

# DeKalb County Historic Preservation Commission

Monday, August 17, 2026- 6:00 P.M.

## *Staff Report*

### Regular Agenda

F. 1380 Emory Road, Jennifer Witherspoon. Constructing a new garage with an accessory dwelling unit and repairing the landscaping in the back yard. **1248208.**

Built in 1928 (18 054 11 014)

This property is in the Druid Hills Character Area #2 and the Druid Hills National Register Historic District.

03-09 1380 Emory Road (DH), Richard Stevens. Widen driveway. 15673 Approved with Modifications  
05-25 1380 Emory Road. Wiliam Witherspoon. Replace windows on a historic house. 1247564. Approved with Modifications.

## Summary

### August 2026

The application was deferred to the next scheduled meeting in order for the applicant to coordinate with staff regarding a mitigation plan for the existing non-complying AC unit<sup>4</sup> and provide plans for review to the Commission. Additionally, more information regarding the proposed accessory structure was requested by Commission members in order to understand the scale of the structure in comparison to the historic house on the property.

### July 2026

The applicant proposes constructing a new garage with an accessory dwelling unit on the existing garage pad. The proposed structure will be similar in design to the existing house and have a roof height matching the existing home. The project also includes a new foundation and associated mechanical, electrical, and plumbing systems. Additionally, the applicant proposes rehabilitating the rear yard by installing new grass, repairing or replacing existing fencing, and adding a driveway gate to enclose the yard.

## Recommendation

**Approved with Modification.** Staff recommends that the proposed accessory structure and landscaping of the rear yard be approved with the requirement that the existing external AC unit recorded by Code Compliance be removed or that vegetation be installed to mitigate the appearance of the unit from the Right of Way in accordance with Guideline 6.2. The installed vegetation should include plantings from the recommended vegetation list found in Guideline 9.3 of the Druid Hills Design Manual.

Due to proposed height of the accessory structure on the property, a variance will need to be acquired from the Zoning Board of Appeals before a building permit can be issued, as the structure

---

<sup>4</sup> Code Compliance was notified of the non-complying AC unit in December of 2025, and a site visit was conducted by a Code Compliance officer in January of 2026.

appears to exceed height requirements for accessory structures on single family detached dwelling properties<sup>5</sup>.

## **Relevant Guidelines**

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-of-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 6.2 *Mechanical Services* (p58) Guideline – The installation of exterior mechanical services, such as HVAC units and solar panels, shall be done in a manner that does not detract from the historic integrity of the building. It is best to install exterior mechanical elements on the side or rear of a property, in order to avoid disrupting the front elevation of the building and keeping it out of sight from the right-of-way. In the event, however, that the installation of a mechanical service on the front of the property cannot be avoided, it should be done so in a manner that decreases its visible impact; this may be accomplished through landscaping with appropriate plantings and vegetation.
- 7.0 *Additions & New Construction - Preserving Form & Layout* The Druid Hills Local Historic District continues to change and evolve over time. For this area to meet contemporary needs, additions are built, uses change, and new buildings are constructed. The challenge is not to prevent change but to ensure that, when it does inevitably happen, it is compatible with the historic character of the area.
- A new building is compatible with its historic setting when it borrows design characteristics and materials from adjacent buildings and integrates them into a modern expression. Before undertaking new development, be it a new building or changes or additions to existing buildings, take time to evaluate what makes the property and the neighborhood distinctive. Evaluate what type of impact the new development will have on the property and neighborhood. Decide how the development can best be designed to complement the property and area.
- The underlying guideline for new construction and additions is to consider one's neighbors and nearby structures and reinforce the existing historic character through sensitive, compatible design.
- Note that many of these guidelines refer to new development or new construction but are equally applicable to additions to existing buildings.
- 7.1 *Defining the Area of Influence* (p64) Guideline - In considering the appropriateness of a design for a new building or addition in a historic district, it is important to determine the area of influence. This area should be that which will be visually influenced by the building, i.e. the area in which visual relationships will occur between historic and new construction.
- 7.2.3 *Shape: Roof Pitch* (p68) Guideline - The roof pitch of a new building should be consistent with those of existing buildings within the area of influence, if dominant patterns are present.
- 7.3.2 *New Construction and Subdivision Development* (p75) Guideline - To be compatible with its environment, new construction should follow established design patterns of its historic neighbors, including building orientation, setback, height, scale, and massing.
- 7.3.2 *New Construction and Subdivision Development* (p75) Guideline - New construction should respect the historic character that makes the area distinctive, but it should not be a mere imitation of historic design.

---

<sup>5</sup> **Section 27-4.2.2.1.** – "Except as expressly provided elsewhere in this chapter, an accessory structure shall be limited to the lesser of twenty-four (24) feet in height or the height of the principal structure, whichever is less."

- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use. In the review of the installation of fencing, the front yard shall be defined as the portion of land between the front entrance of the main structure on the property and the Right of Way of which the property is addressed.
- 9.4 *Enclosures and Walls* (p90) Guideline – The plantings of shrubbery to create a hedge is considered fencing and will require review by the preservation commission.
- 9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to “soften” the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.
- 9.6 *Accessory Buildings* (p91) Guideline - New accessory buildings, such as garages and storage houses, are to be located in rear yard spaces and visually buffered from adjacent property owners and the public right-of-way. Accessory buildings that complement the architecture of the adjacent residence do not require the same level of buffering and may remain more visible within the local district. If the new building will be visible from the street, it should respect the established setbacks and orientations of the historic buildings in the area.
- 9.3 *Vegetation* (p83) Recommendation – The plant list is intended to assist in the selection of appropriate plant materials. Olmsted’s list and the list from the Georgia Landscapes Project provide guidance in selecting materials appropriate for historic landscape projects. There are other sources that can be consulted to identify additional plants used by Olmsted in Druid Hills, such as historic planting plans and particularly the archival record at the Olmsted National Historic Site in Brookline, Massachusetts. The Olmsted list presented in this document should be considered a beginning. Residents of Druid Hills are encouraged to add to this list with historic plants that can be documented as having been used by Olmsted. The native list should be used for natural areas within the district, such as creek corridors and drainage ways. Places within the district where the retention of healthy ecological environments is critical are best landscaped with native varieties. Since native plants have been available since the colony of Georgia was established in 1733, native plants are also appropriate for historic landscapes.
- 9.7 *Residential Landscape Design* (p92) Guideline – The plantings of individual trees, shrubs, annuals, perennials, and ground covers that are not a part of a landscaping project will not require review by the preservation commission.

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

Chief of Executive Officer  
Lorraine Cochran-Johnson

Director  
Juliana A. Njoku

**Application for Certificate of Appropriateness**

Date Submitted: 06/16/2026

Subject Property Address: 1380 Emory Road Atlanta GA 30306

Property Parcel ID No: 18 054 11 014

Date(s) of Construction on all structures on the property: 1928  
(This information can be found in the DeKalb County property accessory and tax records database.)

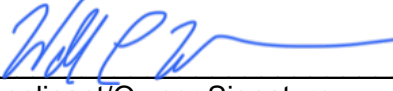
Nature of Work (check all that apply):

|                   |                          |                        |                          |                             |                          |
|-------------------|--------------------------|------------------------|--------------------------|-----------------------------|--------------------------|
| New construction  | <input type="checkbox"/> | New Accessory Building | <input type="checkbox"/> | Other Building Changes      | <input type="checkbox"/> |
| Demolition        | <input type="checkbox"/> | Landscaping            | <input type="checkbox"/> | Other Environmental Changes | <input type="checkbox"/> |
| Addition          | <input type="checkbox"/> | Fence/wall             | <input type="checkbox"/> | Other                       | <input type="checkbox"/> |
| Moving a building | <input type="checkbox"/> | Sign Installation      | <input type="checkbox"/> |                             |                          |

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc.

**\*PLEASE REVIEW THE FILING GUIDELINES BEGINNING ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS OR A DEFERRAL OF APPLICATION.**

Owner ☐ Agent ☐  06/16/2026  
Applicant/Owner Signature Date

To Be Completed by Staff: Date Received: \_\_\_\_\_

**CERTIFICATE OF APPROPRIATENESS APPLICATION FEE:  
CURRENTLY NO FEE**

**DeKalb County does not require payment by wire transfer.  
Be aware of scammers and fraudulent emails.**

**VENKATA ROHIT GRANDHI, P.E**

**7823 Boxwood Ct., Highland, CA**

[REDACTED]

[REDACTED]

Date: April 21, 2026

To: DeKalb County Planning & Sustainability Department

From: Rohit Grandhi, P.E.

Subject: Structural Certification - Roof Framing

Project: 28x41 Garage & ADU Structure

Address: 1380 Emory Rd NE, Atlanta, GA 30306

To the Building Official,

I have reviewed the structural design and supporting calculations for the roof framing of the proposed 28x41 Garage & ADU structure at the above-referenced address.

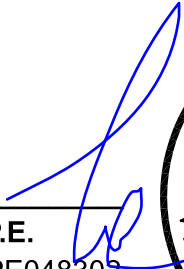
This certification is based on the structural plans and the 163-page calculation package prepared for this project, which conform to the 2018 International Residential Code (IRC) with Georgia State Amendments, the NDS-2018, and ASCE 7-22.

The analysis verifies that all roof structural members—including rafters, ridges, and beams—are sized correctly to support the required design loads (Wind, Snow, Live, and Dead loads) as specified in the technical documentation.

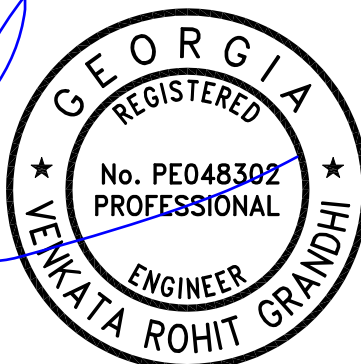
Conclusion:

It is my professional opinion that the roof structure, as detailed in the provided plans, is structurally sound and meets or exceeds all applicable building code requirements for DeKalb County.

Sincerely,

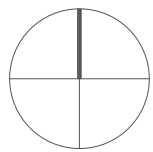
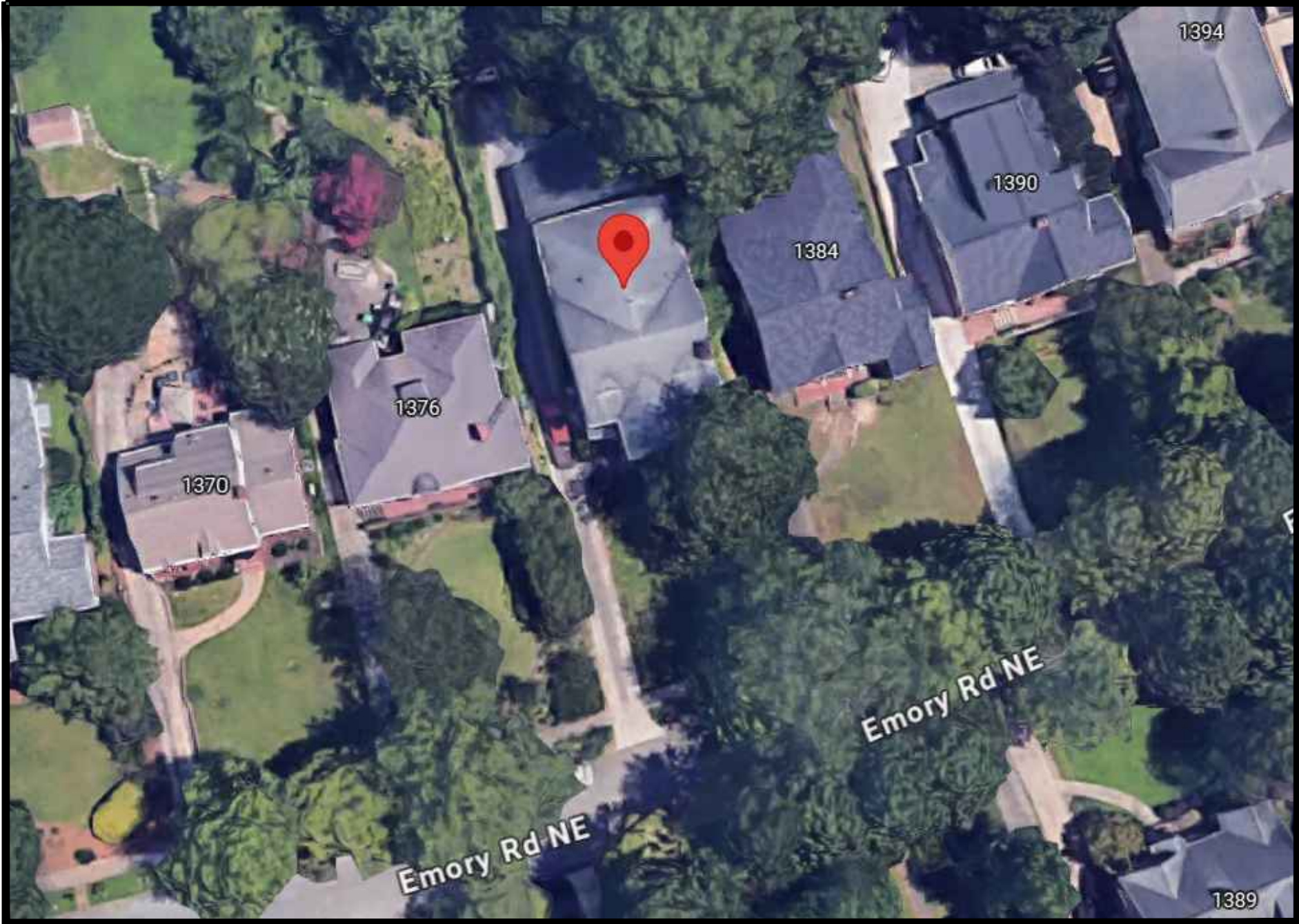
  
\_\_\_\_\_  
**Rohit Grandhi, P.E.**

GA License No. PE048302



# 28X41 GARAGE & ADU

1380 EMORY RD NE  
ATLANTA GEORGIA 30306, EE. UU.



LOCATION PLAN- CONTEXT AERIAL VIEW

## GENERAL NOTES

- ALL WORK SHALL COMPLY WITH LOCAL ORDINANCES AND STATE LAWS.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS.
- ALL MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT SHALL BE ANCHORED AND SEISMICALLY BRACED PER CODE.
- DIMENSIONS ON WORKING DRAWINGS GOVERN. DO NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE. THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATION, INCLUDING ANOMALIES, OF ALL TRADES.
- ALL CONTRACTORS SHALL THOROUGHLY REVIEW CONTRACT DOCUMENTS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK PRIOR TO BIDDING. CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY CONDITIONS WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS. DURING CONSTRUCTION, CONTRACTORS SHALL NOTIFY THE OWNER AND SEEK CLARIFICATION IF ANY DISCREPANCIES ARE FOUND. CONTRACTORS SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF RELATED WORK IS AFTER A DISCREPANCY IS IDENTIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT MATERIALS, LABOR, INSTALLATION, ETC., CONFORMS TO THE CODES AND REQUIREMENTS OF LOCAL GOVERNING AGENCIES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS, ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTORS RISK.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED, FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK
- FINISHES AND CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR FROM POTENTIAL DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. DAMAGE TO FINISHES OR CONSTRUCTION CAUSED IN THIS MANNER SHALL BE REPAIRED OR REPLACED (OWNERS I ARCHITECTS DECISION BY CONTRACTOR WITH IDENTICAL MATERIAL AND/OR FINISHES
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS RESULTING FROM THEIR WORK ON A DAILY BASIS, PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION
- CONTRACTOR TO FIELD VERIFY "AS-BUILT" CONDITIONS AND NOTIFY THE ARCHITECT IF THEY VARY SUBSTANTIALLY FROM THOSE SHOWN.

