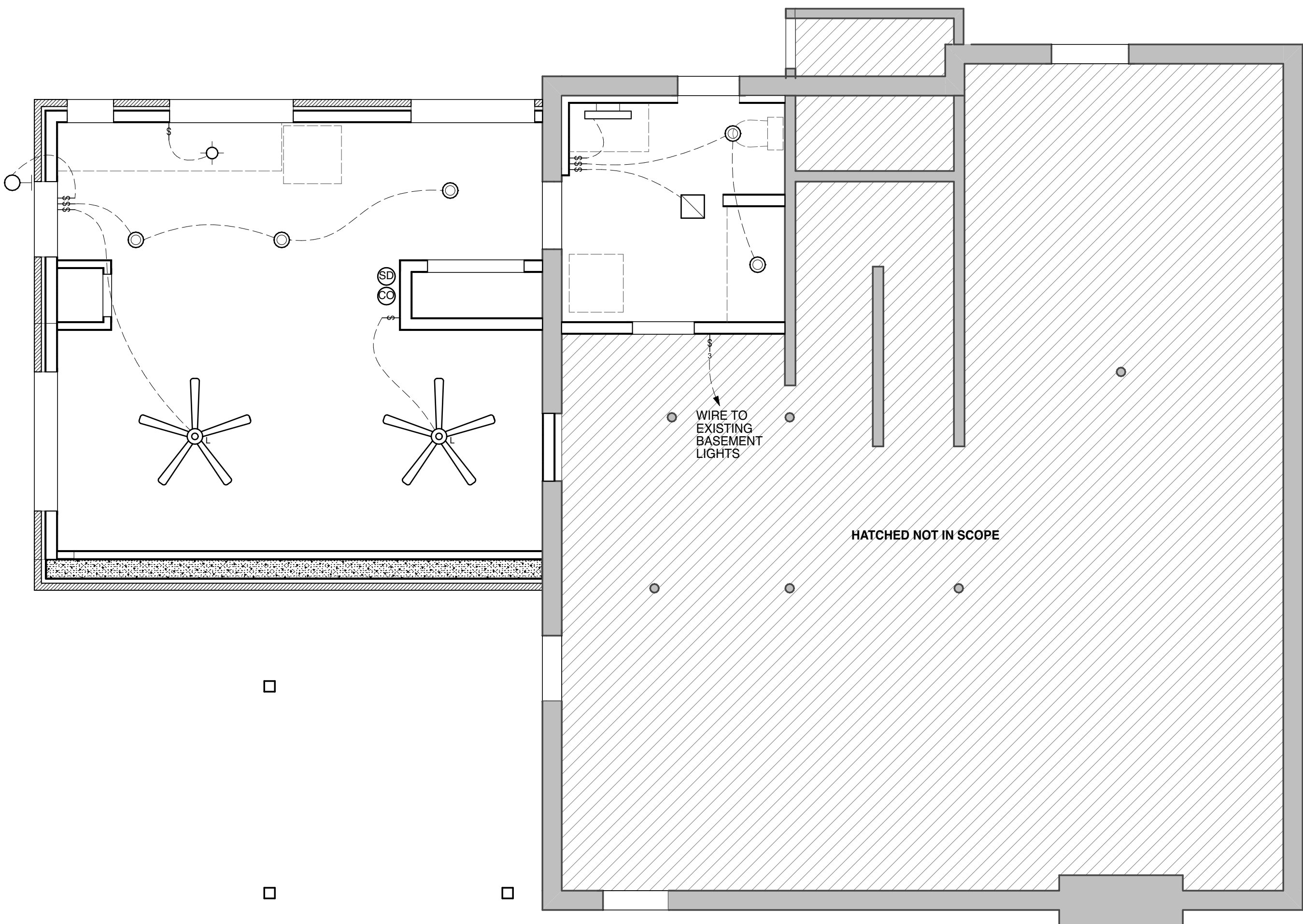
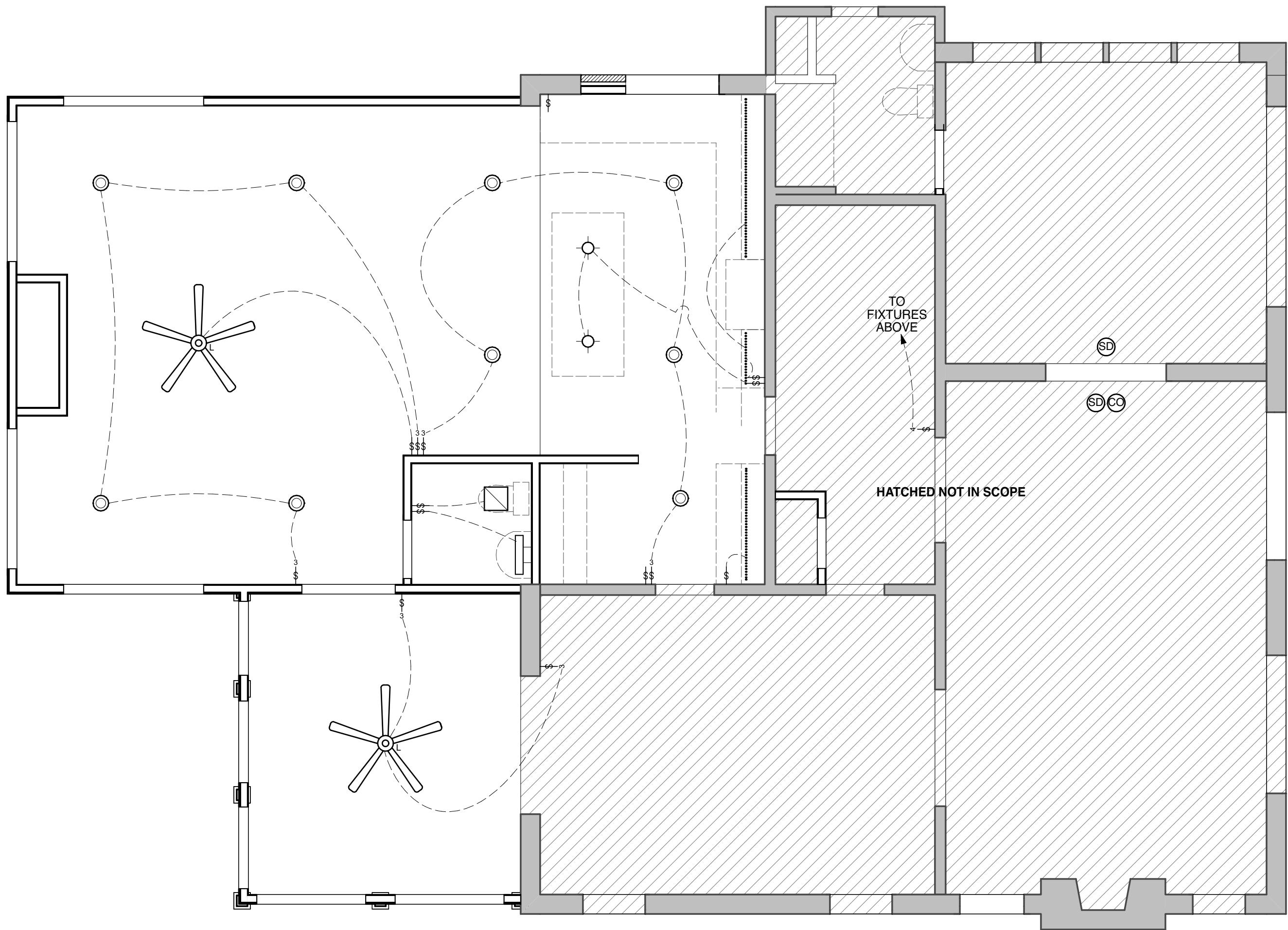
Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306
SUSAN & MATTHEW HABIB

