

DEPARTMENT OF PLANNING & SUSTAINABILITY

Chief of Executive Officer
Lorraine Cochran-Johnson

Director
Juliana A. Njoku

Application for Certificate of Appropriateness

Date Submitted: 06/16/2026

Subject Property Address: 1380 Emory Road Atlanta GA 30306

Property Parcel ID No: 18 054 11 014

Date(s) of Construction on all structures on the property: 1928
(This information can be found in the DeKalb County property accessory and tax records database.)

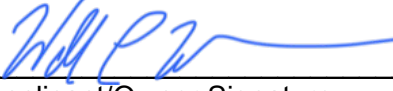
Nature of Work (check all that apply):

New construction	☐	New Accessory Building	☐	Other Building Changes	☐
Demolition	☐	Landscaping	☐	Other Environmental Changes	☐
Addition	☐	Fence/wall	☐	Other	☐
Moving a building	☐	Sign Installation	☐		

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc.

***PLEASE REVIEW THE FILING GUIDELINES BEGINNING ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS OR A DEFERRAL OF APPLICATION.**

Owner ☐ Agent ☐  06/16/2026
Applicant/Owner Signature Date

To Be Completed by Staff: Date Received: _____

**CERTIFICATE OF APPROPRIATENESS APPLICATION FEE:
CURRENTLY NO FEE**

**DeKalb County does not require payment by wire transfer.
Be aware of scammers and fraudulent emails.**

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request **is not** the owner of the property.

I/ We: _____

being owner(s) of the property at: _____

hereby delegate authority to: _____

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): _____ Date: _____

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. **If work is performed that is not in accordance with the scope of work approved by the issued certificate, a Stop Work Order may be issued for the property and a new Certificate of Appropriateness will need to be obtained.**

If your project requires that the County issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness, a Certificate of Occupancy will not be issued. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void, and you will need to apply for a new certificate if you still intend to do the work.

Please check the box below to confirm that the applicant has completed the following:

- ✓ Reviewed the information provided and understand the Certificate of Appropriateness process
- ✓ Reviewed the Historic Preservation Commission Meeting calendar
- ✓ Reviewed the appropriated design manual and guidelines for the historic district in which the subject property is located
- ✓ Reviewed the DeKalb County Tree Ordinance.
- ✓ Reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

The applicant has completed the check list above and understands the process to obtain a Certificate of Appropriateness ☐

VENKATA ROHIT GRANDHI, P.E

7823 Boxwood Ct., Highland, CA

[REDACTED]

[REDACTED]

Date: April 21, 2026

To: DeKalb County Planning & Sustainability Department

From: Rohit Grandhi, P.E.

Subject: Structural Certification - Roof Framing

Project: 28x41 Garage & ADU Structure

Address: 1380 Emory Rd NE, Atlanta, GA 30306

To the Building Official,

I have reviewed the structural design and supporting calculations for the roof framing of the proposed 28x41 Garage & ADU structure at the above-referenced address.

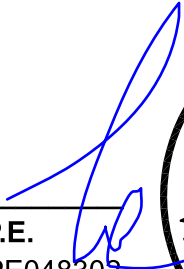
This certification is based on the structural plans and the 163-page calculation package prepared for this project, which conform to the 2018 International Residential Code (IRC) with Georgia State Amendments, the NDS-2018, and ASCE 7-22.

The analysis verifies that all roof structural members—including rafters, ridges, and beams—are sized correctly to support the required design loads (Wind, Snow, Live, and Dead loads) as specified in the technical documentation.

Conclusion:

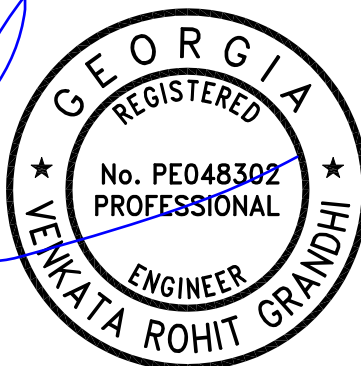
It is my professional opinion that the roof structure, as detailed in the provided plans, is structurally sound and meets or exceeds all applicable building code requirements for DeKalb County.

Sincerely,



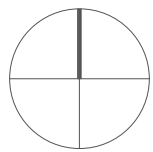
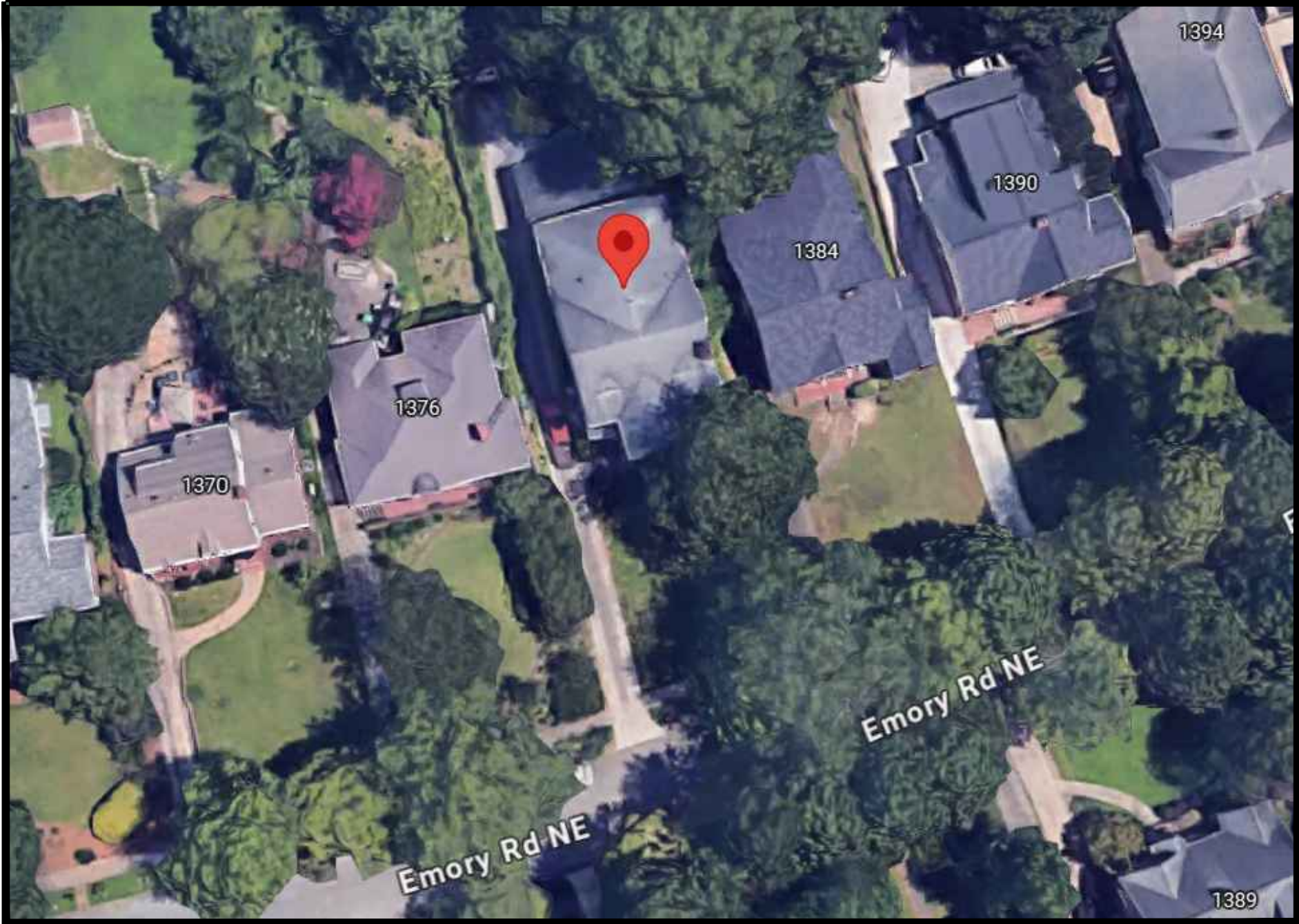
Rohit Grandhi, P.E.