## SITE DETAILS

|                          |                                                 |
|--------------------------|-------------------------------------------------|
| PROJECT NAME             | 28X41 GARAGE& ADU                               |
| ADDRESS                  | 1380 EMORY RD NE ATLANTA GEORGIA 30306, EE. UU. |
| BUILDING OCCUPANCY GROUP | RESIDENTIAL R-1                                 |
| TYPE OF CONSTRUCTION     | VB                                              |
| SPRINKLERS               | NO                                              |
| STORIES                  | 1                                               |
| HEIGHT                   | 32'-6 1/8"                                      |
| LOT SIZE                 | 16,596.62 SQ FT                                 |
| FLOOR AREA               | 2,103.63 SQ FT                                  |

## DRAWING INDEX

- A.0 - SITE PLAN.
- A.1 - FLOOR PLANS (MAIN, UPPER AND ROOF PLAN)
- A.2 - ELEVATIONS (FRONT, RIGHT, REAR AND LEFT)
- A.3 - SECTION A-A AND SECTION B-B

## SCOPE OF WORK

- 2,103 SQ. FT. GARAGE/P CONVERSION TO ADU: 2 BEDROOMS, 1 OFFICE, LIVING, DINING, KITCHEN, BATH, AND CLOSET.



www.theantree.com

CLIENT/OWNER:

07-MAR26-AR

PROJECT:

## 28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

DESCRIPTION:

## COVER SHEET

DRAWING VERSION

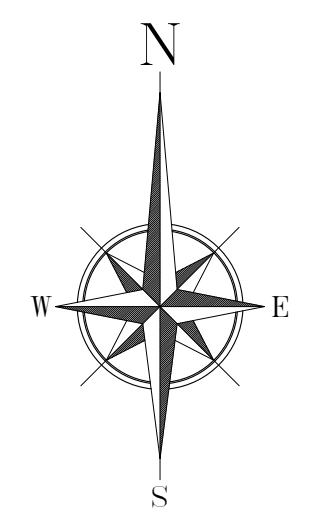
DATE: DRAWN

03-26

SCALE:

SHEET:

C.S.



### GENERAL NOTES

1. REFER TO FRAMING PLAN TO DETERMINE WHICH WALLS ARE LOAD BEARING, JOIST LAYOUT AND WHERE BEAMS ARE TO BE LOCATED.
2. THESE DRAWINGS, ALONG WITH THE SPECIFICATIONS REPRESENT A PORTION OF THE AGREEMENT BETWEEN THE OWNER AND THE ARCHITECT.
3. IT IS RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE CONTRACT DOCUMENTS INCLUDING THE DRAWINGS AND SPECIFICATIONS ARE CORRECT PRIOR TO COMMENCING WORK AT THE SITE.
4. VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCY
5. DO NOT SCALE OFF DRAWINGS; USE DIMENSIONS ONLY. IF IN QUESTION CALL THE ARCHITECT.
6. CONTRACTOR SHALL PROVIDE A FLOOR DRAIN IN ANY UTILITY ROOM AND MECHANICAL ROOM, REGARDLESS OF WHETHER INDICATED ON THE DRAWINGS.
7. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF STUD.
8. ROUGH CARPENTER TO REVIEW ALL ARCHITECTURAL SHEETS FOR CLEAR UNDERSTANDING OF WORK.
9. SEE GENERAL NOTES, SPECIFICATIONS MANUAL, AND STRUCTURAL PLANS FOR ADDITIONAL FRAMING INFORMATION.
10. VERIFY ALL ROUGH OPENING SIZE FOR WINDOWS AND DOORS WITH MANUFACTURER.

**01 SITE PLAN**  
SCALE: 1/16" = 1'-0"

CLIENT/OWNER:

07-MAR26-AR

PROJECT:

## 28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

DESCRIPTION:

SITE PLAN

DRAWING VERSION

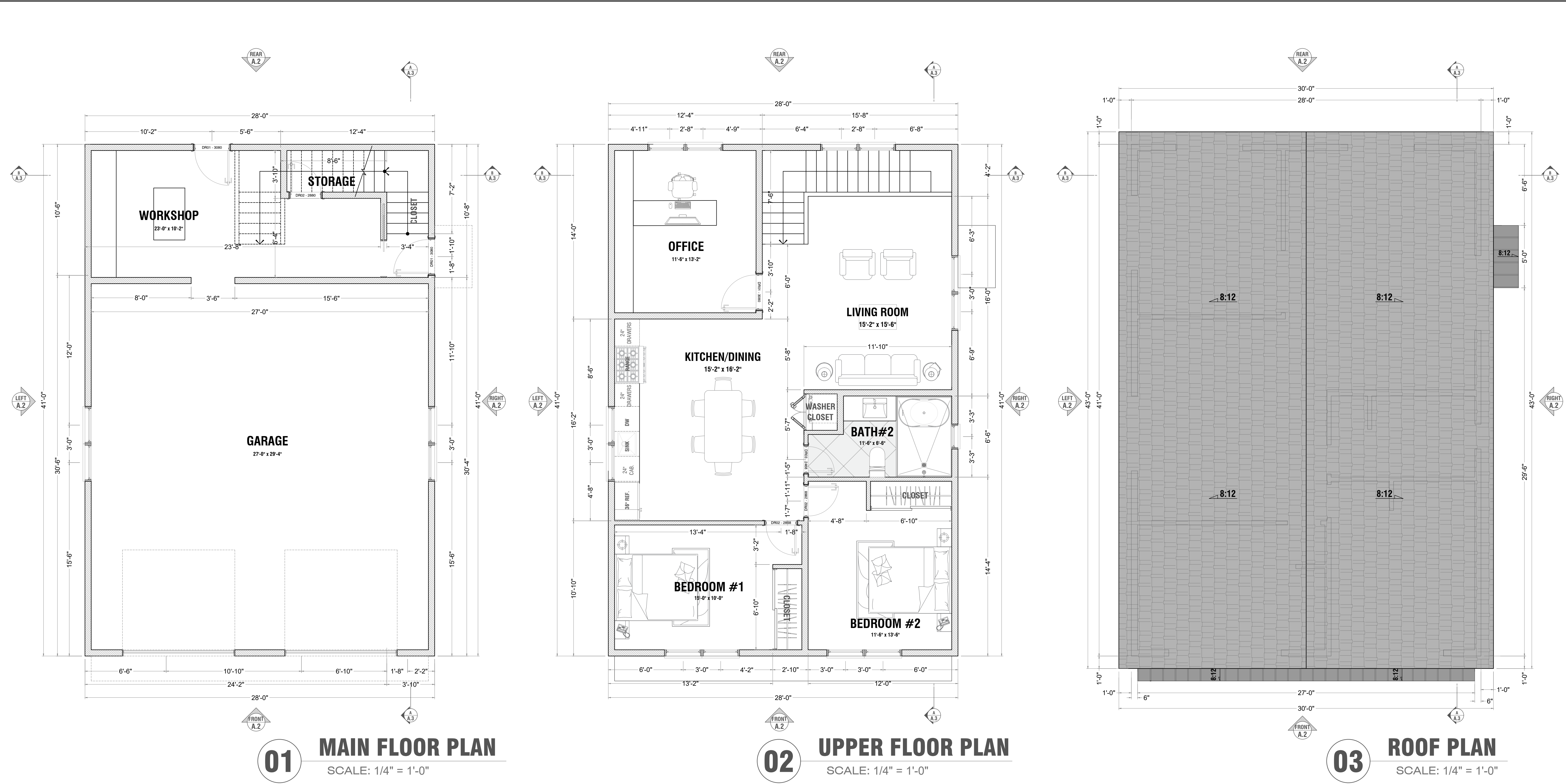
DATE: DRAWN

03-26

SCALE: 1/16" = 1'-0"

SHEET:

**A.0**



| AREA CALCULATION     |  |               |
|----------------------|--|---------------|
| MAIN FLOOR           |  |               |
| FINISHED MAIN FLOOR  |  | 1,147.91 S.F. |
| GARAGE               |  | 849.15 S.F.   |
| WORKSHOP             |  | 217.88 S.F.   |
| STAIRS               |  | 80.88 S.F.    |
| UPPER FLOOR          |  |               |
| FINISHED UPPER FLOOR |  | 955.72 S.F.   |
| ADU                  |  | 1,068.66 S.F. |
| STAIRS               |  | 79.33 S.F.    |
| TOTAL FINISHED       |  | 2,103.63 S.F. |

1. REFER TO FRAMING PLAN TO DETERMINE WHICH WALLS ARE LOAD BEARING, JOIST LAYOUT AND WHERE BEAMS ARE TO BE LOCATED.
2. THESE DRAWINGS, ALONG WITH THE SPECIFICATIONS REPRESENT A PORTION OF THE AGREEMENT BETWEEN THE OWNER AND THE ARCHITECT.
3. IT IS RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE CONTRACT DOCUMENTS INCLUDING THE DRAWINGS AND SPECIFICATIONS ARE CORRECT PRIOR TO COMMENCING WORK AT THE SITE.
4. VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCY
5. DO NOT SCALE OFF DRAWINGS; USE DIMENSIONS ONLY. IF IN QUESTION CALL THE ARCHITECT.
6. CONTRACTOR SHALL PROVIDE A FLOOR DRAIN IN ANY UTILITY ROOM AND MECHANICAL ROOM, REGARDLESS OF WHETHER INDICATED ON THE DRAWINGS.
7. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF STUD.
8. ROUGH CARPENTER TO REVIEW ALL ARCHITECTURAL SHEETS FOR CLEAR UNDERSTANDING OF WORK.
9. SEE GENERAL NOTES, SPECIFICATIONS MANUAL, AND STRUCTURAL PLANS FOR ADDITIONAL FRAMING INFORMATION.
10. VERIFY ALL ROUGH OPENING SIZE FOR WINDOWS AND DOORS WITH MANUFACTURER.

GENERAL NOTES

CLIENT/OWNER:

07-MAR26-AR

PROJECT:

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

03-26

SCALE: 1/4" = 1'-0"

SHEET:

A.1

ARCH Full Bleed D (36.00 X 24.00 Inches)

28x41 GARAGE & ADU

FLOOR PLANS

MAIN, UPPER AND ROOF PLAN

1380 EMORY RD NE ATLANTA GEORGIA 30306

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

PROJECT:

ELEVATION

FRONT, RIGHT, REAR AND LEFT

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

03-26

SCALE: 1/4" = 1'-0"

SHEET:

A.2

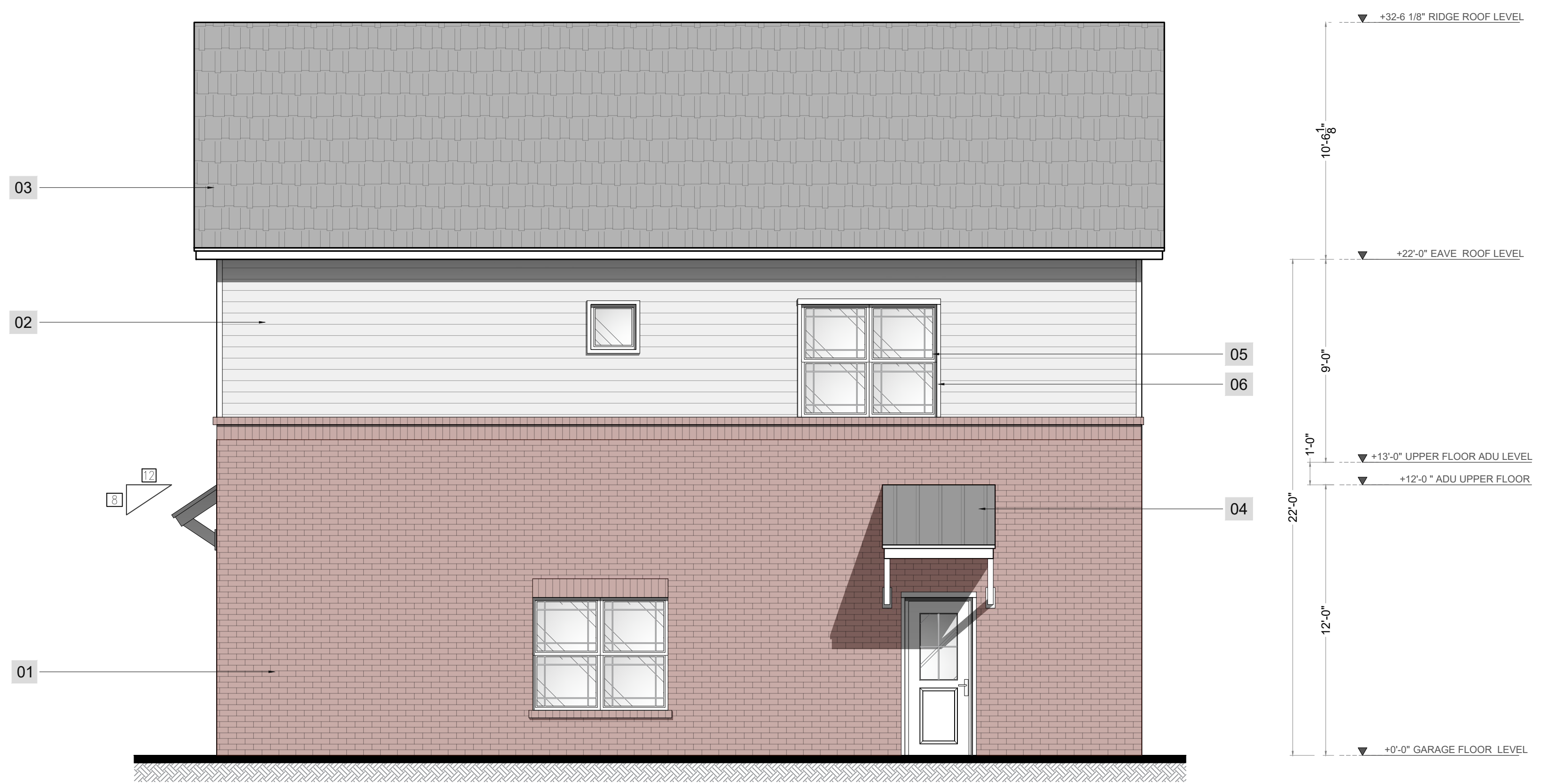
ARCH Full Bleed D (36.00 X 24.00 Inches)



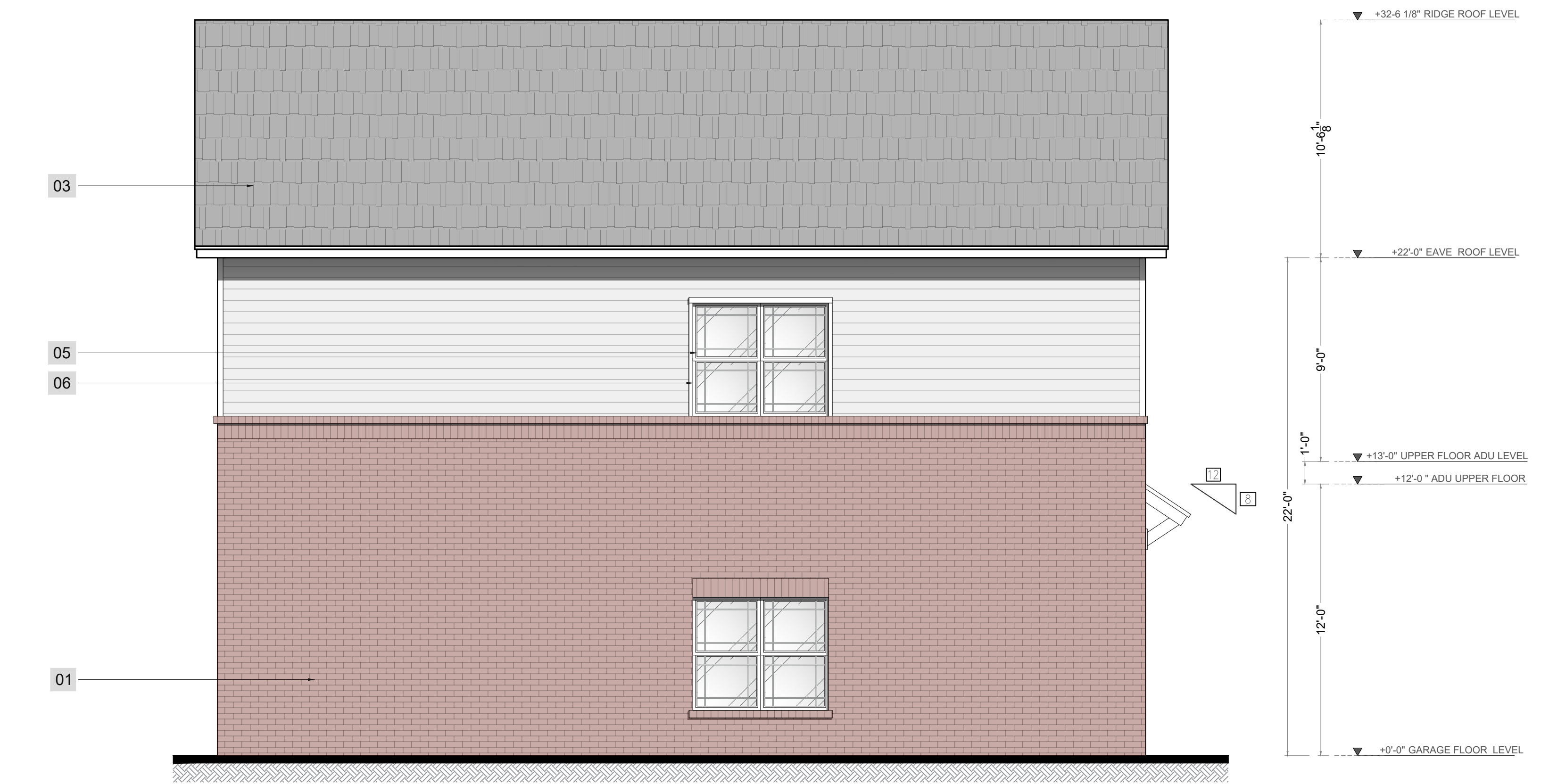
01 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