Drawing Description:
Floor Plans

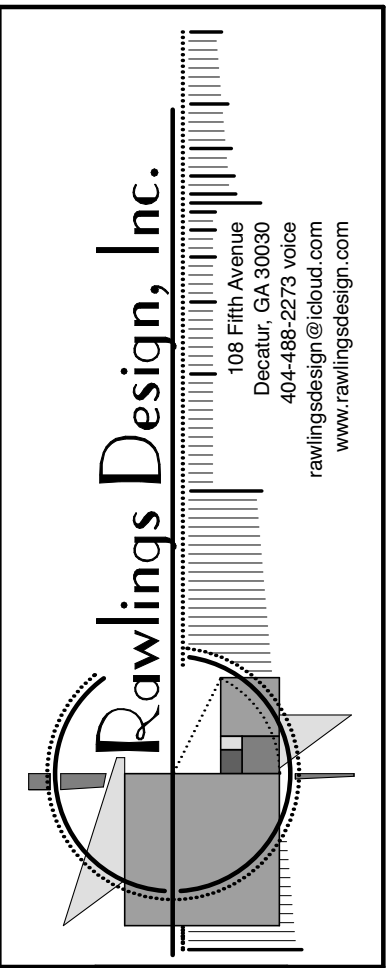
A-2.5

REFLECTED CEILING PLAN LEGEND		
CAN LIGHT FIXTURE - 6"		○
CAN LIGHT FIXTURE - 6" WALL WASHER		◐
CAN LIGHT FIXTURE - 4"		●
CAN LIGHT FIXTURE - 4" WALL WASHER		◑
PENDANT LIGHT FIXTURE		○ — ○
VANITY LIGHT FIXTURE		—
WALL MOUNTED FIXTURE		○ —
WALL MOUNTED SECURITY LIGHT FIXTURE		⚡
WALL SCONSE LIGHT FIXTURE		◡
LED TAPE/ ROPE LIGHT FIXTURE		————
EXHAUST FAN, "L" INDICATES LIGHT KIT		◻ L
SMOKE DETECTOR		SD
CARBON MONOXIDE DETECTOR		CO
JUNCTION BOX		JB
CEILING FAN, "L" INDICATES LIGHT KIT		⋈ L
LIGHT SWITCH - SINGLE, 3 WAY, 4 WAY, JAMB SWITCH		⚡ 1 3 4 JB



2 FIRST LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

1 BASEMENT REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26

RELEASED FOR
CONSTRUCTION

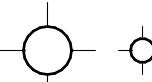
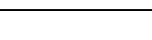
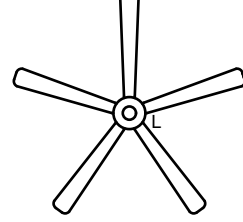
Project Number:
2522