GA License No. PE048302



28X41 GARAGE & ADU

1380 EMORY RD NE
ATLANTA GEORGIA 30306, EE. UU.



LOCATION PLAN- CONTEXT AERIAL VIEW

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH LOCAL ORDINANCES AND STATE LAWS.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS.
- ALL MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT SHALL BE ANCHORED AND SEISMICALLY BRACED PER CODE.
- DIMENSIONS ON WORKING DRAWINGS GOVERN. DO NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE. THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATION, INCLUDING ANOMALIES, OF ALL TRADES.
- ALL CONTRACTORS SHALL THOROUGHLY REVIEW CONTRACT DOCUMENTS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK PRIOR TO BIDDING. CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY CONDITIONS WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS. DURING CONSTRUCTION, CONTRACTORS SHALL NOTIFY THE OWNER AND SEEK CLARIFICATION IF ANY DISCREPANCIES ARE FOUND. CONTRACTORS SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF RELATED WORK IS AFTER A DISCREPANCY IS IDENTIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT MATERIALS, LABOR, INSTALLATION, ETC., CONFORMS TO THE CODES AND REQUIREMENTS OF LOCAL GOVERNING AGENCIES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS, ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTORS RISK.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED, FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK
- FINISHES AND CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR FROM POTENTIAL DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. DAMAGE TO FINISHES OR CONSTRUCTION CAUSED IN THIS MANNER SHALL BE REPAIRED OR REPLACED (OWNERS I ARCHITECTS DECISION BY CONTRACTOR WITH IDENTICAL MATERIAL AND/OR FINISHES
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS RESULTING FROM THEIR WORK ON A DAILY BASIS, PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION
- CONTRACTOR TO FIELD VERIFY "AS-BUILT" CONDITIONS AND NOTIFY THE ARCHITECT IF THEY VARY SUBSTANTIALLY FROM THOSE SHOWN.

SITE DETAILS

PROJECT NAME	28X41 GARAGE& ADU
ADDRESS	1380 EMORY RD NE ATLANTA GEORGIA 30306, EE. UU.
BUILDING OCCUPANCY GROUP	RESIDENTIAL R-1
TYPE OF CONSTRUCTION	VB
SPRINKLERS	NO
STORIES	1
HEIGHT	32'-6 1/8"
LOT SIZE	16,596.62 SQ FT
FLOOR AREA	2,103.63 SQ FT

DRAWING INDEX

- A.0 - SITE PLAN.
- A.1 - FLOOR PLANS (MAIN, UPPER AND ROOF PLAN)
- A.2 - ELEVATIONS (FRONT, RIGHT, REAR AND LEFT)
- A.3 - SECTION A-A AND SECTION B-B

SCOPE OF WORK

- 2,103 SQ. FT. GARAGE/P CONVERSION TO ADU: 2 BEDROOMS, 1 OFFICE, LIVING, DINING, KITCHEN, BATH, AND CLOSET.



www.theantree.com

CLIENT/OWNER:

07-MAR26-AR

PROJECT:

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

DESCRIPTION:

COVER SHEET

DRAWING VERSION

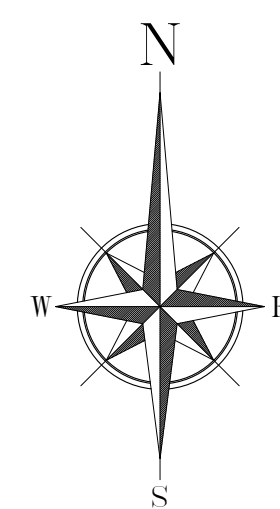
DATE: DRAWN

03-26

SCALE:

SHEET:

C.S.



GENERAL NOTES

1. REFER TO FRAMING PLAN TO DETERMINE WHICH WALLS ARE LOAD BEARING, JOIST LAYOUT AND WHERE BEAMS ARE TO BE LOCATED.
2. THESE DRAWINGS, ALONG WITH THE SPECIFICATIONS REPRESENT A PORTION OF THE AGREEMENT BETWEEN THE OWNER AND THE ARCHITECT.
3. IT IS RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE CONTRACT DOCUMENTS INCLUDING THE DRAWINGS AND SPECIFICATIONS ARE CORRECT PRIOR TO COMMENCING WORK AT THE SITE.
4. VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCY
5. DO NOT SCALE OFF DRAWINGS; USE DIMENSIONS ONLY. IF IN QUESTION CALL THE ARCHITECT.
6. CONTRACTOR SHALL PROVIDE A FLOOR DRAIN IN ANY UTILITY ROOM AND MECHANICAL ROOM, REGARDLESS OF WHETHER INDICATED ON THE DRAWINGS.
7. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF STUD.
8. ROUGH CARPENTER TO REVIEW ALL ARCHITECTURAL SHEETS FOR CLEAR UNDERSTANDING OF WORK.
9. SEE GENERAL NOTES, SPECIFICATIONS MANUAL, AND STRUCTURAL PLANS FOR ADDITIONAL FRAMING INFORMATION.
10. VERIFY ALL ROUGH OPENING SIZE FOR WINDOWS AND DOORS WITH MANUFACTURER.