03 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



02 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



04 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

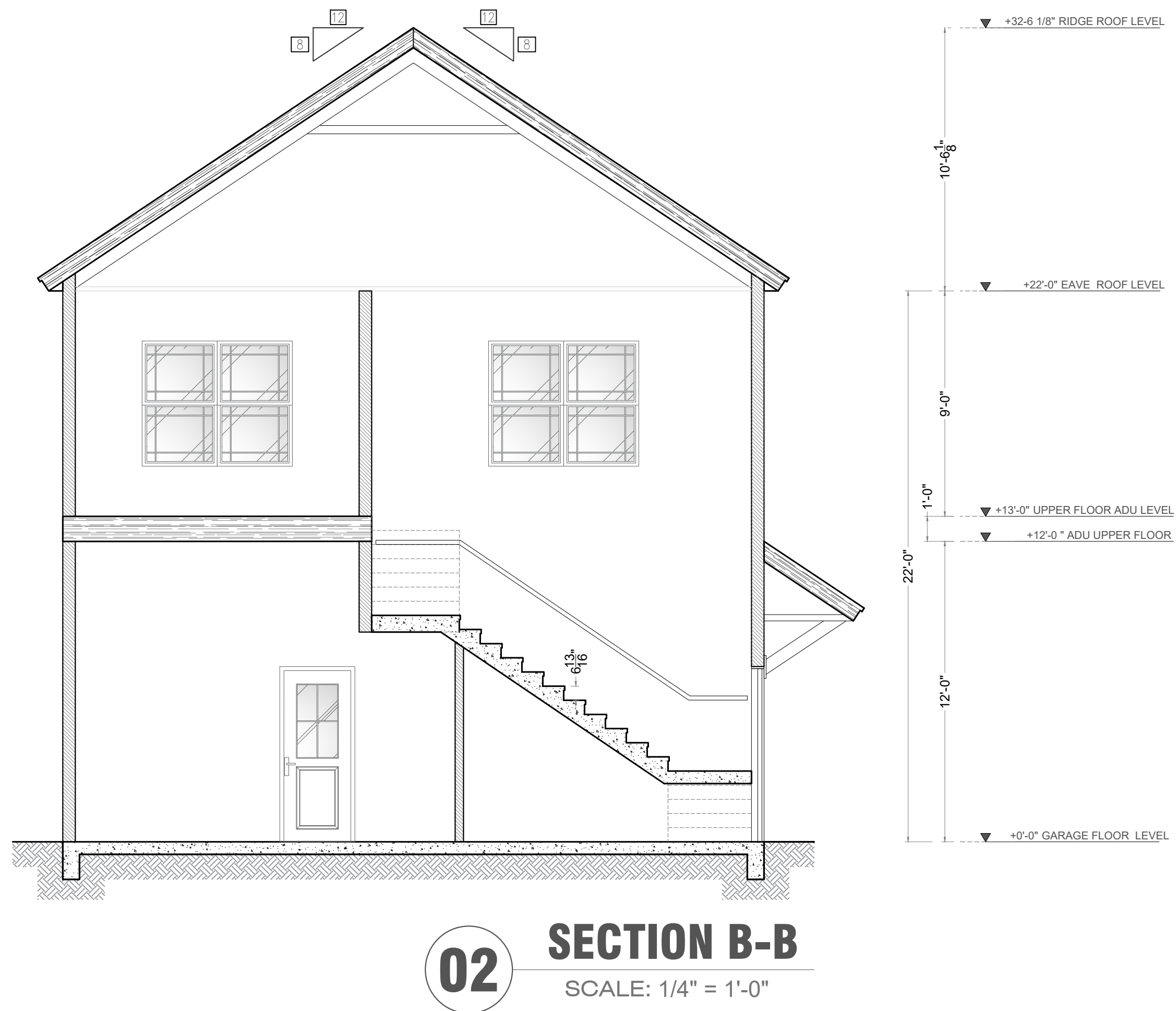
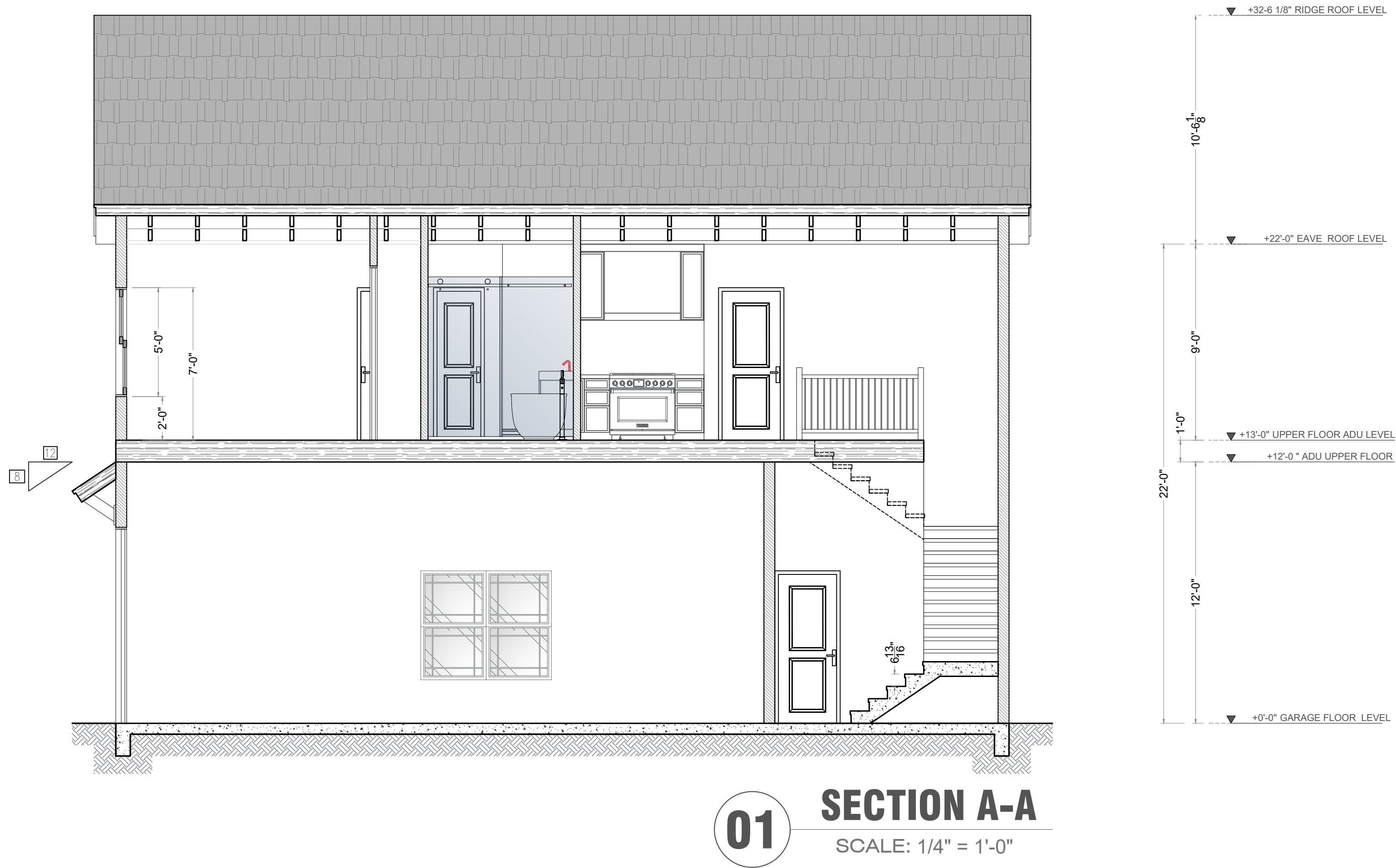
ELEVATIONS NOTES

- 1 BRICK
- 2 SW ALABASTER WHITE LAP SIDING
- 3 DARK GRAY SHINGLE ROOFS
- 4 BLACK STANDING SEAM ROOF
- 5 WHITE WINDOW FRAME
- 6 WHITE FRAME

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

SECTIONS A-A AND  
SECTION B-B



## Decision of the DeKalb County Historic Preservation Commission

**Name of Applicant:** William Witherspoon

**Address of Property:** 1380 Emory Road

**Date(s) of hearing if any:** May 19, 2025

**Case Number:** 1247564

☒ **Approved**    ☐ **Denied**    ☐ **Deferred**

**Approval:** The Historic Preservation Commission, having considered the submissions made on behalf of the applicant and all other matters presented to the Preservation Commission finds that the proposed change(s) will not have a substantial adverse effect on the aesthetic, historic, or architectural significance and value of the historic district and hereby approves the issuance of a certificate of appropriateness.

Any conditions or modifications are shown below.

☒ Pursuant to Code of DeKalb County, § 13.5-8(3), the Preservation Commission has considered the historical and architectural value and significance; architectural style; scale; height; setback; landscaping; general design; arrangement; texture and materials of the architectural features involved and the relationship of such texture and materials to the exterior architectural style; pertinent features of other properties in the immediate neighborhood, as prescribed generally by county code and specifically by the district design guidelines.

☒ This application relates to an existing building, pursuant to the authority granted to the Preservation Commission by Code of DeKalb County, § 13.5-8(3), the Preservation Commission has also used the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guideline for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings therein as guidelines. The Preservation Commission finds that all relevant guidelines have been met.

### **Additional pertinent factors:**

Replace the existing wood windows on a historic house.

---

---

---

Application is approved with conditions or modifications ☒ /without conditions or modifications ☐

**Conditions or modifications (if applicable):**

The applicant may replace the windows located on the side and rear elevations of the property; however, the windows on the front façade of the house should be retained and repaired if possible and only replaced if the windows cannot be repaired, in accordance with Guideline 6.1.4. In accordance with Guideline 6.1.4, the windows are replaced with either wood or a composite material to match the original windows.

---

---

**Denial:** The Preservation Commission has determined that the proposed material changes in appearance would have a substantial adverse effect on the aesthetic, historic or architectural significance and value of the historic property or the historic district ☐ / or, the applicant has not provided sufficient information for the Preservation Commission to approve the application ☐. Specifically, the Preservation Commission finds as follows:

---

---

---

---

**Deferral:** The Preservation Commission has deferred action on this application for the following reasons:

---

---

---

---

The application will be re-heard by the Historic Preservation Commission at its meeting on

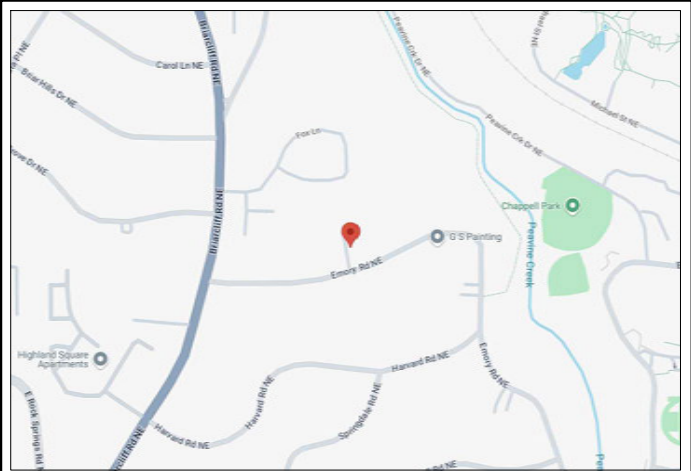
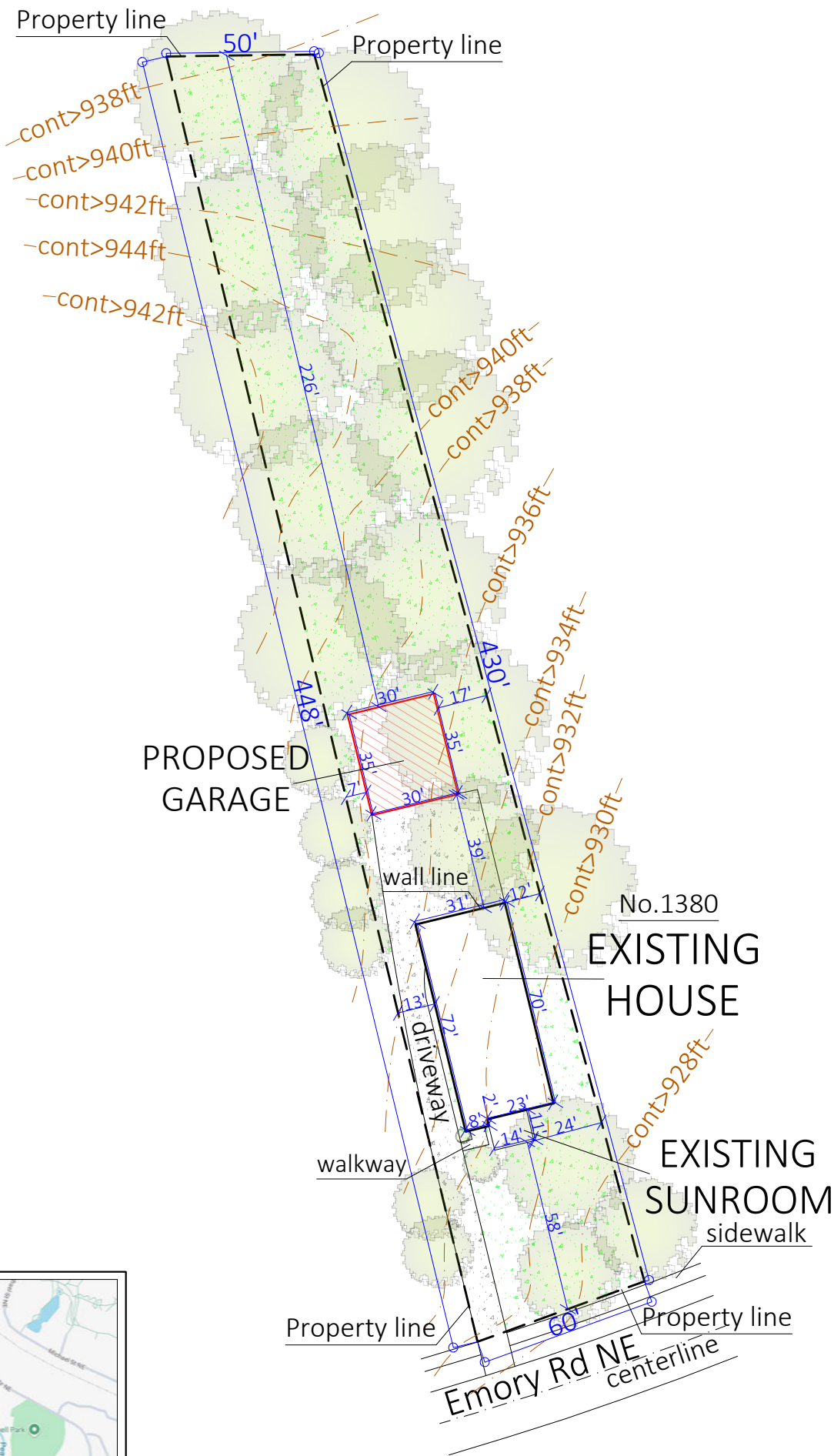
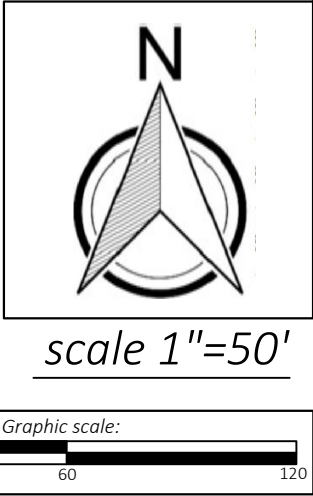
---

**Date:** May 23, 2025

**Signature:**   
**Chair, DeKalb County  
Historic Preservation Commission**

May 23, 2025

S I T E P L A N  
1380 Emory Rd NE  
Atlanta, GA 30306  
Parcel ID: 18 054 11 014  
Lot area: 0.55 Acres  
Paper Size: 11"x17"



Calculating Building and Lot Coverage Percentages  
Lot area: 23,958 sq.ft.  
Total building coverage (gross floor area): 3,388 sq.ft.  
Building Coverage Percentage: 3,388 sq.ft / 23,958 sq.ft = 0.14141 = 14.1%  
Total Lot Coverage: 6,366 sq.ft.  
Lot Coverage Percentage: 6,366 sq.ft / 23,958 sq.ft = 0.26571 = 26.6%  
\*Total landscape areas:

**Disclaimer**  
This is not a Legal Survey, nor is it intended to be or replace one.  
These measurements are approximate and are for illustrative purposes only.  
This work product represents only generalized location of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, objects or boundary.