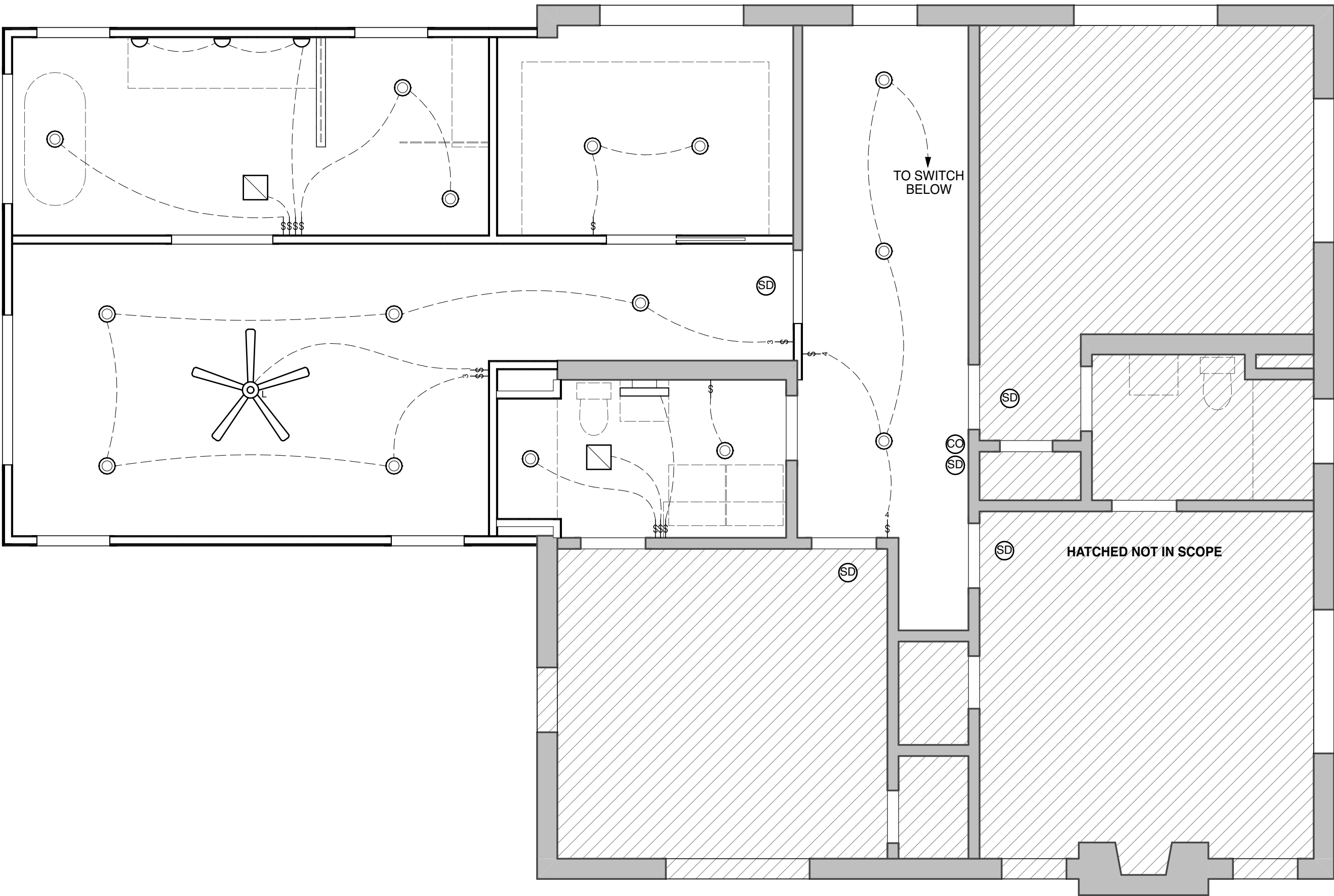
HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

SUSAN & MATTHEW HABIB

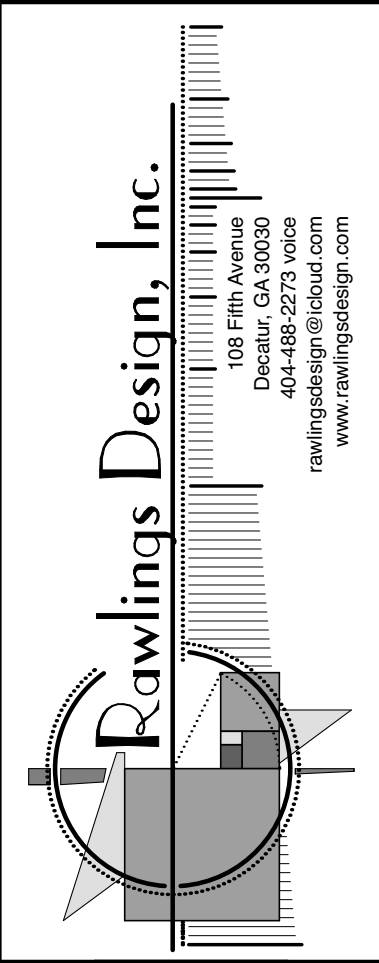
Drawing Description:
Reflected Ceiling Plans