01 SITE PLAN
SCALE: 1/16" = 1'-0"

CLIENT/OWNER:

07-MAR26-AR

PROJECT:

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

DESCRIPTION:

SITE PLAN

DRAWING VERSION

DATE: DRAWN

03-26

SCALE: 1/16" = 1'-0"

SHEET:

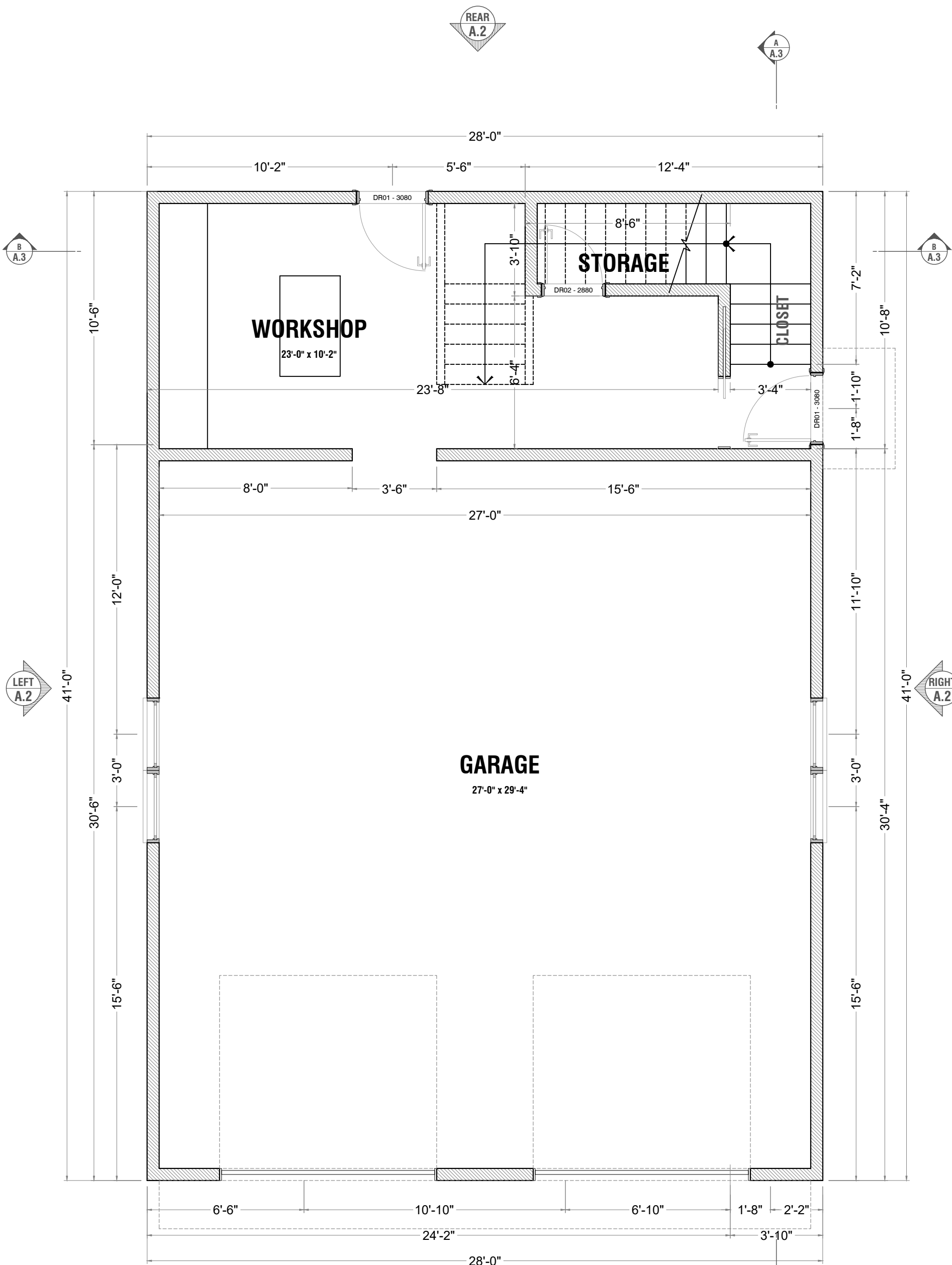
A.0

28x41 GARAGE & ADU

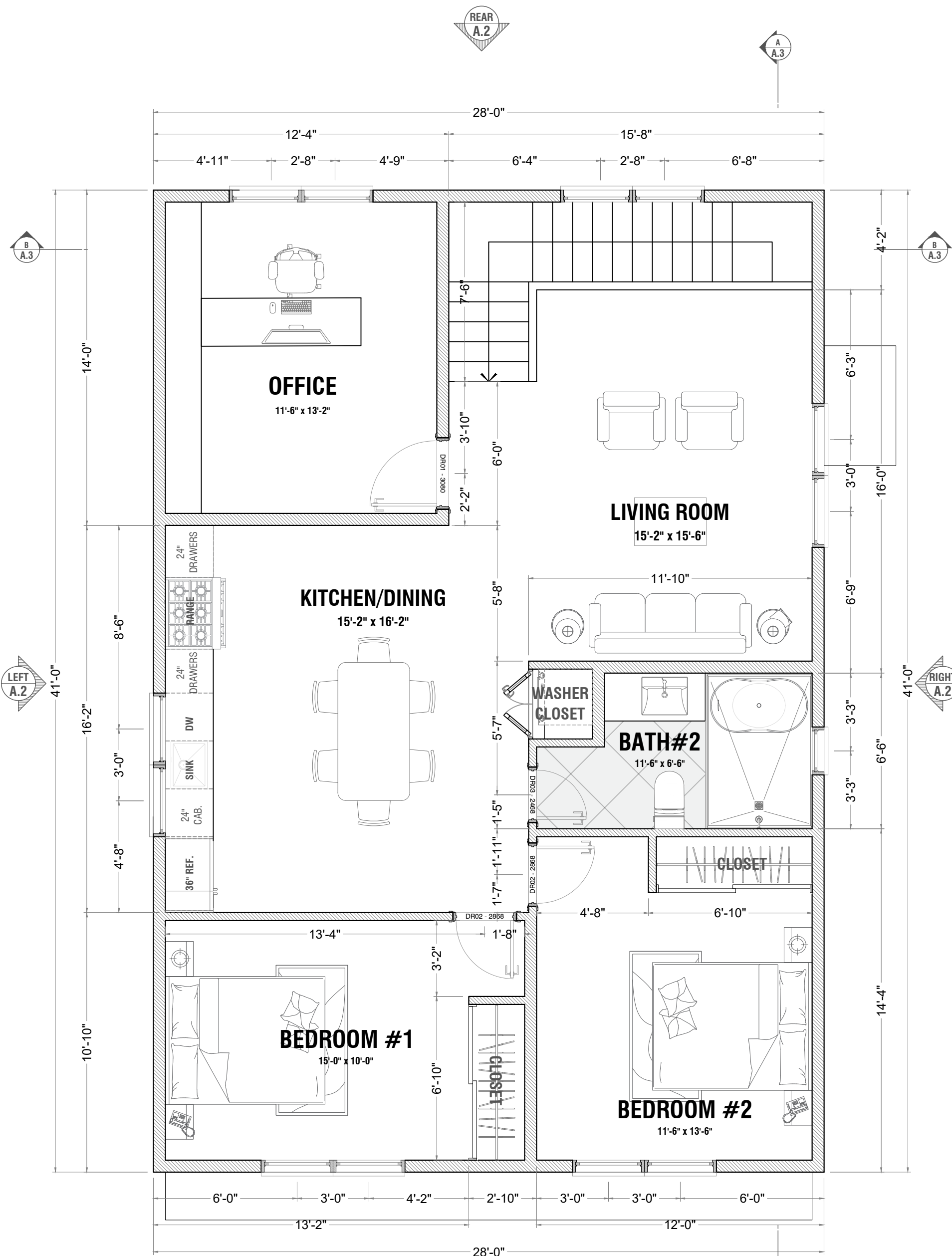
1380 EMORY RD NE ATLANTA GEORGIA 30306

FLOOR PLANS

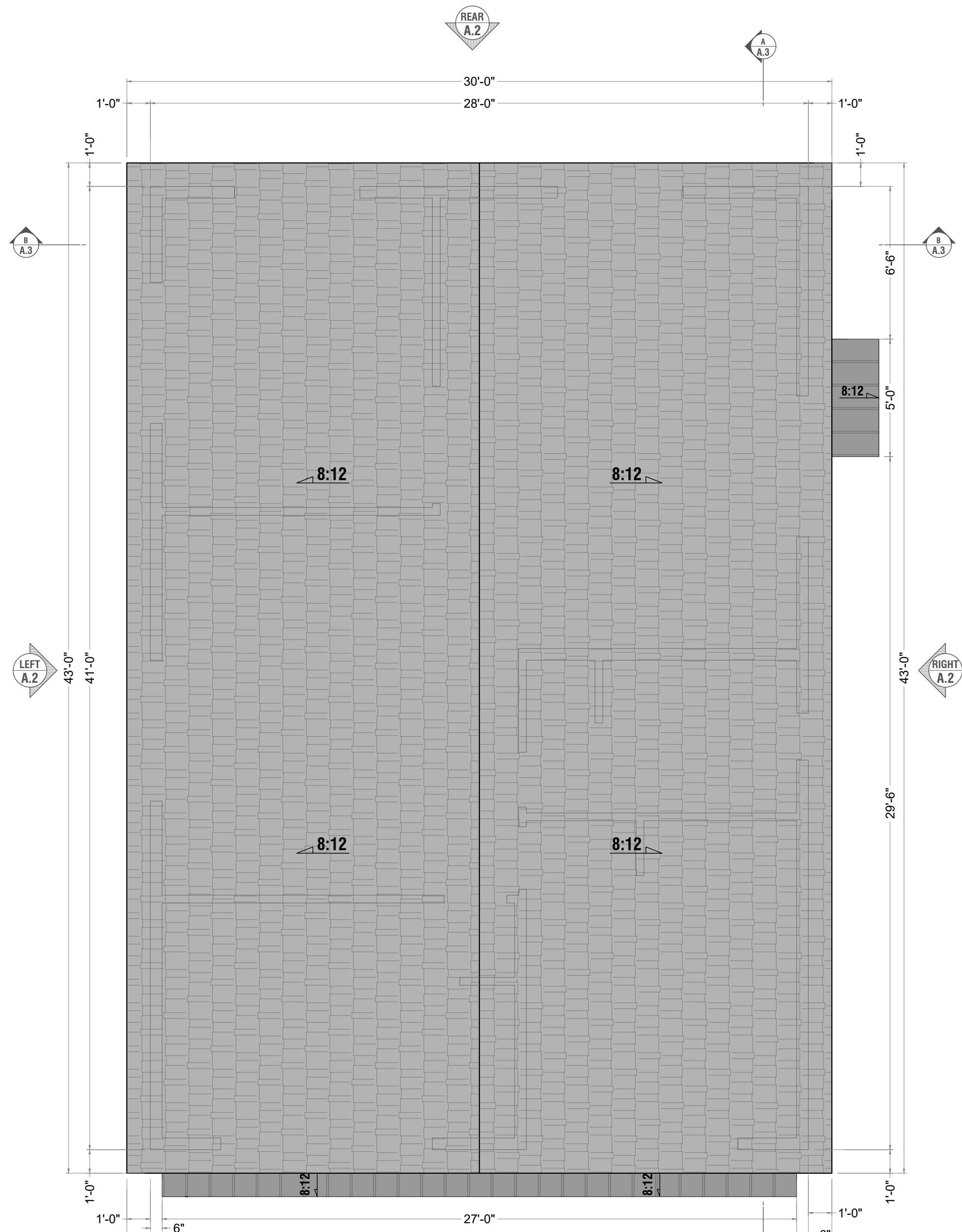
MAIN, UPPER AND ROOF PLAN



01 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



02 UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



03 ROOF PLAN
SCALE: 1/4" = 1'-0"

AREA CALCULATION		
MAIN FLOOR		
FINISHED MAIN FLOOR		1,147.91 S.F.
GARAGE		849.15 S.F.
WORKSHOP		217.88 S.F.
STAIRS		80.88 S.F.
UPPER FLOOR		
FINISHED UPPER FLOOR		955.72 S.F.
ADU		1,068.66 S.F.
STAIRS		79.33 S.F.
TOTAL FINISHED		2,103.63 S.F.

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- SEE GENERAL NOTES, SPECIFICATIONS MANUAL, AND STRUCTURAL PLANS FOR ADDITIONAL FRAMING INFORMATION.
- VERIFY ALL ROUGH OPENING SIZE FOR WINDOWS AND DOORS WITH MANUFACTURER.

GENERAL NOTES

CLIENT/OWNER:

07-MAR26-AR

PROJECT:

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

03-26

SCALE: 1/4" = 1'-0"

SHEET:

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

ELEVATION

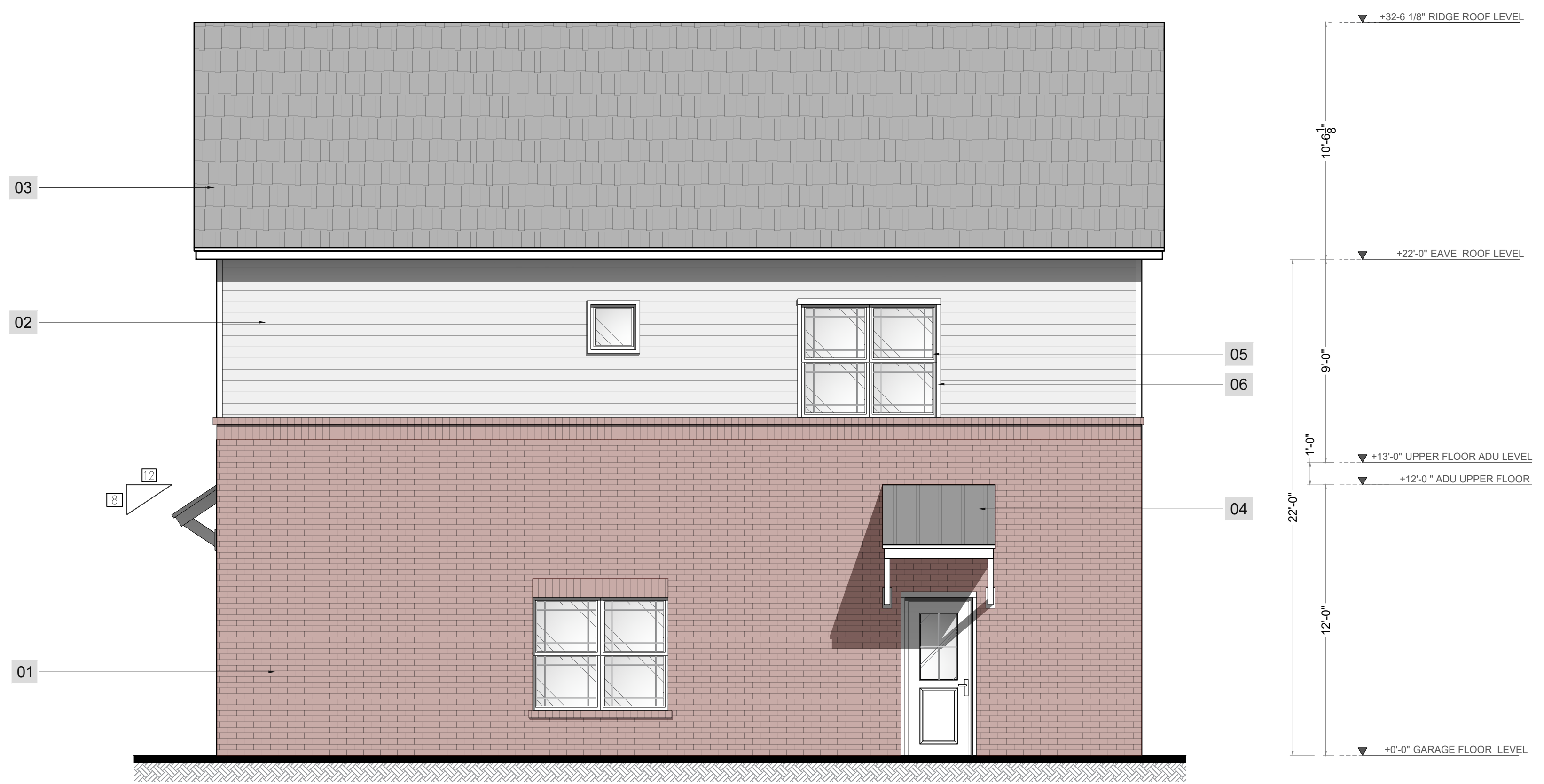
FRONT, RIGHT, REAR AND LEFT

A.2

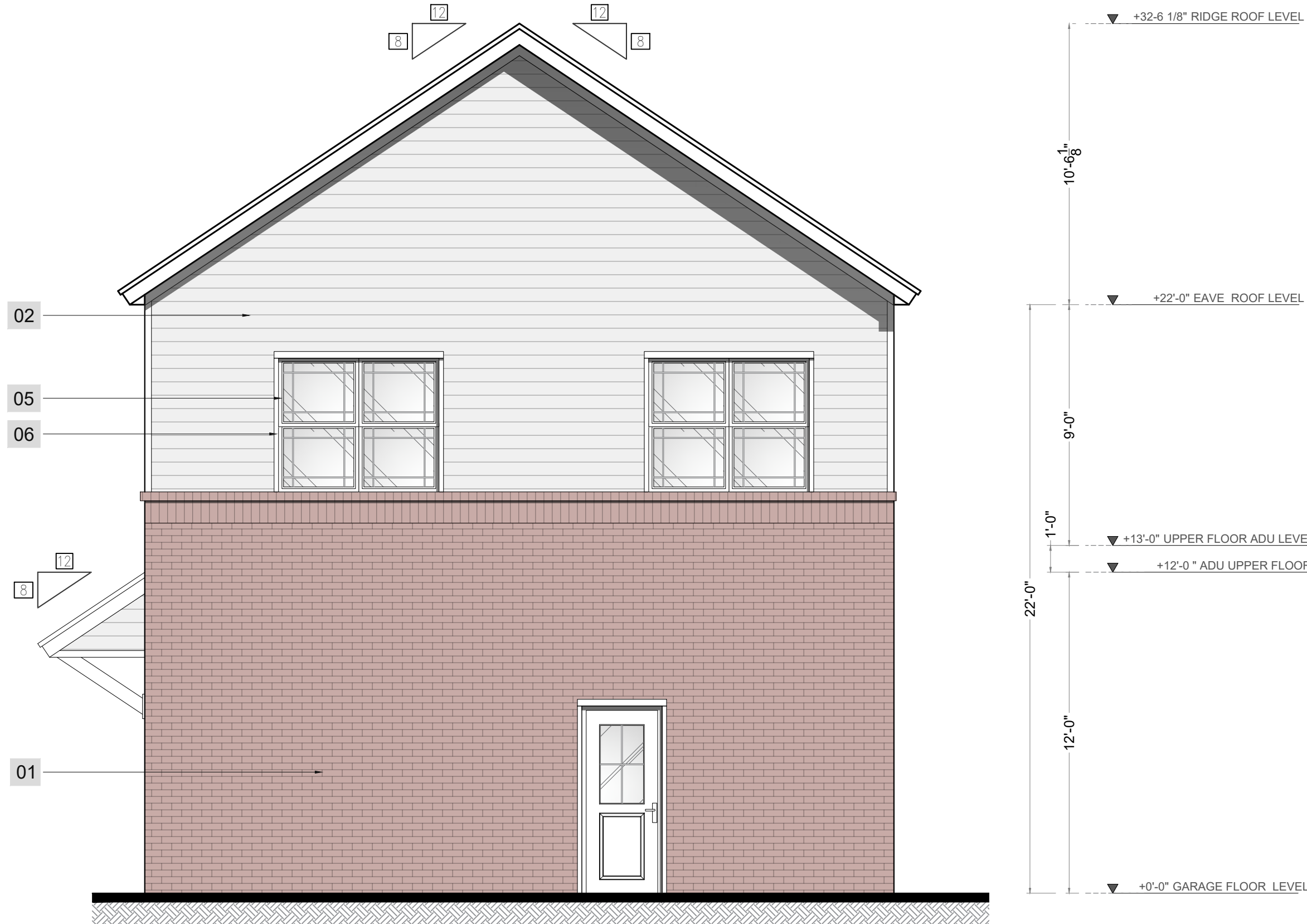
ARCH Full Bleed D (36.00 X 24.00 Inches)