Chief Executive Officer  
Lorraine Cochran-Johnson

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

Director  
Juliana A. Njoku

## ENVIRONMENTAL REQUIREMENTS FOR BUILDING PERMITS

The following environmental measures must be in place before permits will be issued.

1. Erosion control measures shall be adequate to protect saved trees on site, state waters, intermediate regional floodplain, drainage systems, required buffers, and adjacent properties, including county or state right-of-ways. ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED AT ALL TIMES UNTIL FINAL LANDSCAPING.
2. All required buffers and floodplains shall be clearly demarcated using sediment barriers and/or tree protection fencing. All state waters, buffers, and floodplains shall have a double row of type "C" silt fence along entire limits.
3. Tree protection fencing will be installed prior to any land disturbing activities, and maintained until final landscaping. No parking, storage, or other construction activities to occur within tree protection areas. Removal or damaged trees designated as save will result in a court summons and will require recompense with 4 inch caliper trees (number to be determined per incident).
4. Tree protection fence will be installed in such a way to adequately protect the critical root zone of all saved trees. Critical root zone means an area of root space that is within a circle circumscribed around the trunk of a healthy tree using a radius of one (1) foot per once (1) of a DBH. Exceptions to strict adherence may be made with prior approval from Environmental Plans Review & Inspections.
5. Prior issuance of the Certificate of Occupancy (CO), all disturbed areas will have a minimum of 90 vegetative cover using sod or other approved landscape materials. Coverage will be determined by viewing any square yard on site.
6. Site is to comply with the requirements of the tree ordinance. Cal (4047) 371-4913 for the Environmental Development Inspector at least 72 hours prior to requesting a Certificate of Occupancy.
7. No finished grade on the lot shall exceed 3:1 slope without prior approval.
8. No trash, building debris, or construction waste will be buried inadvertently on any building site.

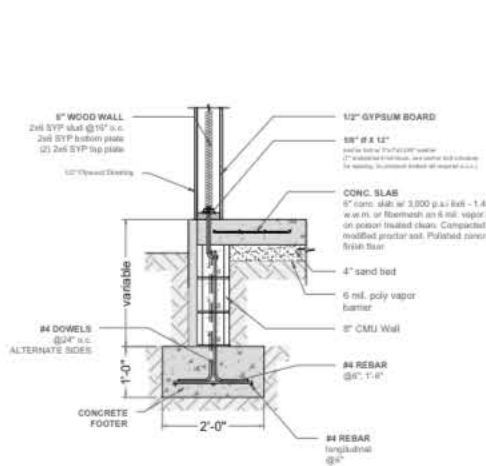
**I acknowledge that I have received and will comply with the requirements listed above, or a court summons and/or a stop work order can be issued.**

SIGNATURE  DATE 4/28/2026

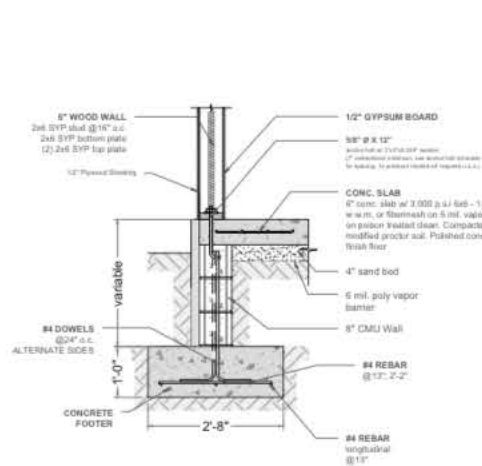
PRINTED NAME William Witherspoon

SITE ADDRESS 1380 Emory Rd Atlanta GA, 30306

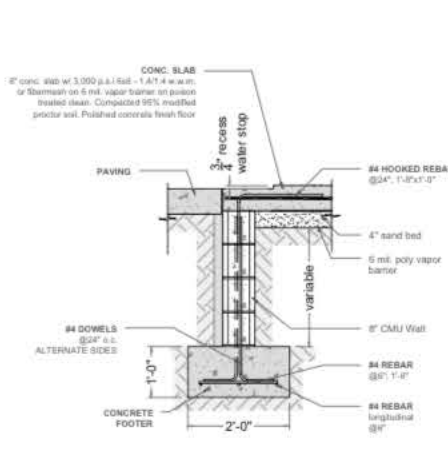
16



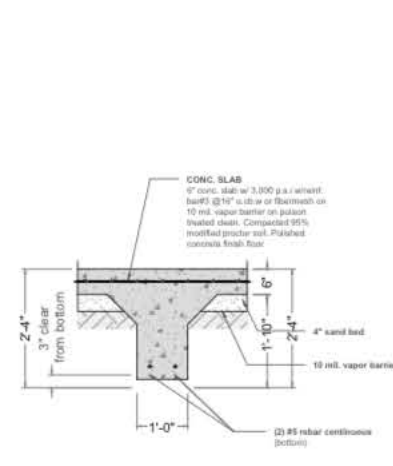
**01**  
**S.4** **DETAIL 01**  
SCALE: 1/2" = 1'-0"



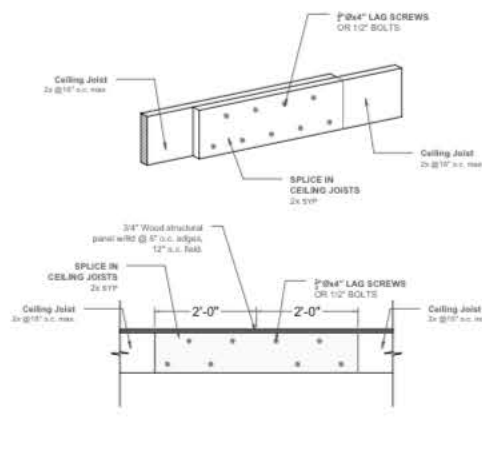
**02**  
**S.4** **DETAIL 02**  
SCALE: 1/2" = 1'-0"



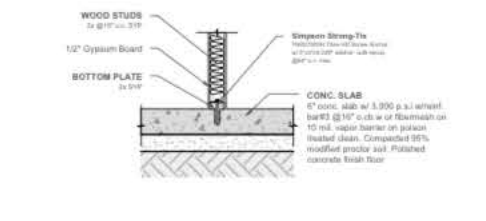
**03**  
**S.4** **DETAIL 03**  
SCALE: 1/2" = 1'-0"



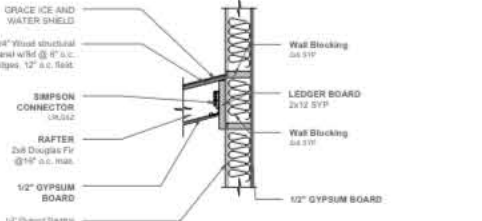
**04**  
**S.4** **DETAIL 04**  
SCALE: 1/2" = 1'-0"



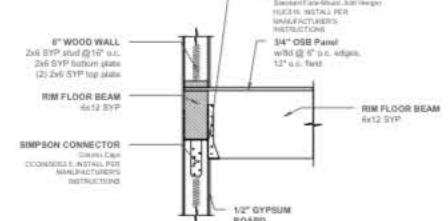
**05**  
**S.4** **DETAIL 05**  
SCALE: 1/2" = 1'-0"



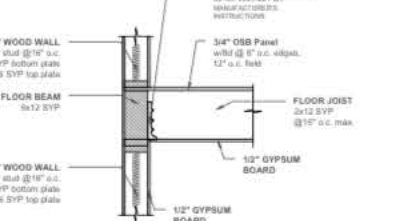
**06**  
**S.4** **DETAIL 06**  
SCALE: 1/2" = 1'-0"



**07**  
**S.4** **DETAIL 07**  
SCALE: 1/2" = 1'-0"



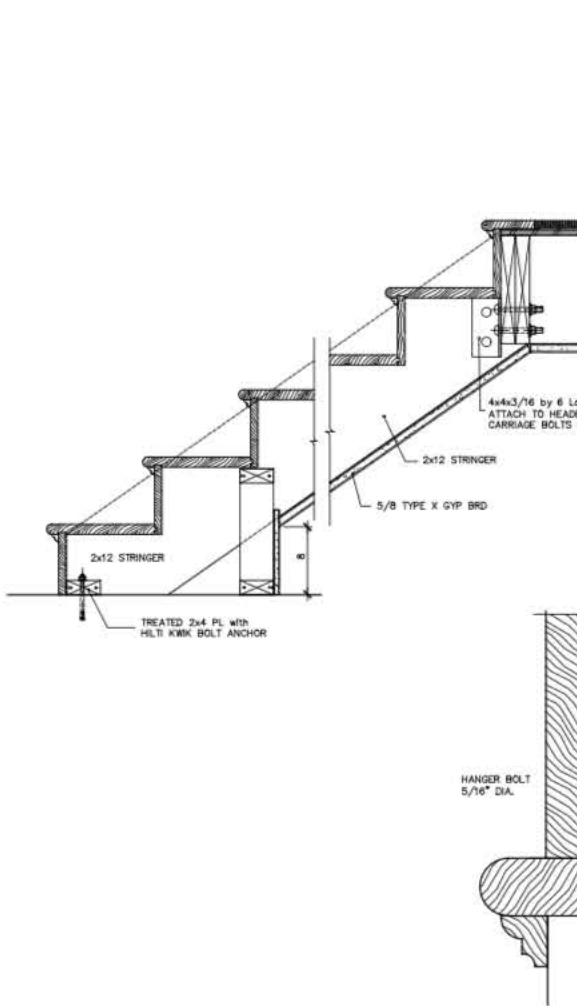
**08**  
**S.4** **DETAIL 08**  
SCALE: 1/2" = 1'-0"



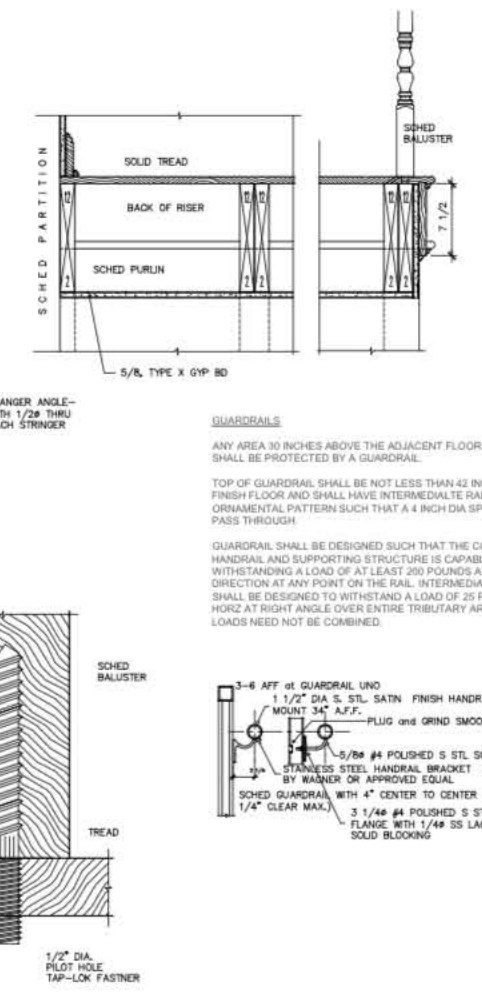
**09**  
**S.4** **DETAIL 09**  
SCALE: 1/2" = 1'-0"



**10**  
**S.4** **TOP PLATE SPLICE DETAIL ON BEARING WALL**  
SCALE: 1/2" = 1'-0"



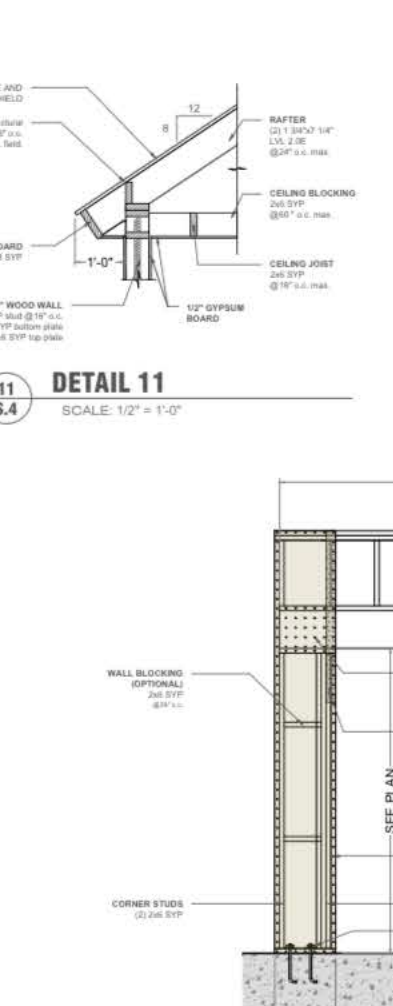
**13**  
**S.4** **TYP. STAIR DETAILS**  
SCALE: 3/8" = 1'-0"



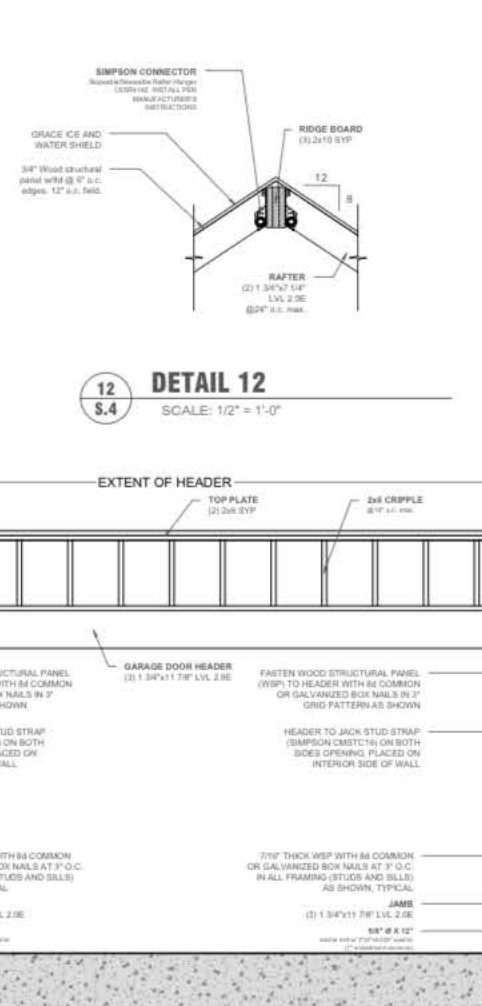
**07**  
**S.4** **DETAIL 07**  
SCALE: 1/2" = 1'-0"



**08**  
**S.4** **DETAIL 08**  
SCALE: 1/2" = 1'-0"



**09**  
**S.4** **DETAIL 09**  
SCALE: 1/2" = 1'-0"



**10**  
**S.4** **TOP PLATE SPLICE DETAIL ON BEARING WALL**  
SCALE: 1/2" = 1'-0"



04.16.2026  
ENGINEER OF RECORD:  
VENKATA ROHIT GRANDHI, P.E.  
7823 Boxwood Ct,  
Highland, CA 92346  
rohith.grandi@gmail.com

07-MAR26-AR

# 28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

PROJECT:

DESCRIPTION:

## STRUCTURAL DETAILS

DRAWING VERSION

DATE: DRAWN

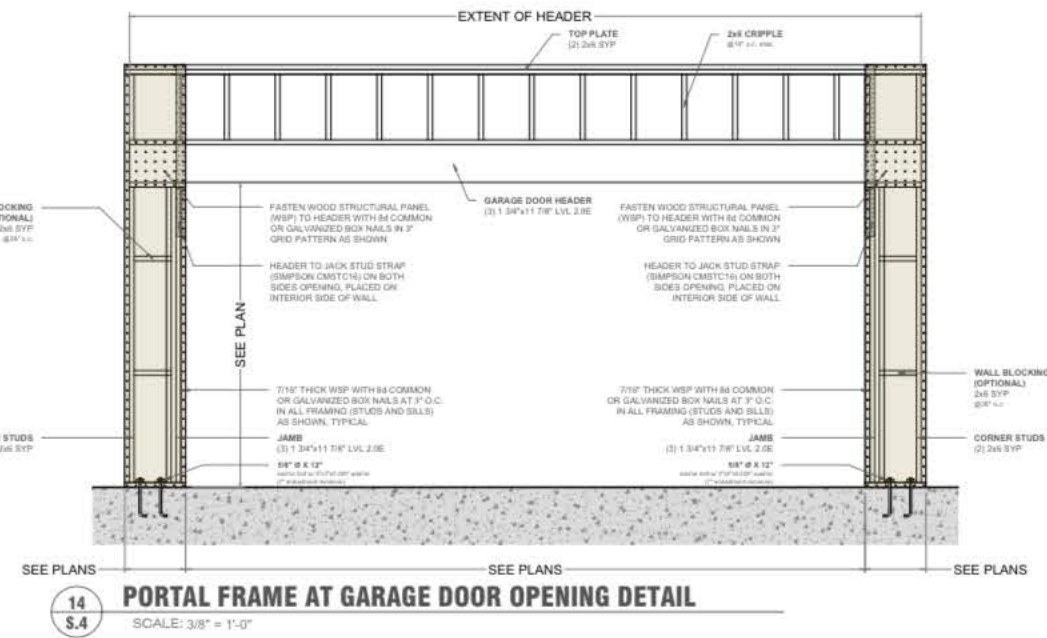
03-26

SCALE: 1/4" = 1'-0"

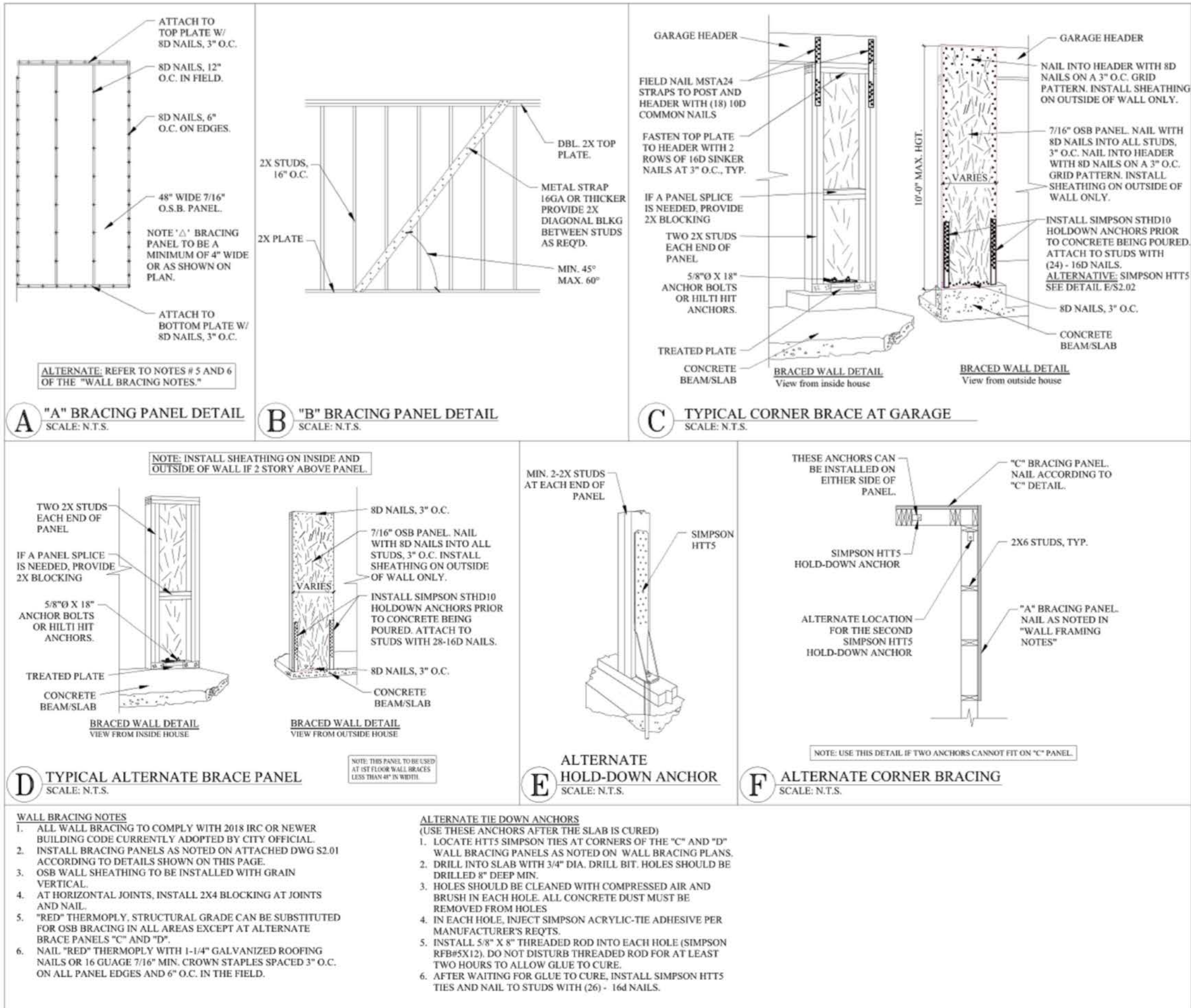
SHEET:

**S.4**

ARCH Full Bleed D (36.00 X 24.00 Inches)



**14**  
**S.4** **PORTAL FRAME AT GARAGE DOOR OPENING DETAIL**  
SCALE: 3/8" = 1'-0"





04.16.2026

ENGINEER OF RECORD:  
VENKATA ROHIT GRANDHI, P.E.  
7823 Boxwood Ct,  
Highland, CA 92346  
rohith.grandi@gmail.com

07-MAR26-AR

1380 EMORY RD NE ATLANTA GEORGIA 30306

## 28x41 GARAGE & ADU

MAIN LEVEL, UPPER LEVEL

PROJECT:

FOUNDATION PLAN  
WALL FRAMING PLAN  
FLOOR FRAMING PLAN

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

03-26

SCALE: 1/4" = 1'-0"

SHEET:

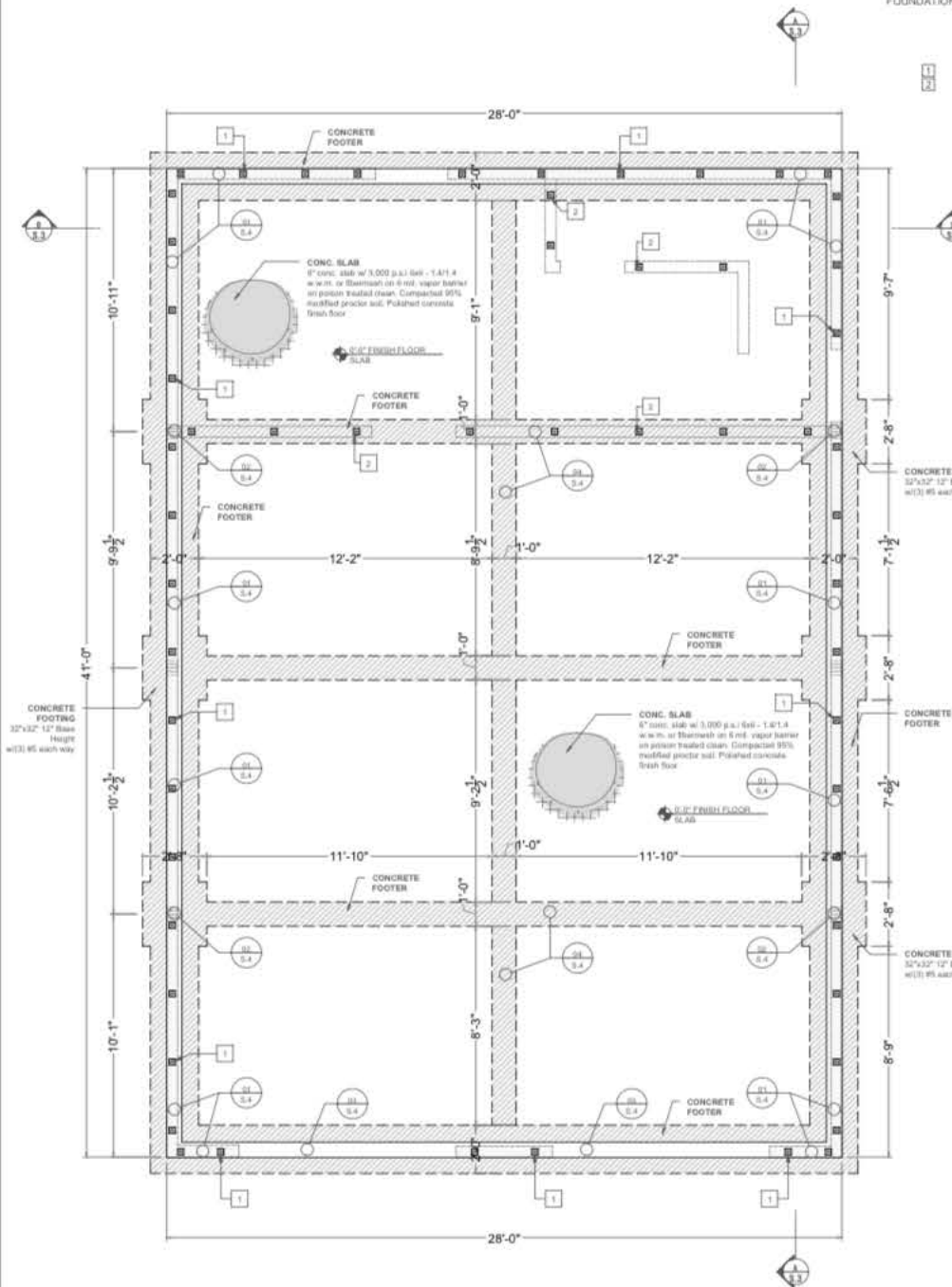
# S.1

ARCH Full Bleed D (36.00 X 24.00 Inches)

### Anchor Bolt Schedule

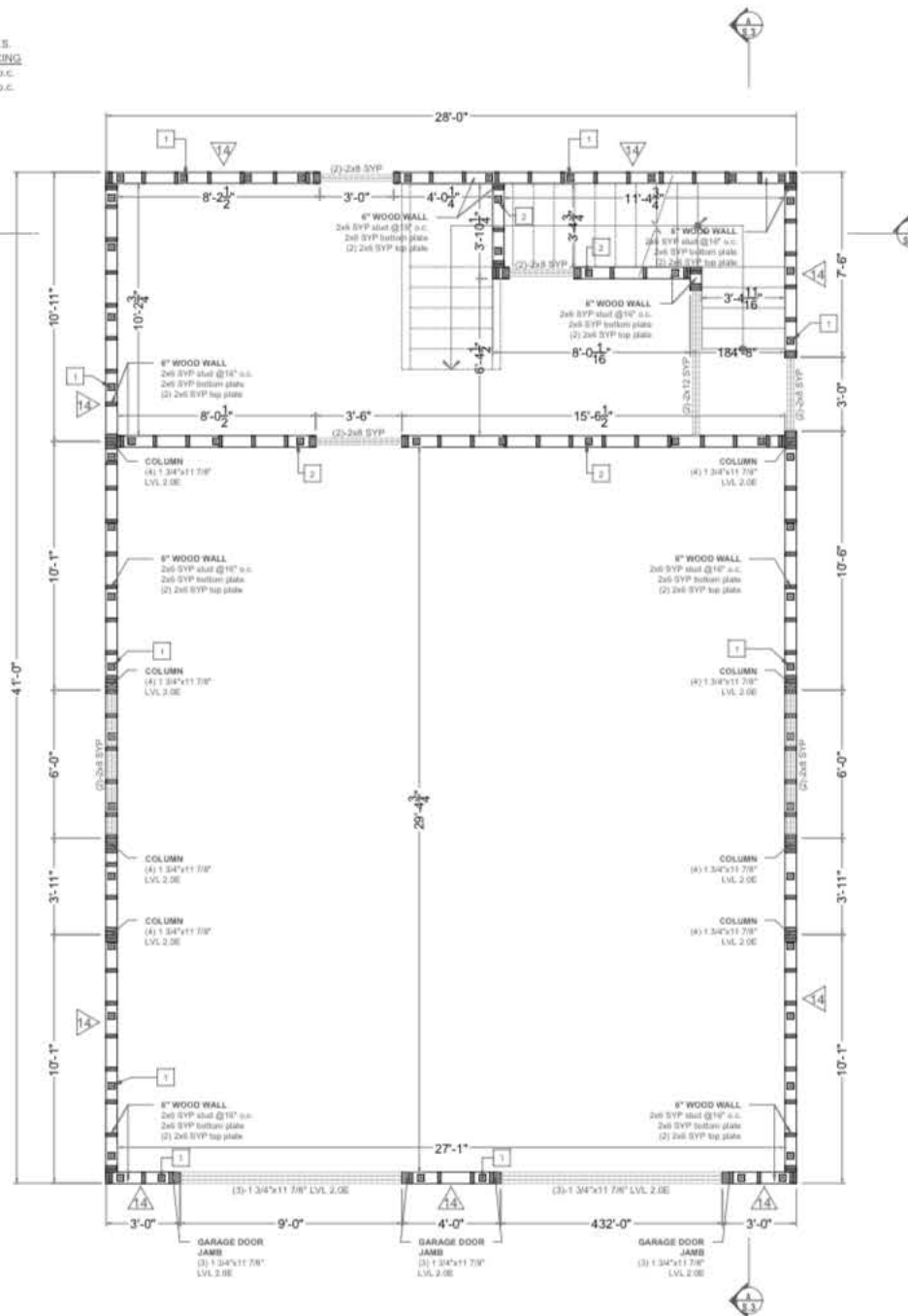
MINIMUM ANCHOR BOLT EMBEDMENT 7" INTO FOUNDATION FOOTING.

| SIMPSON  | M.A.S.   |
|----------|----------|
| 5/8"x12" | SPACING  |
| 40" o.c. | 30" o.c. |
| 54" o.c. | 44" o.c. |



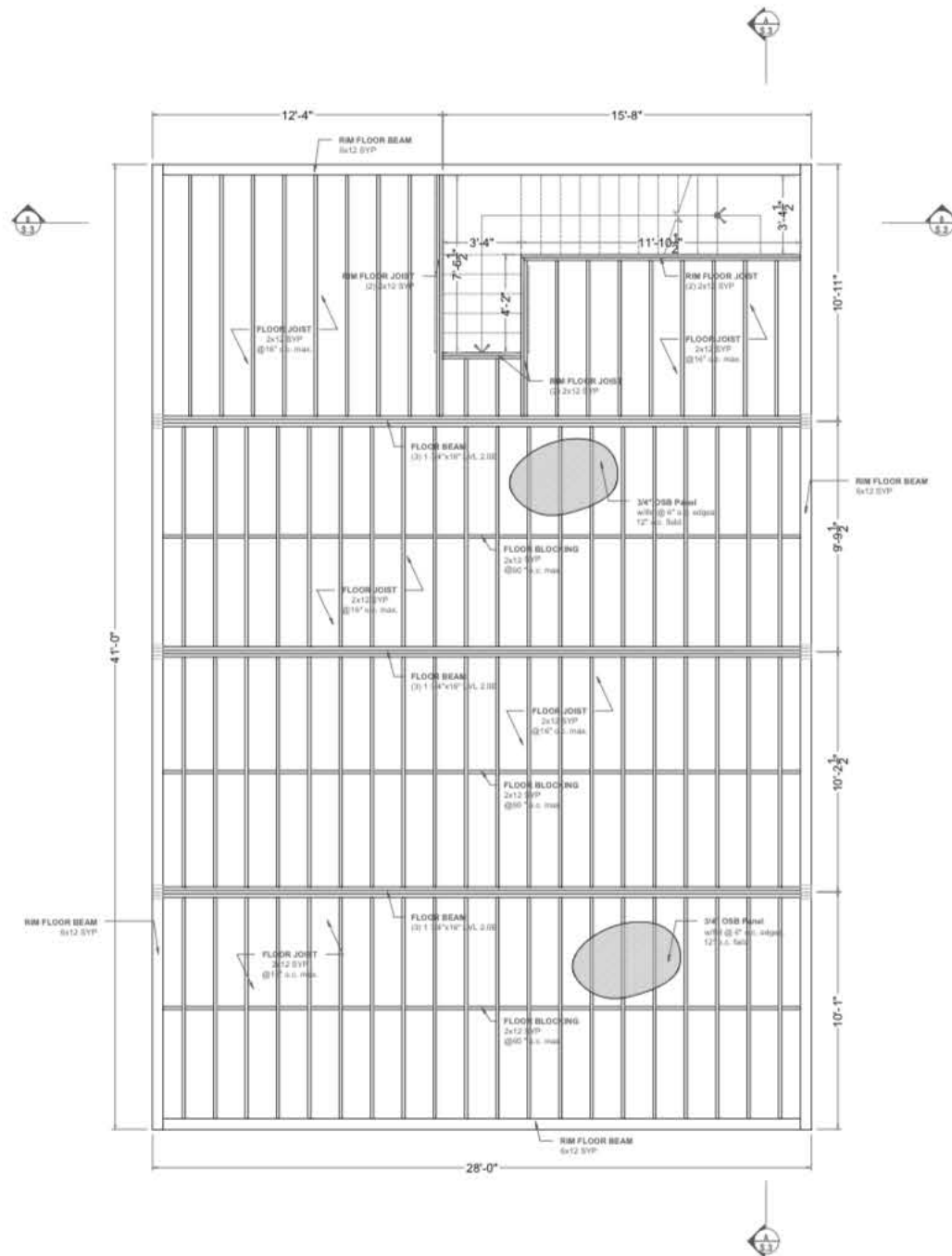
### 01 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