A-2.6

REFLECTED CEILING PLAN LEGEND		
CAN LIGHT FIXTURE - 6"		
CAN LIGHT FIXTURE - 6" WALL WASHER		
CAN LIGHT FIXTURE - 4"		
CAN LIGHT FIXTURE - 4" WALL WASHER		
PENDANT LIGHT FIXTURE		
VANITY LIGHT FIXTURE		
WALL MOUNTED FIXTURE		
WALL MOUNTED SECURITY LIGHT FIXTURE		
WALL SCONSE LIGHT FIXTURE		
LED TAPE/ ROPE LIGHT FIXTURE		
EXHAUST FAN, "L" INDICATES LIGHT KIT		
SMOKE DETECTOR		
CARBON MONOXIDE DETECTOR		
JUNCTION BOX		
CEILING FAN, "L" INDICATES LIGHT KIT		
LIGHT SWITCH - SINGLE, 3 WAY, 4 WAY, JAMB SWITCH		



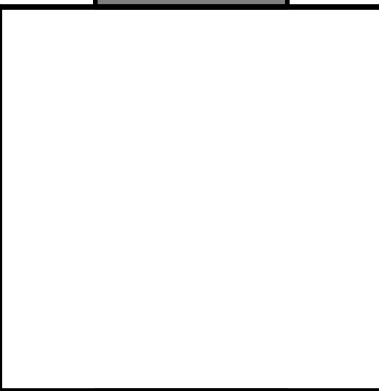
1 SECOND LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26



Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

SUSAN & MATTHEW HABIB

Drawing Description:
Reflected Ceiling Plans

A-2.7



-9'-0"
-1 BASEMENT

2

PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

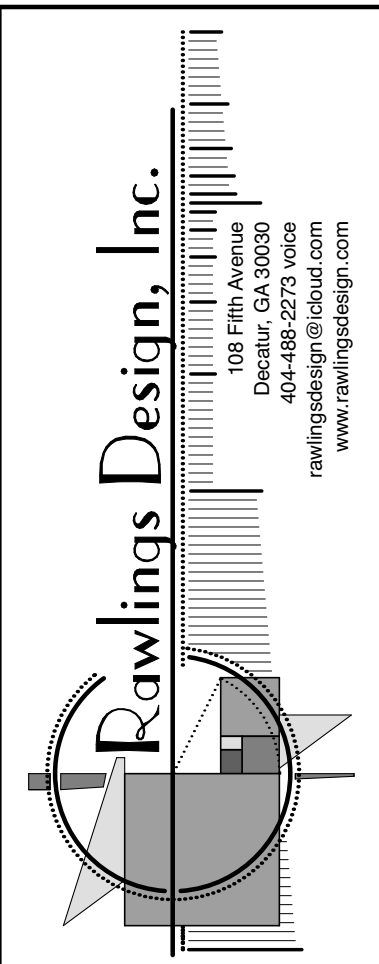


-9'-0"
-1 BASEMENT

1

EXISTING FRONT ELEVATION

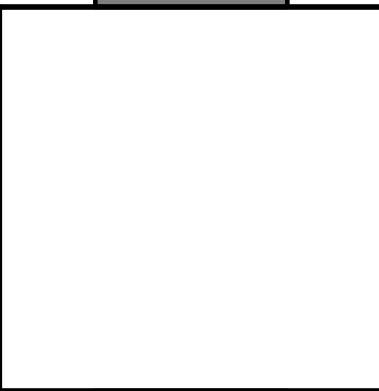
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26