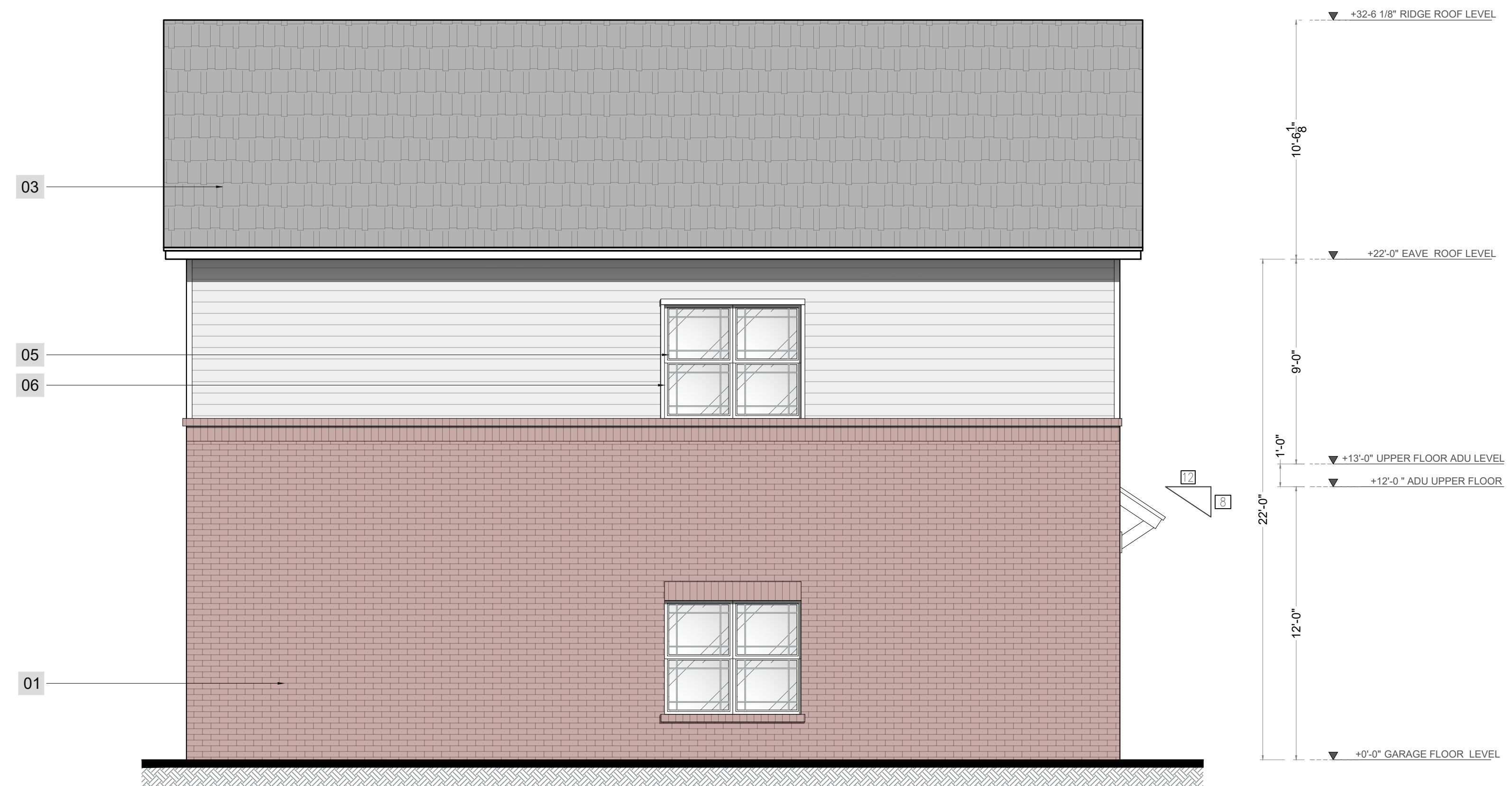
01 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