### 02 WALL FRAMING - MAIN LEVEL

SCALE: 1/4" = 1'-0"



### 03 FLOOR FRAMING - UPPER LEVEL

SCALE: 1/4" = 1'-0"

### FOUNDATION GENERAL NOTES

- FOUNDATIONS & EARTHWORK TO BE IN CONFORMANCE WITH THE ORIGINAL SOILS REPORT FOR THIS TRACT. NOTIFY ENGINEER OF RECORD PRIOR TO CONSTRUCTION OF ANY KNOWN DISCREPANCIES.
- ANCHOR BOLTS SHALL BE LOCATED AS FOLLOWS:
  - WITHIN 12" OF A PLATE SPICE ON EXTERIOR WALLS.
  - WITHIN 12" OF THE END OF A SHEAR PANEL (INTERIOR AND EXTERIOR).
  - MINIMUM OF TWO BOLTS PER PIECE.
- RETRO-FIT BOLT REQUIREMENTS:
  - EXTERIOR WALLS-USE ONLY AN APPROVED EPOXY SYSTEM, NO EXPANDING ANCHORS ALLOWED. ALT: SIMPSON 5/8"x3 3/4" TITEN-HD.
  - INTERIOR WALLS-EXPANDING ANCHORS ARE ACCEPTABLE.
  - ALL EPOXIED RETRO-FIT ANCHORS SHALL BE INSTALLED WITH SIMPSON SET-XP EPOXY IN THE PRESENCE OF A BUILDING INSPECTOR, ENGINEER, ARCHITECT OR APPROVED INSPECTION COMPANY. REPORT SHALL BE FORWARDED TO ENGINEER & BUILDING INSPECTOR.
- ALL BOLTS SHALL USE 3"x3"x0.229" STEEL PLATE WASHERS. SLOTTED WASHERS MAY BE USED PROVIDED STANDARD CUT WASHERS ARE USED IN CONJUNCTION WITH THE SLOTTED WASHERS.
- ALL LUMBER IN CONTACT W/ CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- CONCRETE IN FOOTINGS SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 3,000 PSI IN 28 DAYS.
- WOOD FRAMING MEMBERS THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE TREATED.
- REBAR TO BE GRADE 60 - 60,000 PSI.

### MATERIALS SPECIFICATION

- CONCRETE FOR FOOTING TO STRENGTH TO BE A MIN. 3000 PSI AT 28 DAYS.
- REINFORCING STEEL SHALL BE DEFORMED, CONFORM TO ASTM STANDARDS, AND BE GRADE 60.
- FOUNDATION DEPTH AND WIDTH IS MEASURED INTO UNDISTURBED NATURAL SOIL.

### CONCRETE COVER OF REINFORCING

3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.  
1 1/2" CONCRETE EXPOSED TO EARTH OR WEATHER.  
1 1/2" BEAMS AND COLUMNS NOT EXPOSED TO EARTH OR WEATHER.  
3/4" SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER.

### GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION & PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS HAVE BEEN INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY.

REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

### STRUCTURAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CONTRACT DRAWINGS.
- DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF ENGINEER.
- ALL DETAILS DESIGNATED AS STANDARD OR TYPICAL SHALL OCCUR IN ADDITION TO ANY OTHER SPECIFIC DETAIL CALLED OUT.
- COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS FOR SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR DUCTS, PIPES, AND PIPE SLEEVES, ELECTRICAL CONDUITS, AND OTHER ITEMS TO BE EMBEDDED IN CONCRETE OR OTHERWISE INCORPORATED IN STRUCTURAL WORK.

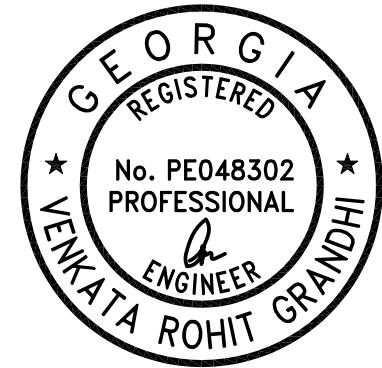
### SITE WORK

UNLESS A SOILS INVESTIGATION BY A QUALIFIED SOILS ENGINEER IS PROVIDED, FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 3000 PSF. EXTERIOR FOOTINGS SHALL BEAR 1'-6" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACK FILL TO BE THOROUGHLY COMPACTED.

### WALL FRAMING NOTES

- ALL EXTERIOR WALLS 2X6 STUDS @16" O.C. END NAILED W/ (3) - 0.131" DIA X3" NAILS ON EACH END OF STUD. 2X6 BLOCKING W/ (2) - 0.131" DIA X3" NAILS @ EACH END AS REQUIRED W/ 0.131" DIA X2 1/2" NAILS @ 4" O.C.
- ALL EXTERIOR WALLS 2X4 STUDS @16" O.C. END NAILED W/ (3) - 0.131" DIA X3" NAILS ON EACH END OF STUD. 2X4 BLOCKING W/ (2) - 0.131" DIA X3" NAILS @ EACH END AS REQUIRED W/ 0.131" DIA X2 1/2" NAILS @ 4" O.C.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF STUD.
- ROUGH CARPENTER TO REVIEW ALL ARCHITECTURAL SHEETS FOR CLEAR UNDERSTANDING OF WORK.
- VERIFY ALL ROUGH OPENING SIZE FOR WINDOWS AND DOORS WITH MANUFACTURER.
- ALL HARDWARE TO BE CORROSION RESISTANT AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- ALL LUMBER IN CONTACT W/ CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- WOOD FRAMING MEMBERS THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE TREATED.

| SHEARWALL SCHEDULE |                                                                                                     |                   |
|--------------------|-----------------------------------------------------------------------------------------------------|-------------------|
| INDICATOR          | DESCRIPTION                                                                                         | SB Plate Labeling |
| 1                  | 1/2" WOOD STRUCTURAL PANEL W/ 3/8" @ 4" O.C. TRUSS, 12" O.C. FIELD. SEE FRAMING LAYOUT FOR DETAILS. | 12W 8' 4" x 3'    |



04.16.2026

ENGINEER OF RECORD:  
VENKATA ROHIT GRANDHI, P.E  
7823 Boxwood Ct.  
Highland, CA 92346  
rohith.grandi@gmail.com

07-MAR26-AR

## 28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

PROJECT:

FOUNDATION PLAN  
WALL FRAMING PLAN  
FLOOR FRAMING PLAN

MAIN LEVEL, UPPER LEVEL

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

03-26

SCALE: 1/4" = 1'-0"

SHEET:

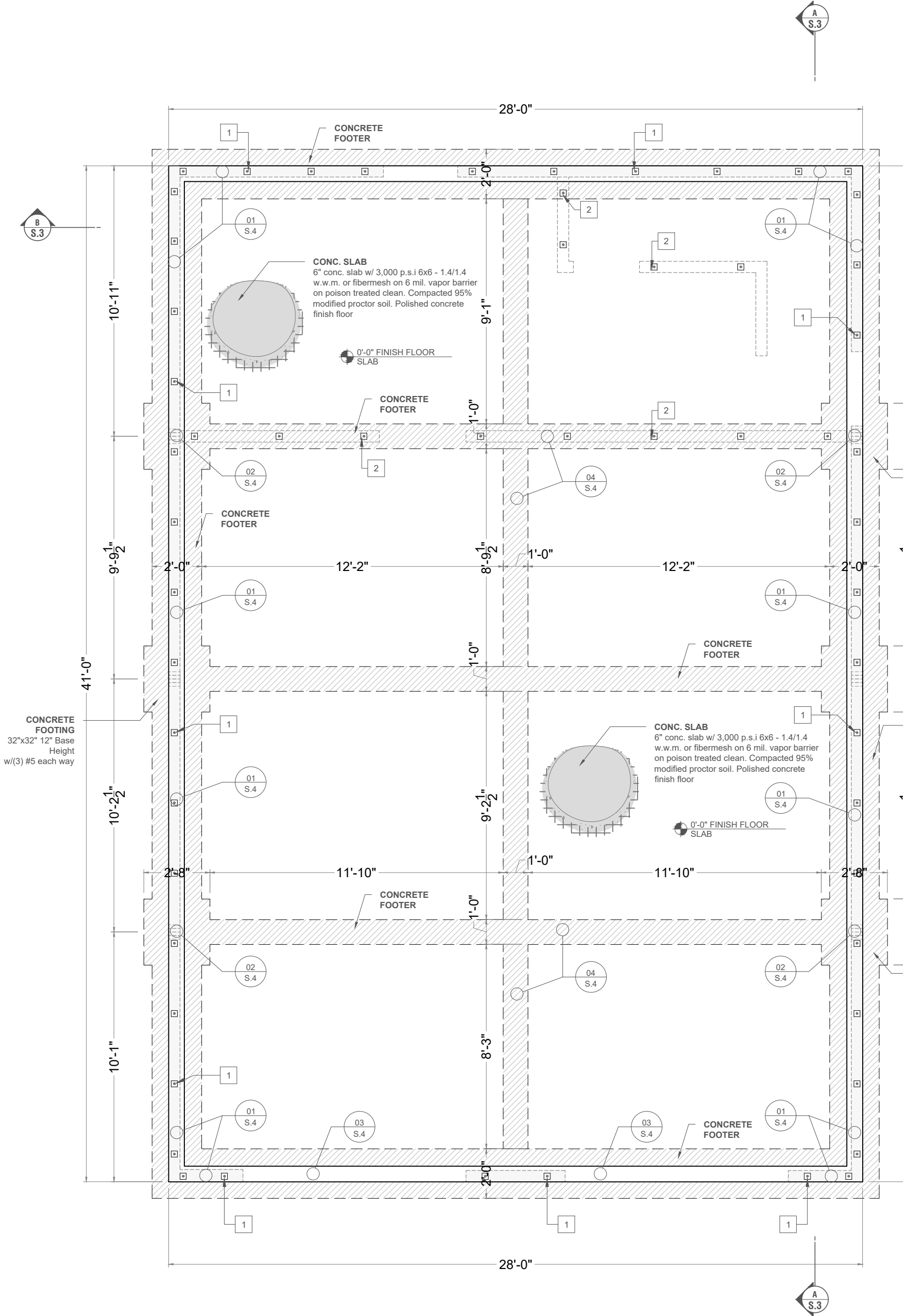
# S.1

ARCH Full Bleed D (36.00 X 24.00 Inches)

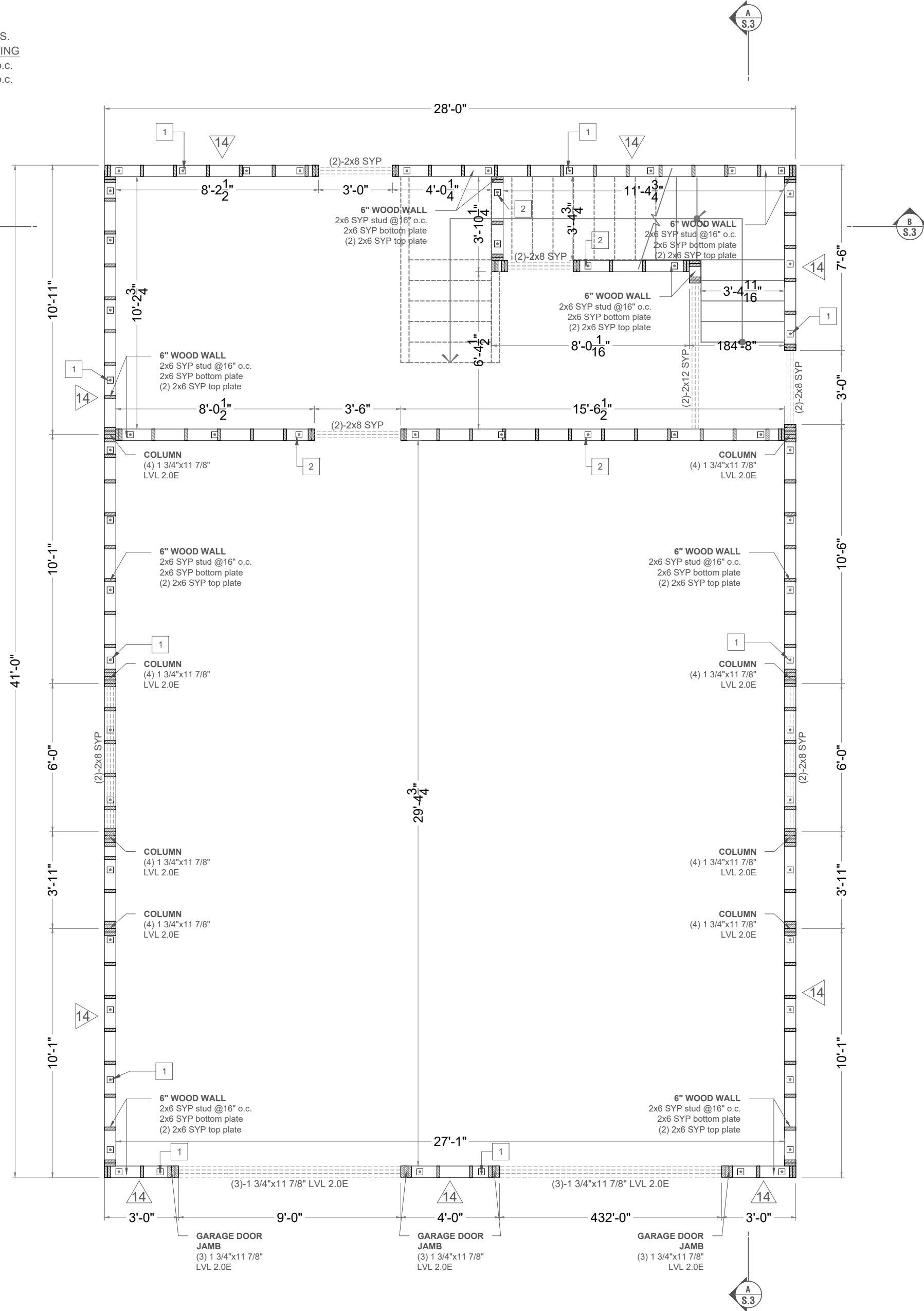
### Anchor Bolt Schedule

MINIMUM ANCHOR BOLT EMBEDMENT 7" INTO FOUNDATION FOOTING.