RELEASED FOR CONSTRUCTION

Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

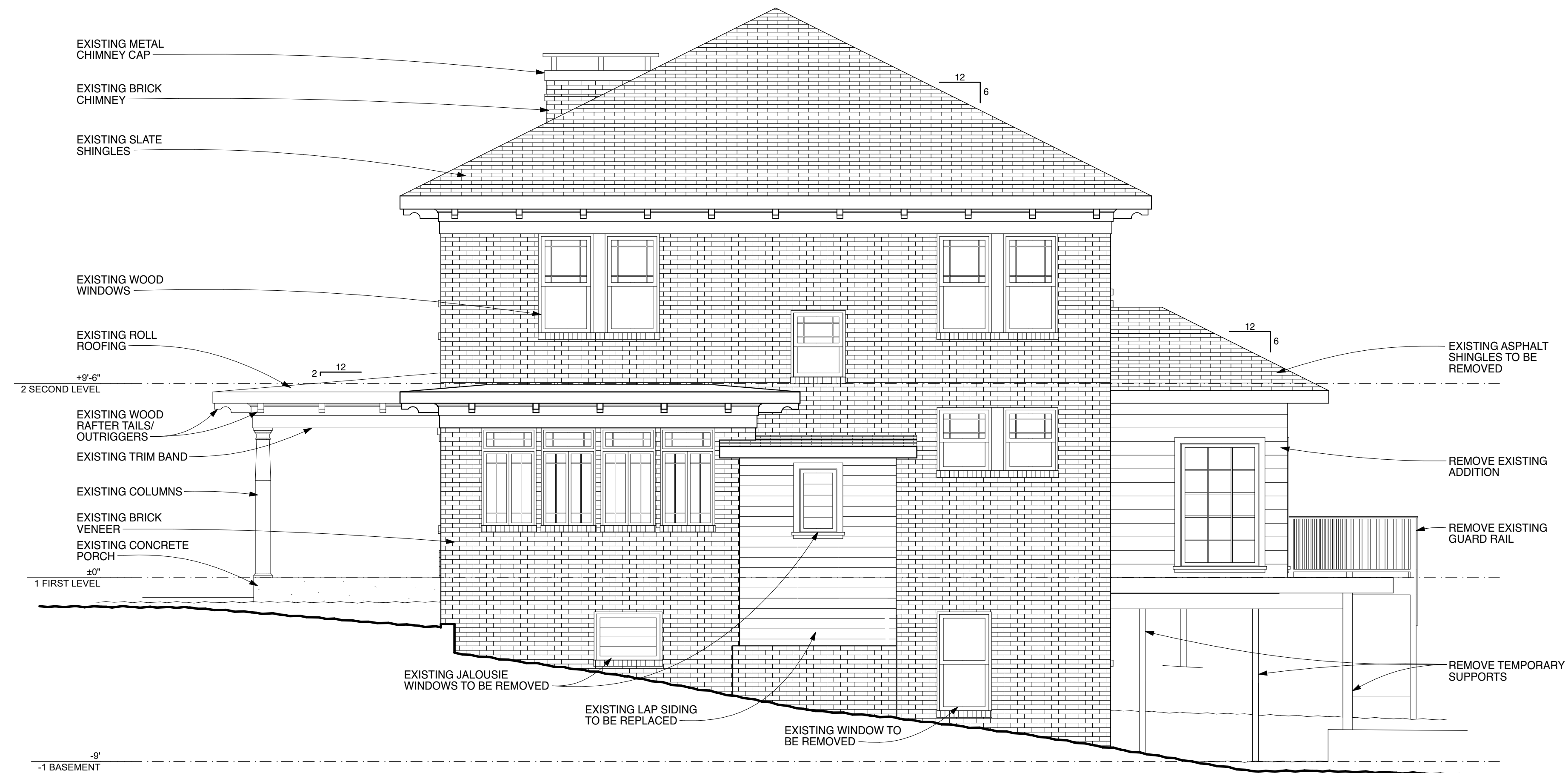
SUSAN & MATTHEW HABIB

Drawing Description:
Exterior Elevations

A-3.1