02 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



03 REAR ELEVATION
SCALE: 1/4" = 1'-0"



04 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

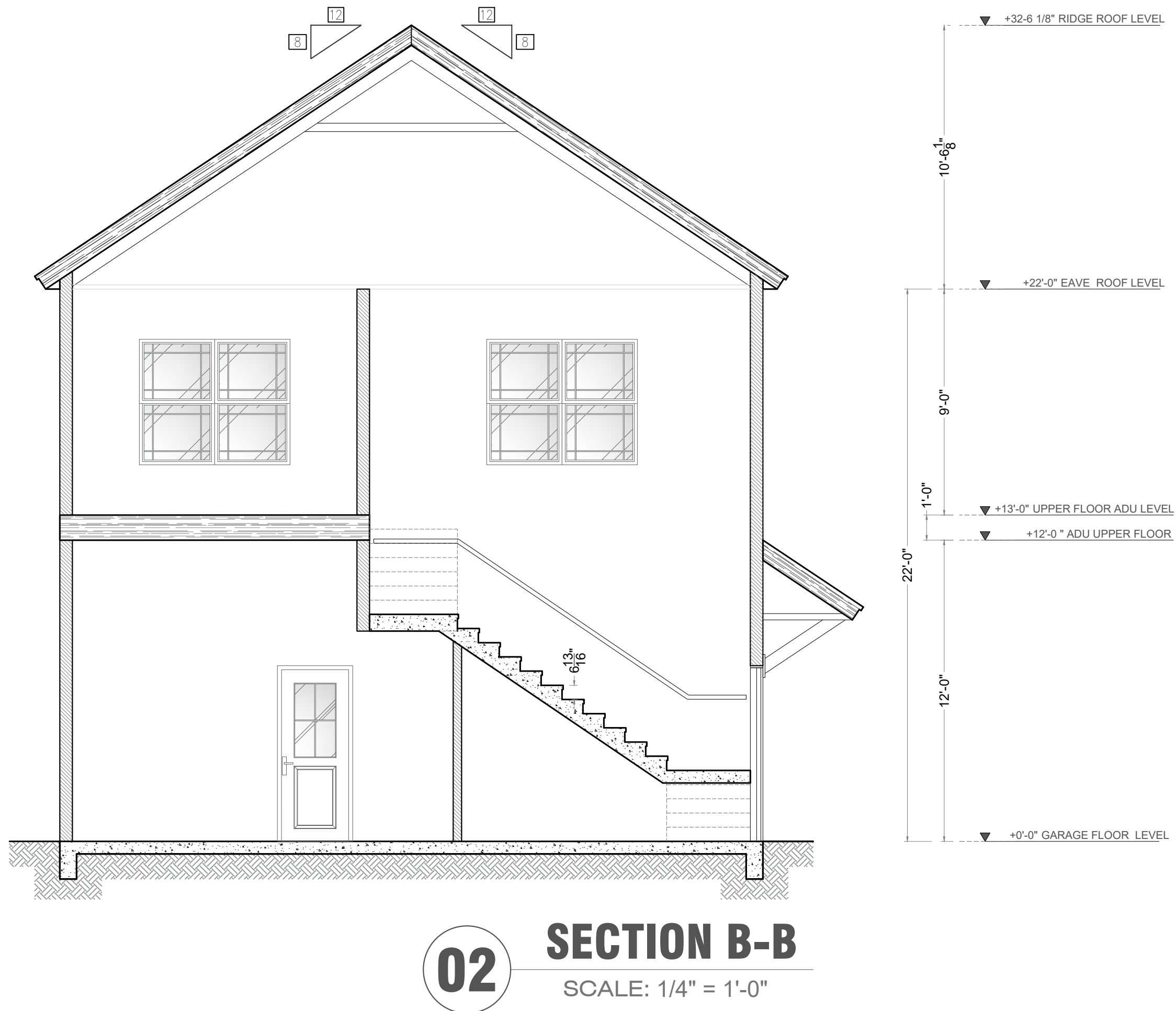
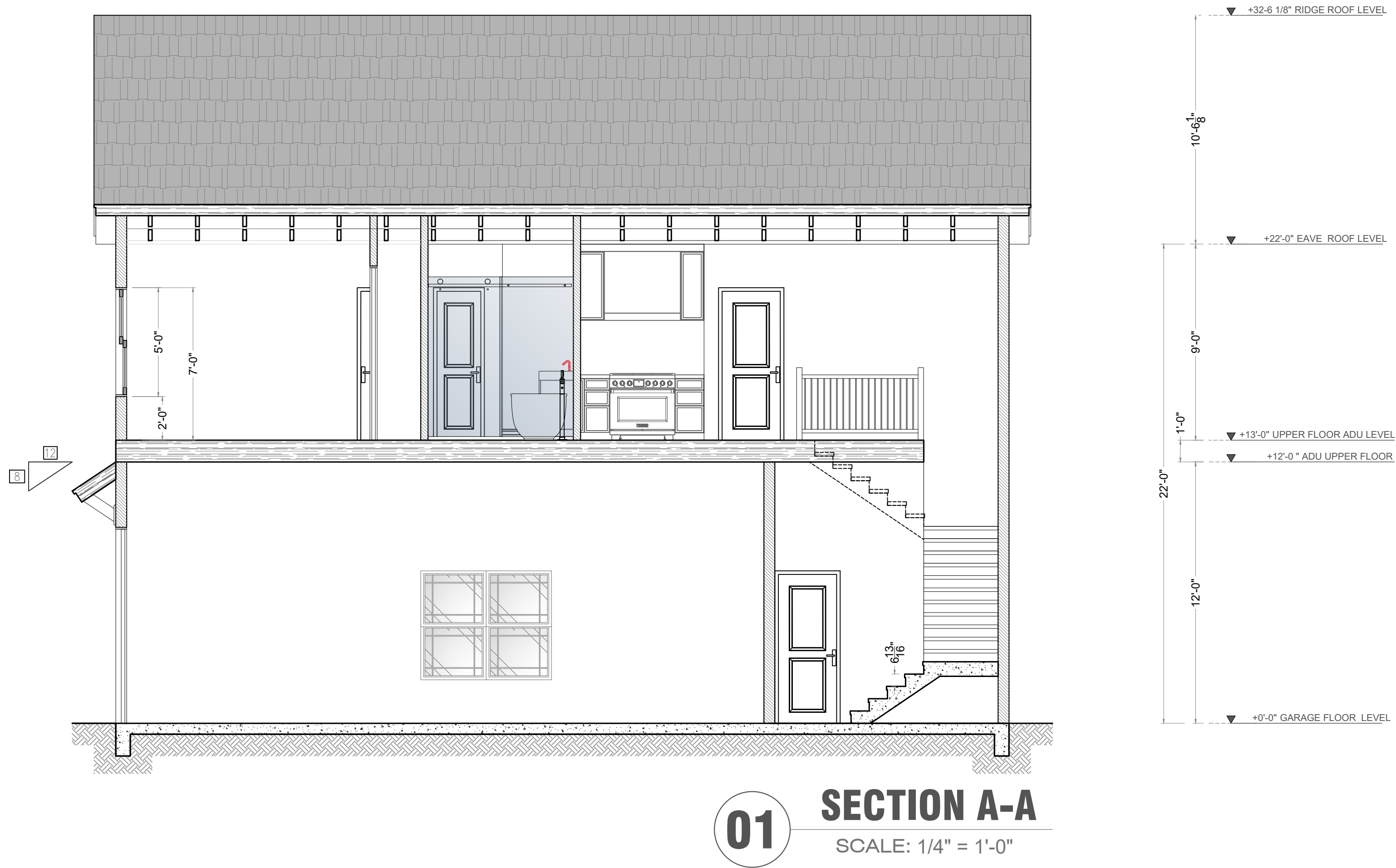
ELEVATIONS NOTES

- 1 BRICK
- 2 SW ALABASTER WHITE LAP SIDING
- 3 DARK GRAY SHINGLE ROOFS
- 4 BLACK STANDING SEAM ROOF
- 5 WHITE WINDOW FRAME
- 6 WHITE FRAME

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

SECTIONS A-A AND
SECTION B-B



Decision of the DeKalb County Historic Preservation Commission

Name of Applicant: William Witherspoon

Address of Property: 1380 Emory Road

Date(s) of hearing if any: May 19, 2025

Case Number: 1247564

☒ **Approved** ☐ **Denied** ☐ **Deferred**

Approval: The Historic Preservation Commission, having considered the submissions made on behalf of the applicant and all other matters presented to the Preservation Commission finds that the proposed change(s) will not have a substantial adverse effect on the aesthetic, historic, or architectural significance and value of the historic district and hereby approves the issuance of a certificate of appropriateness.

Any conditions or modifications are shown below.

☒ Pursuant to Code of DeKalb County, § 13.5-8(3), the Preservation Commission has considered the historical and architectural value and significance; architectural style; scale; height; setback; landscaping; general design; arrangement; texture and materials of the architectural features involved and the relationship of such texture and materials to the exterior architectural style; pertinent features of other properties in the immediate neighborhood, as prescribed generally by county code and specifically by the district design guidelines.

☒ This application relates to an existing building, pursuant to the authority granted to the Preservation Commission by Code of DeKalb County, § 13.5-8(3), the Preservation Commission has also used the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guideline for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings therein as guidelines. The Preservation Commission finds that all relevant guidelines have been met.

Additional pertinent factors:

Replace the existing wood windows on a historic house.

Application is approved with conditions or modifications ☒ /without conditions or modifications ☐

Conditions or modifications (if applicable):

The applicant may replace the windows located on the side and rear elevations of the property; however, the windows on the front façade of the house should be retained and repaired if possible and only replaced if the windows cannot be repaired, in accordance with Guideline 6.1.4. In accordance with Guideline 6.1.4, the windows are replaced with either wood or a composite material to match the original windows.

Denial: The Preservation Commission has determined that the proposed material changes in appearance would have a substantial adverse effect on the aesthetic, historic or architectural significance and value of the historic property or the historic district ☐ / or, the applicant has not provided sufficient information for the Preservation Commission to approve the application ☐. Specifically, the Preservation Commission finds as follows:

Deferral: The Preservation Commission has deferred action on this application for the following reasons:

The application will be re-heard by the Historic Preservation Commission at its meeting on