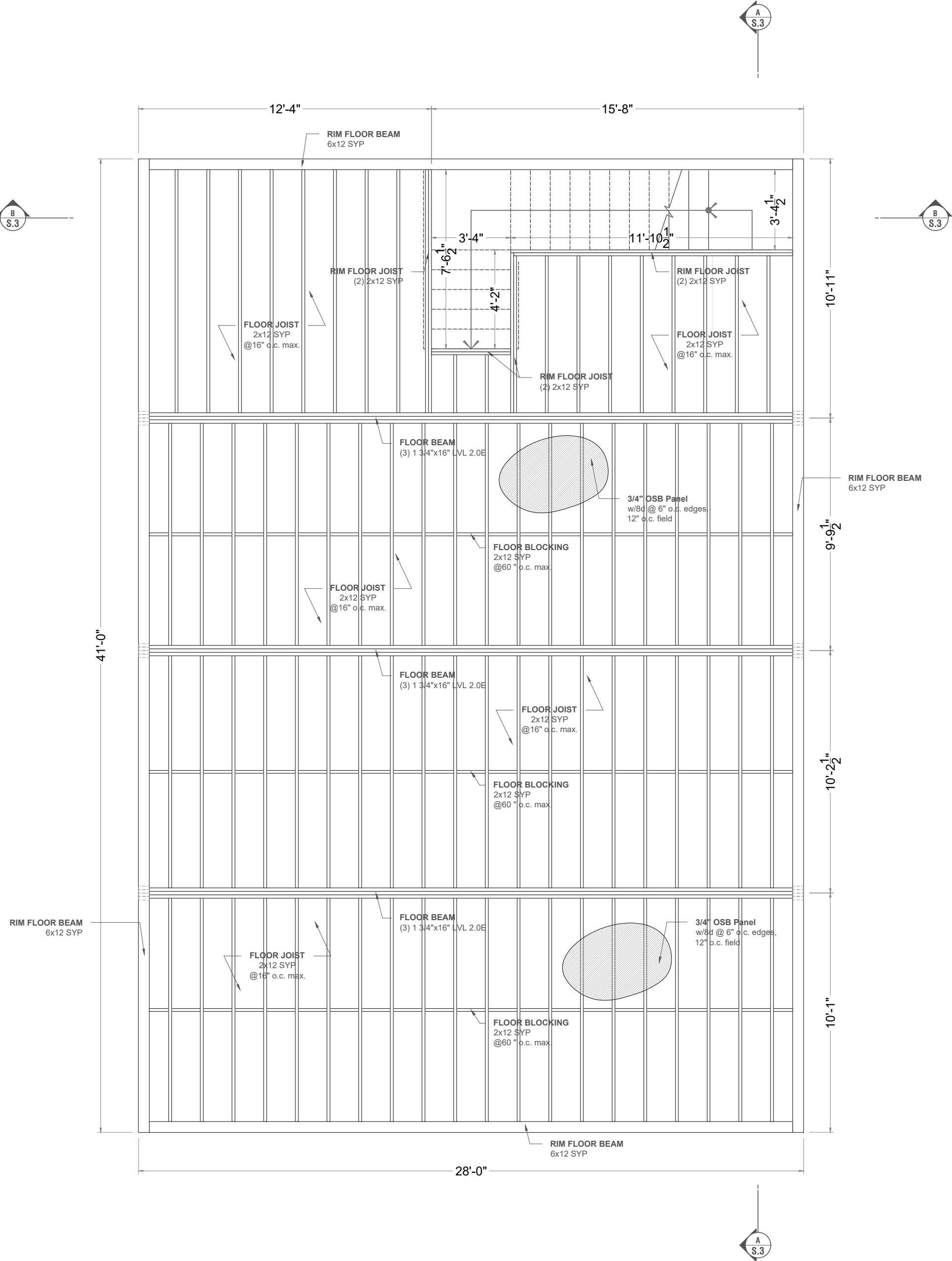
| SIMPSON  | M.A.S.   |
|----------|----------|
| 5/8"x12" |          |
| SPACING  | SPACING  |
| 40" o.c. | 30" o.c. |
| 54" o.c. | 44" o.c. |



**01** FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



**02** WALL FRAMING - MAIN LEVEL  
SCALE: 1/4" = 1'-0"



**03** FLOOR FRAMING - UPPER LEVEL  
SCALE: 1/4" = 1'-0"

### FOUNDATION GENERAL NOTES

- FOUNDATIONS & EARTHWORK TO BE IN CONFORMANCE WITH THE ORIGINAL SOILS REPORT FOR THIS TRACT. NOTIFY ENGINEER OF RECORD PRIOR TO CONSTRUCTION OF ANY KNOWN DISCREPANCIES.
- ANCHOR BOLTS SHALL BE LOCATED AS FOLLOWS:
  - WITHIN 12" OF A PLATE SPLICE ON EXTERIOR WALLS.
  - WITHIN 12" OF THE END OF A SHEAR PANEL (INTERIOR AND EXTERIOR).
  - MINIMUM OF TWO BOLTS PER PIECE.
- RETRO-FIT BOLT REQUIREMENTS:
  - EXTERIOR WALLS-USE ONLY AN APPROVED EPOXY SYSTEM, NO EXPANDING ANCHORS ALLOWED. ALT: SIMPSON 5/8"x3 3/4" TITEN-HD.
  - INTERIOR WALLS-EXPANDING ANCHORS ARE ACCEPTABLE.
  - ALL EPOXIED RETRO-FIT ANCHORS SHALL BE INSTALLED WITH SIMPSON SET-XP EPOXY IN THE PRESENCE OF A BUILDING INSPECTOR, ENGINEER, ARCHITECT OR APPROVED INSPECTION COMPANY. REPORT SHALL BE FORWARDED TO ENGINEER & BUILDING INSPECTOR.
- ALL BOLTS SHALL USE 3"x3"x0.229" STEEL PLATE WASHERS. SLOTTED WASHERS MAY BE USED PROVIDED STANDARD CUT WASHERS ARE USED IN CONJUNCTION WITH THE SLOTTED WASHERS.
- ALL LUMBER IN CONTACT W/ CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- CONCRETE IN FOOTINGS SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 3,000 PSI IN 28 DAYS.
- WOOD FRAMING MEMBERS THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE TREATED.
- REBAR TO BE GRADE 60 - 60,000 PSI.

### MATERIALS SPECIFICATION

- CONCRETE FOR FOOTING TO STRENGTH TO BE A MIN. 3000 PSI AT 28 DAYS.
- REINFORCING STEEL SHALL BE DEFORMED, CONFORM TO ASTM STANDARDS, AND BE GRADE 60.
- FOUNDATION DEPTH AND WIDTH IS MEASURED INTO UNDISTURBED NATURAL SOIL.

### CONCRETE COVER OF REINFORCING

3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.  
1 1/2" CONCRETE EXPOSED TO EARTH OR WEATHER.  
1 1/2" BEAMS AND COLUMNS NOT EXPOSED TO EARTH OR WEATHER.  
3/4" SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER.

### GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION & PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS HAVE BEEN INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY.

REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

### STRUCTURAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CONTRACT DRAWINGS.
- DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF ENGINEER.
- ALL DETAILS DESIGNATED AS STANDARD OR TYPICAL SHALL OCCUR IN ADDITION TO ANY OTHER SPECIFIC DETAIL CALLED OUT.
- COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS FOR SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR DUCTS, PIPES, AND PIPE SLEEVES, ELECTRICAL CONDUITS, AND OTHER ITEMS TO BE EMBEDDED IN CONCRETE OR OTHERWISE INCORPORATED IN STRUCTURAL WORK.

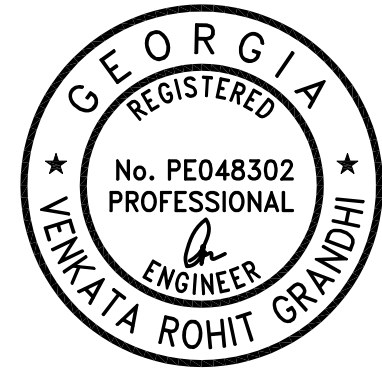
### SITE WORK

UNLESS A SOILS INVESTIGATION BY A QUALIFIED SOILS ENGINEER IS PROVIDED, FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 3000 PSF. EXTERIOR FOOTINGS SHALL BEAR 1'-6" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACK FILL TO BE THOROUGHLY COMPACTED.

### WALL FRAMING NOTES

- ALL EXTERIOR WALLS 2X6 STUDS @16" O.C. END NAILED W/(3) - 0.131" DIA.X3" NAILS ON EACH END OF STUD. 2X6 BLOCKING W/(2) - 0.131" DIA.X3" NAILS @ EACH END AS REQUIRED W/ 0.131" DIA.X2 1/2" NAILS @ 4" O.C.
- ALL EXTERIOR WALLS 2X4 STUDS @16" O.C. END NAILED W/(3) - 0.131" DIA.X3" NAILS ON EACH END OF STUD. 2X4 BLOCKING W/(2) - 0.131" DIA.X3" NAILS @ EACH END AS REQUIRED W/ 0.131" DIA.X2 1/2" NAILS @ 4" O.C.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF STUD.
- ROUGH CARPENTER TO REVIEW ALL ARCHITECTURAL SHEETS FOR CLEAR UNDERSTANDING OF WORK.
- VERIFY ALL ROUGH OPENING SIZE FOR WINDOWS AND DOORS WITH MANUFACTURER.
- ALL HARDWARE TO BE CORROSION RESISTANT AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- ALL LUMBER IN CONTACT W/ CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- WOOD FRAMING MEMBERS THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE TREATED.

| SHEARWALL SCHEDULE |                                                                                                           |                     |
|--------------------|-----------------------------------------------------------------------------------------------------------|---------------------|
| INDICATOR          | DESCRIPTION                                                                                               | Shear Plate Nailing |
| 1                  | 1/2" WOOD STRUCTURAL PANEL W/30 @ 4" O.C. EDGES, 12" O.C. FIELD. USE 3X FRAMING AT ADJOINING PANEL EDGES. | 16d @ 4" o.c.       |



04.16.2026

ENGINEER OF RECORD:  
VENKATA ROHIT GRANDHI, P.E  
7823 Boxwood Ct.  
Highland, CA 92346  
rohith.grandi@gmail.com

07-MAR26-AR

PROJECT:

DESCRIPTION:

WALL FRAMING PLAN  
ROOF FRAMING PLAN

DRAWING VERSION

DATE: DRAWN

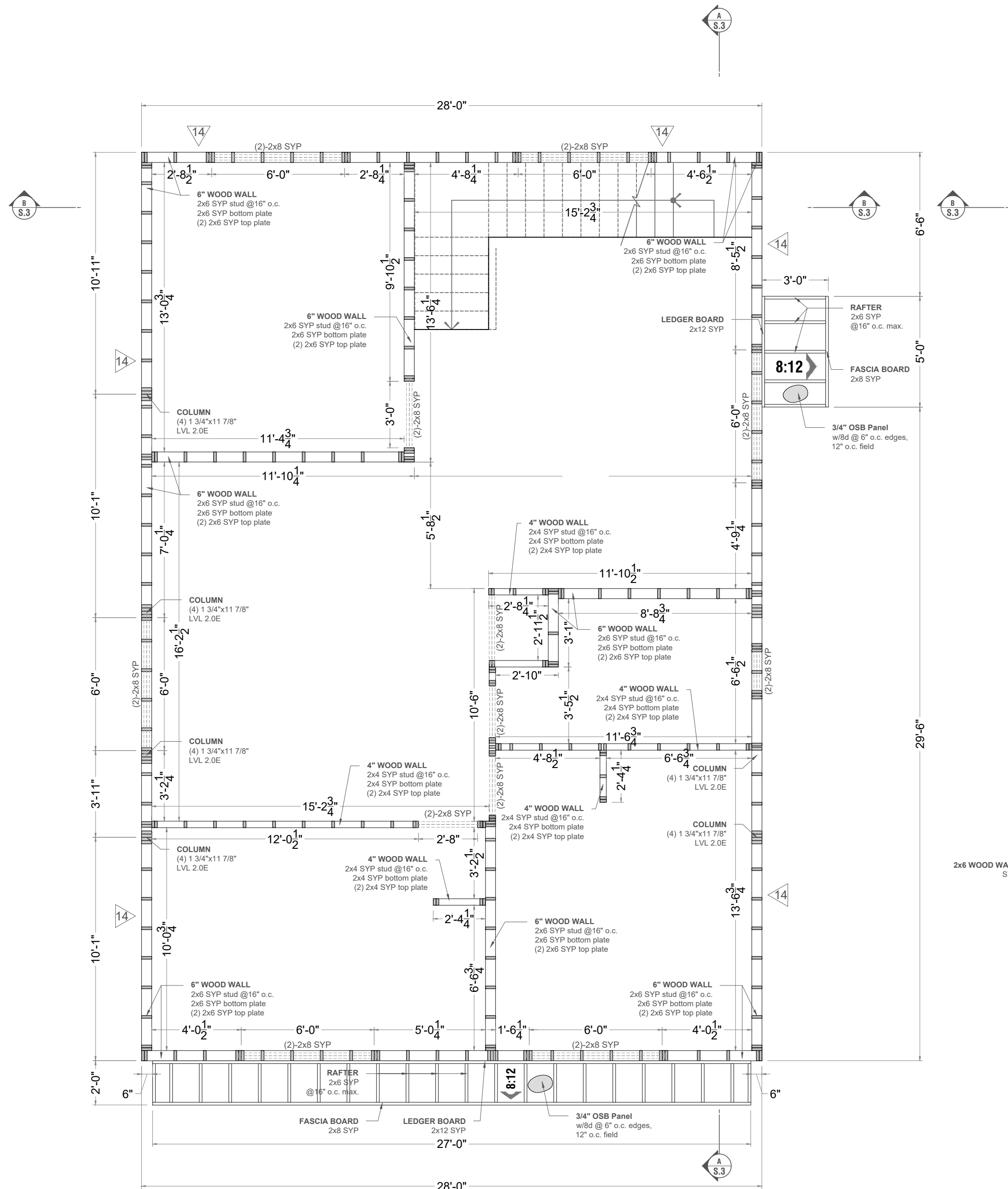
03-26  
SCALE: 1/4" = 1'-0"

SHEET:

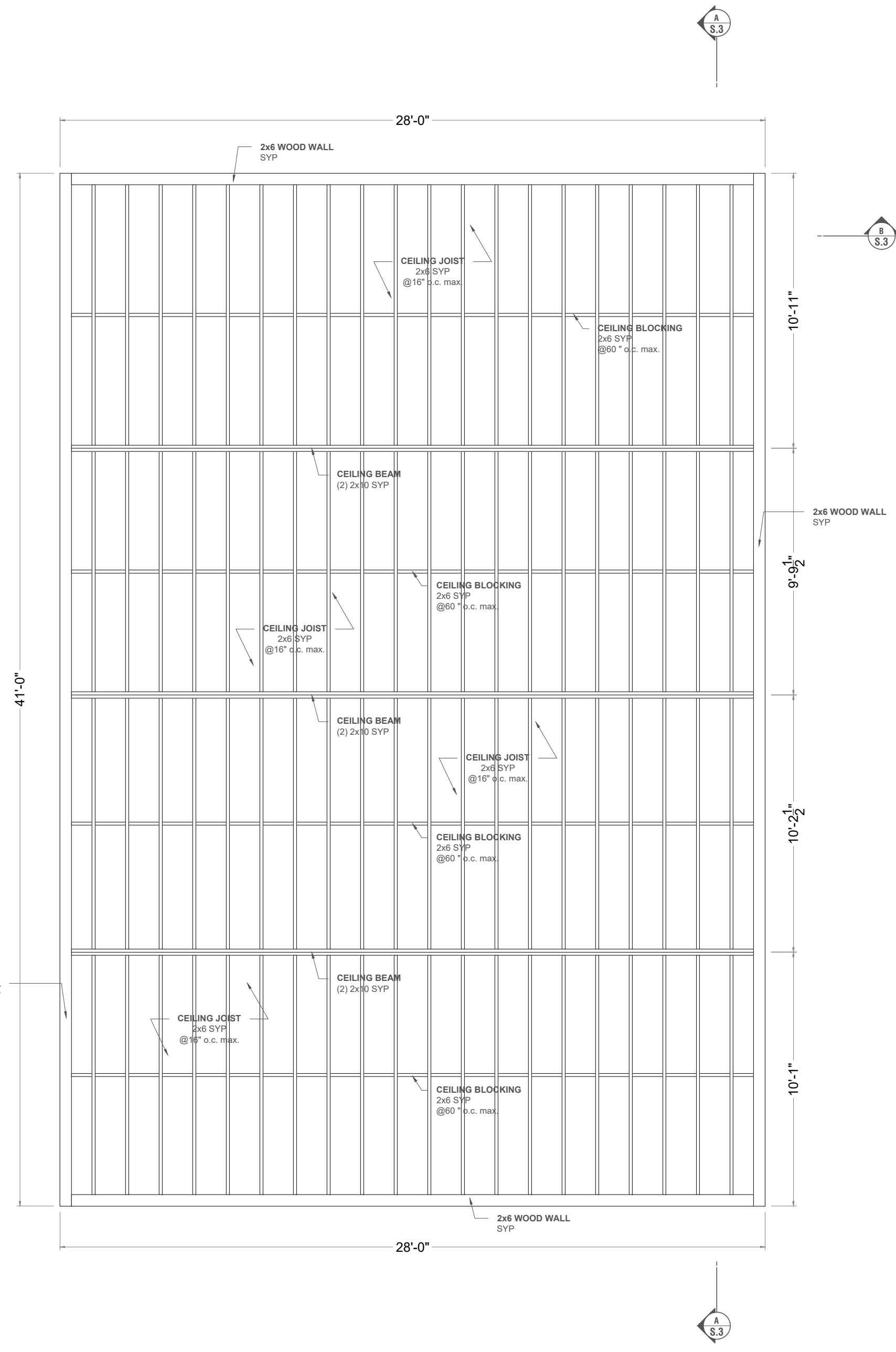
## 28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