2 PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

Revisions

Drawing Date:
8/14/26

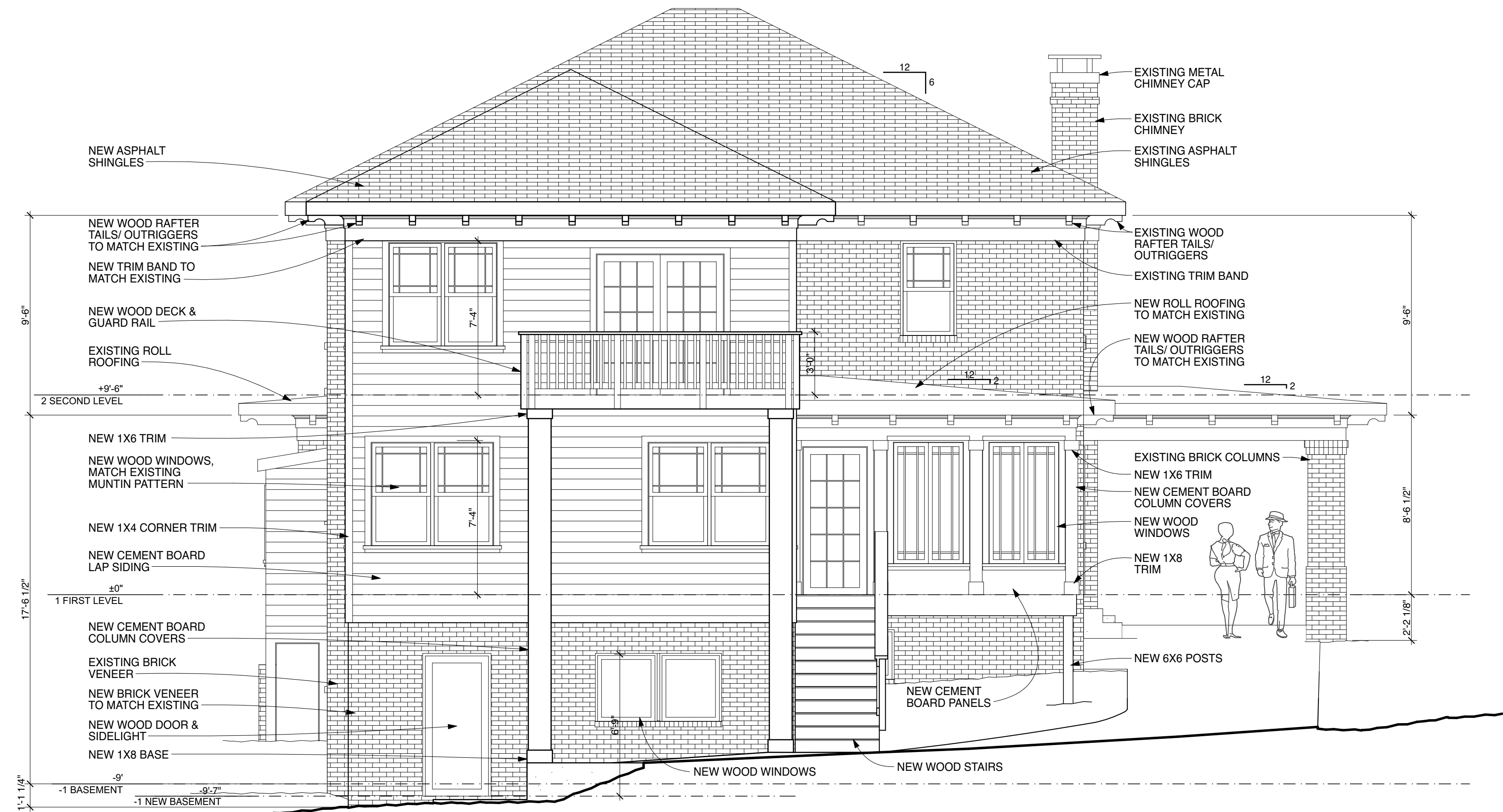
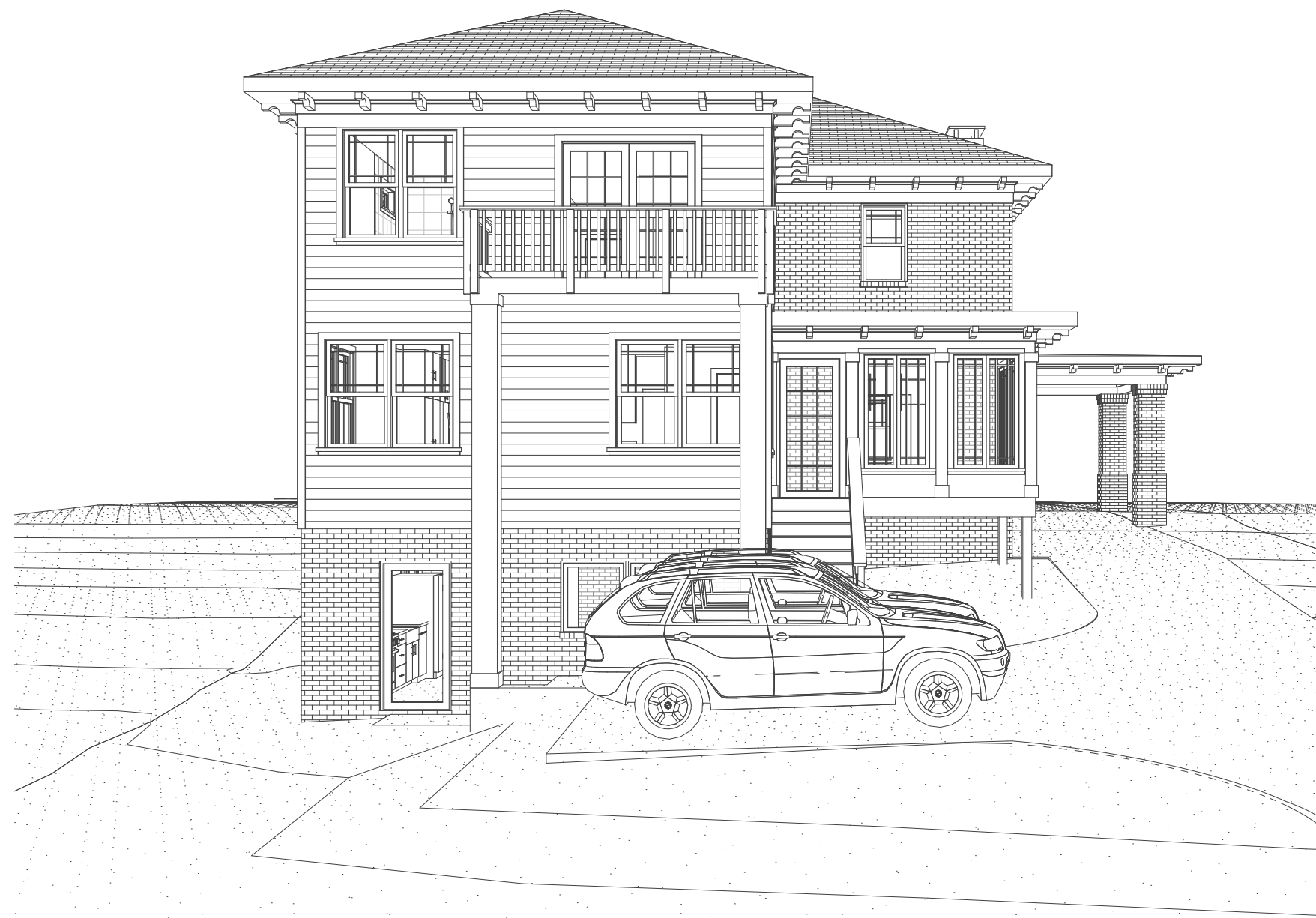
RELEASED FOR
CONSTRUCTION