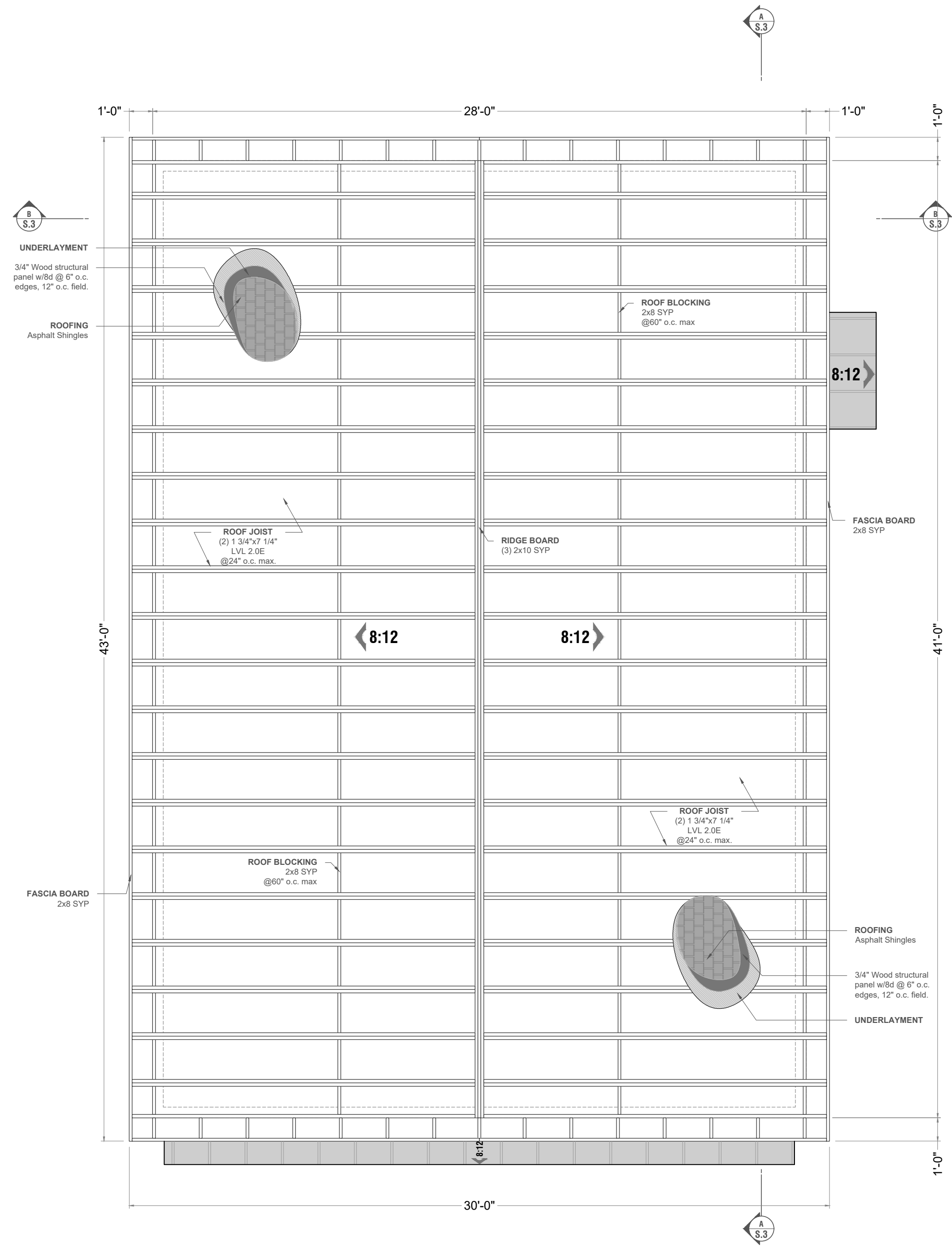
UPPER LEVEL



01 WALL FRAMING - UPPER LEVEL  
SCALE: 1/4" = 1'-0"



02 CEILING FRAMING PLAN  
SCALE: 1/4" = 1'-0"



03 ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

### ROOF FRAMING NOTES

- RAFTERS TO BE (2) 1 3/4"x7 1/4" LVL 2.0E.
- RIDGE BOARD TO BE (3) 2x10 SYP.
- ALL HARDWARE TO BE CORROSION RESISTANT AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- ALL LUMBER IN CONTACT W/ CONCRETE OR MASONRY TO BE PRESSURE TREATED.

### STRUCTURAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CONTRACT DRAWINGS.
- DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF ENGINEER.
- ALL DETAILS DESIGNATED AS STANDARD OR TYPICAL SHALL OCCUR IN ADDITION TO ANY OTHER SPECIFIC DETAIL CALLED OUT.
- COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS FOR SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR DUCTS, PIPES, AND PIPE SLEEVES, ELECTRICAL CONDUITS, AND OTHER ITEMS TO BE EMBEDDED IN CONCRETE OR OTHERWISE INCORPORATED IN STRUCTURAL WORK.

### GENERAL NOTES

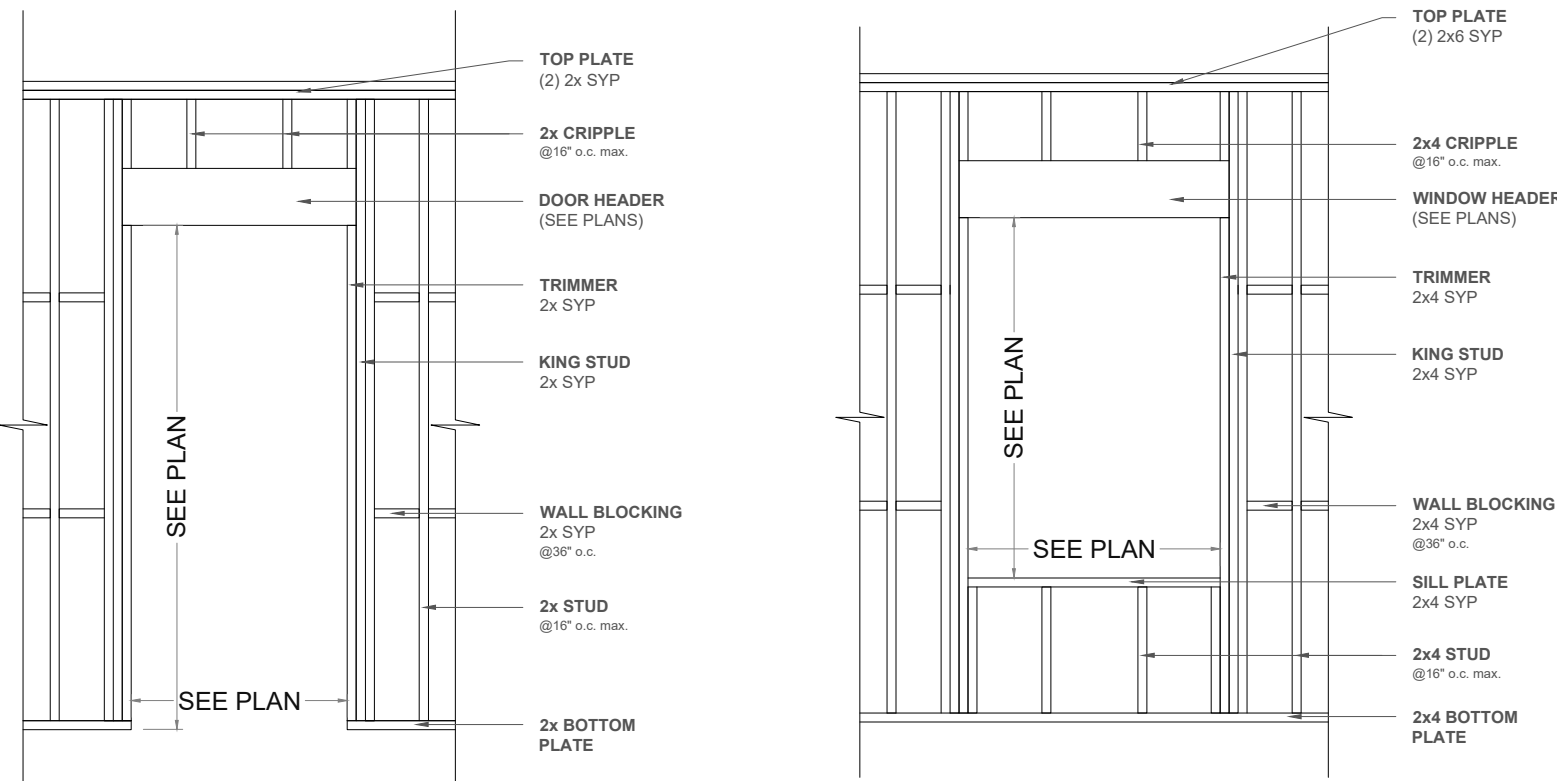
CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION & PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS HAVE BEEN INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY.

REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

### WALL FRAMING NOTES

- ALL EXTERIOR WALLS 2X6 STUDS @16" O.C. END NAILED W(3) - 0.131" DIA.X3" NAILS ON EACH END OF STUD. 2X6 BLOCKING W(2) - 0.131" DIA.X3" NAILS @ EACH END AS REQUIRED W/ 0.131" DIA.X2 1/2" NAILS @ 4" O.C.
- ALL EXTERIOR WALLS 2X4 STUDS @16" O.C. END NAILED W(3) - 0.131" DIA.X3" NAILS ON EACH END OF STUD. 2X4 BLOCKING W(2) - 0.131" DIA.X3" NAILS @ EACH END AS REQUIRED W/ 0.131" DIA.X2 1/2" NAILS @ 4" O.C.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF STUD.
- ROUGH CARPENTER TO REVIEW ALL ARCHITECTURAL SHEETS FOR CLEAR UNDERSTANDING OF WORK.
- VERIFY ALL ROUGH OPENING SIZE FOR WINDOWS AND DOORS WITH MANUFACTURER.
- ALL HARDWARE TO BE CORROSION RESISTANT AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- ALL LUMBER IN CONTACT W/ CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- WOOD FRAMING MEMBERS THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE TREATED.

| SHEARWALL SCHEDULE |                                                                                                           |                    |
|--------------------|-----------------------------------------------------------------------------------------------------------|--------------------|
| INDICATOR          | DESCRIPTION                                                                                               | Sill Plate Nailing |
|                    | 1/2" WOOD STRUCTURAL PANEL W/30 @ 4" O.C. EDGES, 12" O.C. FIELD. USE 3X FRAMING AT ADJOINING PANEL EDGES. | 16d @ 4" o.c.      |



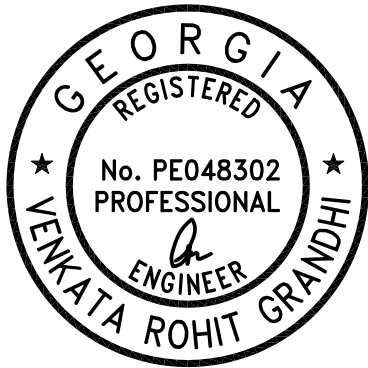
04 TYP. DOOR FRAME  
SCALE: 3/8" = 1'-0"

05 TYP. WINDOW FRAME  
SCALE: 3/8" = 1'-0"

S.2

ARCH Full Bleed D (36.00 X 24.00 Inches)





04.16.2026

ENGINEER OF RECORD:  
VENKATA ROHIT GRANDHI, P.E  
7823 Boxwood Ct.  
Highland, CA 92346  
rohith.grandi@gmail.com

07-MAR26-AR

1380 EMORY RD NE ATLANTA GEORGIA 30306

## STRUCTURAL DETAILS

PROJECT:

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

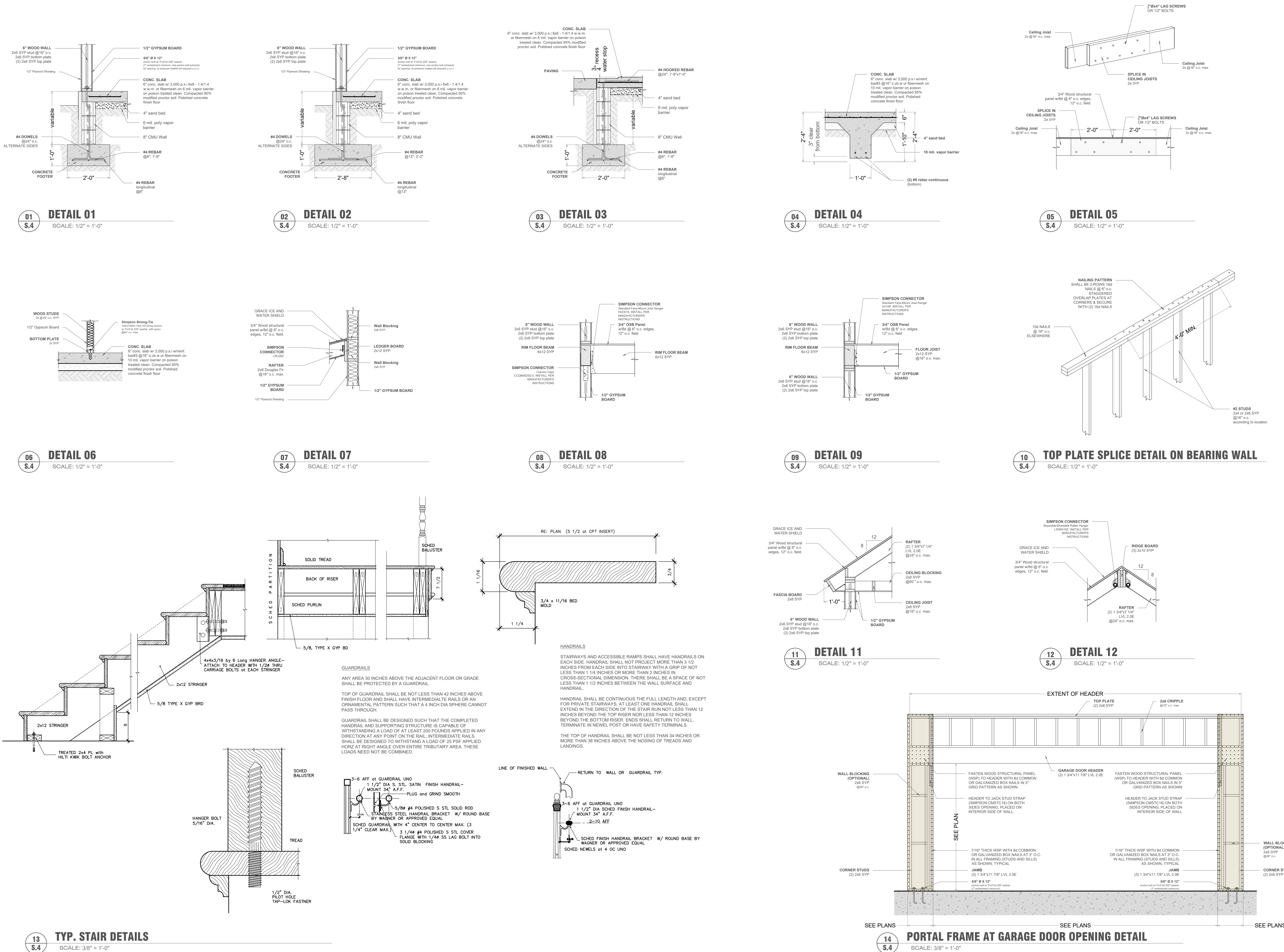
03-26

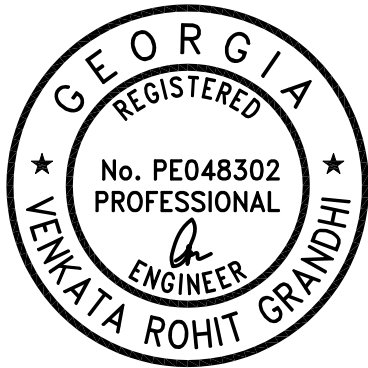
SCALE: 1/4" = 1'-0"

SHEET:

S.4

ARCH Full Bleed D (36.00 X 24.00 Inches)





04.16.2026

ENGINEER OF RECORD:  
VENKATA ROHIT GRANDHI, P.E.  
7823 Boxwood Ct.  
Highland, CA 92346  
rohith.grandi@gmail.com

07-MAR26-AR

PROJECT:

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

03-26  
SCALE: 1/4" = 1'-0"

SHEET:

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

STRUCTURAL DETAILS

S.5

ARCH Full Bleed D (36.00 X 24.00 Inches)