Project Number:
2522

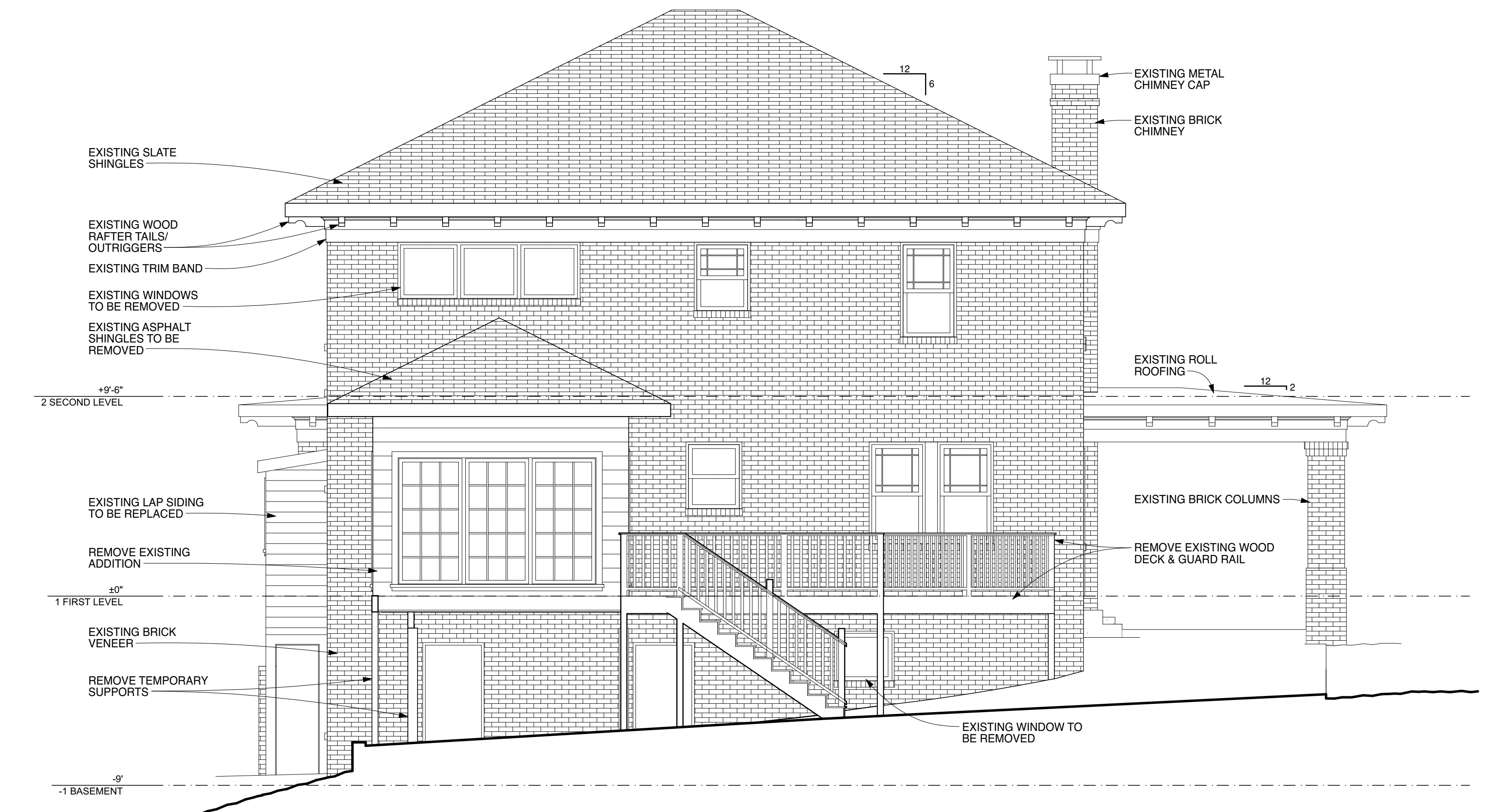
HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306
SUSAN & MATTHEW HABIB

Drawing Description:
Exterior Elevations

A-3.2



2 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



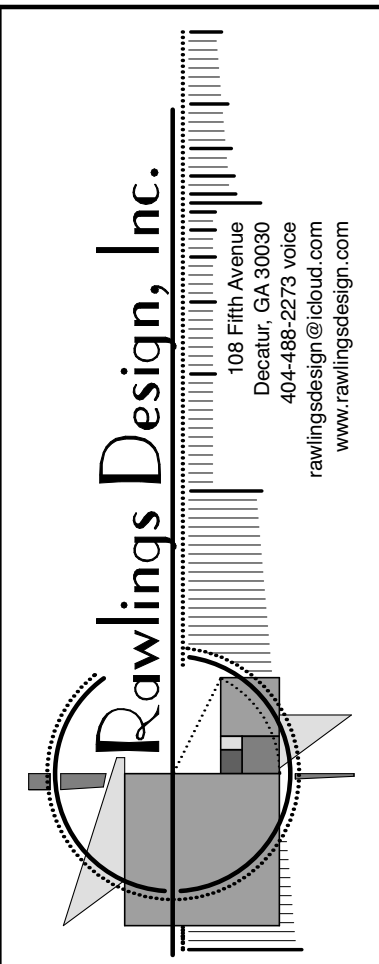
1 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



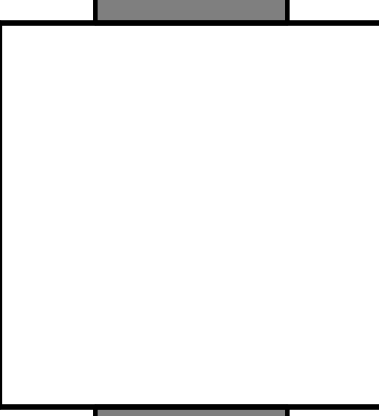
1 EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26



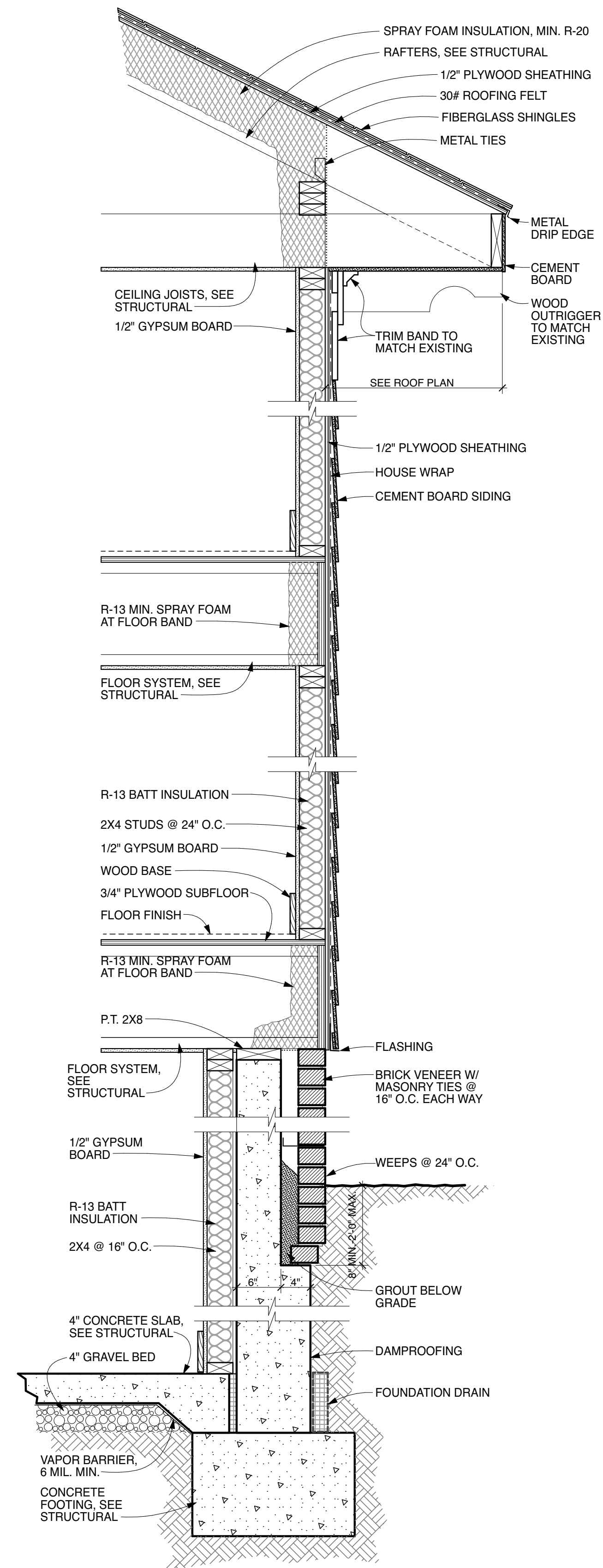
RELEASED FOR CONSTRUCTION

Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306
SUSAN & MATTHEW HABIB

Drawing Description:
Exterior Elevations

A-3.4



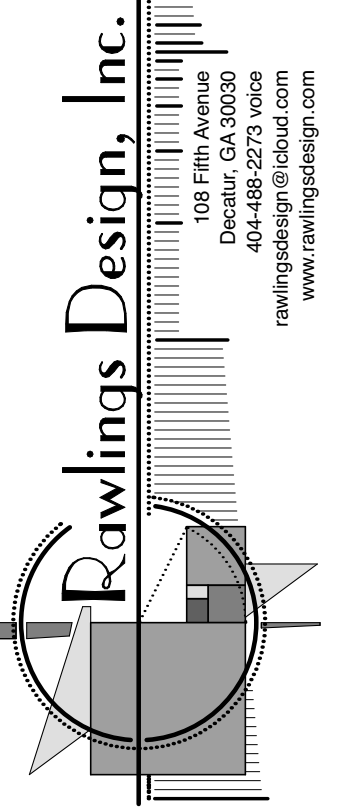
4 WALL SECTION
SCALE: 1" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT AUTHORIZATION AND WRITTEN PERMISSION. COPYRIGHT © 2025 BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26

RELEASED FOR
CONSTRUCTION

Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306
SUSAN & MATTHEW HABIB

Drawing Description:
Building Sections

A-4.1



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE
EXCLUSIVE
PROPERTY OF THE ARCHITECT
AND MAY NOT BE REPRODUCED
OR USED IN ANY WAY WITHOUT
AUTHORIZATION AND WRITTEN
PERMISSION. COPYRIGHT © 2025
BY RAWLINGS DESIGN, INC.

Revisions

Drawing Date:
8/14/26

RELEASED FOR
CONSTRUCTION

Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

SUSAN & MATTHEW HABIB

Drawing Description:
Building Sections

A-4.2