Date: May 23, 2025

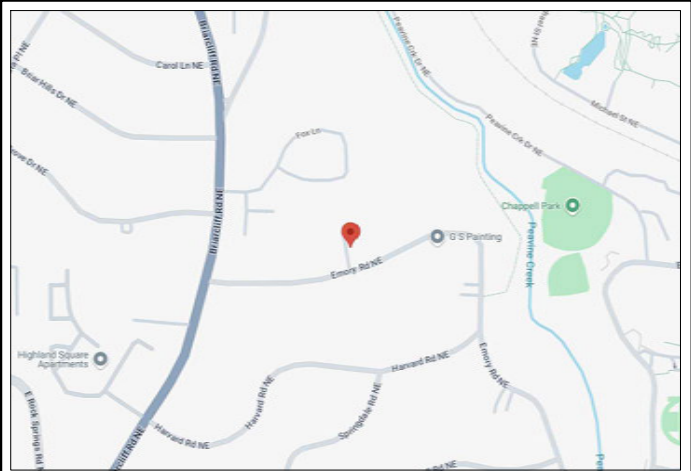
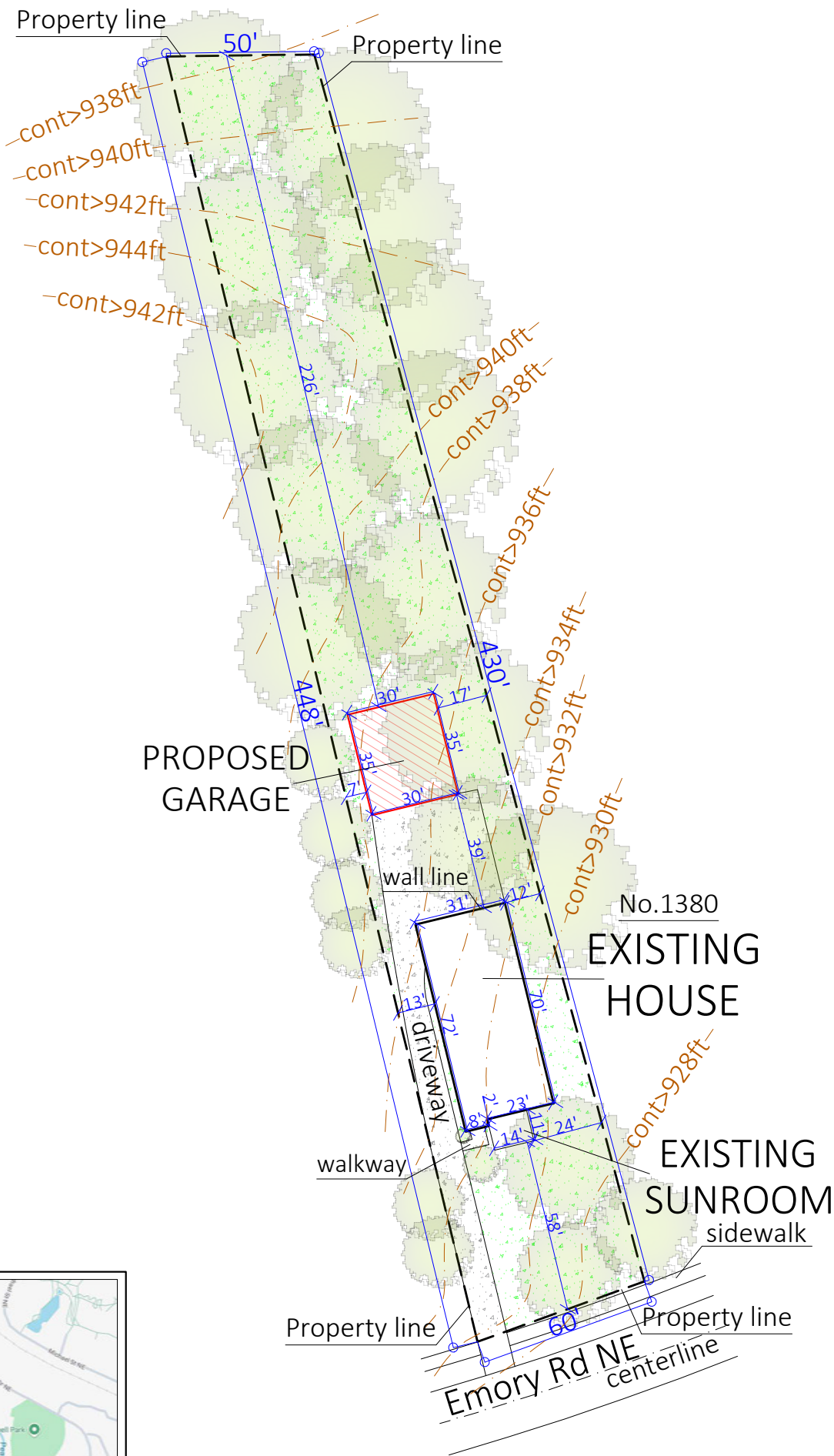
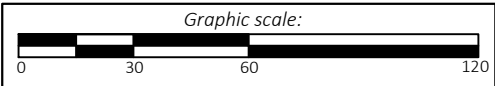
Signature: 
**Chair, DeKalb County
Historic Preservation Commission**

May 23, 2025

S I T E P L A N
1380 Emory Rd NE
Atlanta, GA 30306
Parcel ID: 18 054 11 014
Lot area: 0.55 Acres
Paper Size: 11"x17"



scale 1"=50'



VICINITY MAP

Calculating Building and Lot Coverage Percentages
Lot area: 23,958 sq.ft.
Total building coverage (gross floor area): 3,388 sq.ft.
Building Coverage Percentage: 3,388 sq.ft / 23,958 sq.ft = 0.14141 = 14.1%
Total Lot Coverage: 6,366 sq.ft.
Lot Coverage Percentage: 6,366 sq.ft / 23,958 sq.ft = 0.26571 = 26.6%
*Total landscape areas:

Disclaimer

This is not a Legal Survey, nor is it intended to be or replace one.
These measurements are approximate and are for illustrative purposes only.
This work product represents only generalized location of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, objects or boundary.

Chief Executive Officer
Lorraine Cochran-Johnson

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Juliana A. Njoku

ENVIRONMENTAL REQUIREMENTS FOR BUILDING PERMITS

The following environmental measures must be in place before permits will be issued.

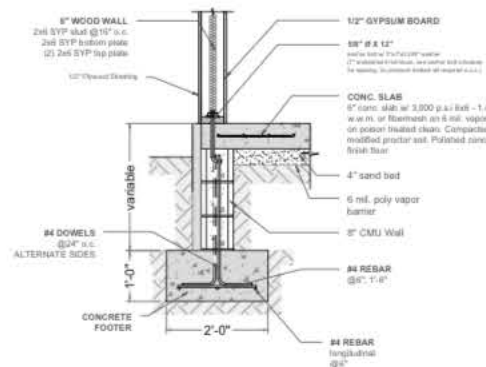
1. Erosion control measures shall be adequate to protect saved trees on site, state waters, intermediate regional floodplain, drainage systems, required buffers, and adjacent properties, including county or state right-of-ways. ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED AT ALL TIMES UNTIL FINAL LANDSCAPING.
2. All required buffers and floodplains shall be clearly demarcated using sediment barriers and/or tree protection fencing. All state waters, buffers, and floodplains shall have a double row of type "C" silt fence along entire limits.
3. Tree protection fencing will be installed prior to any land disturbing activities, and maintained until final landscaping. No parking, storage, or other construction activities to occur within tree protection areas. Removal or damaged trees designated as save will result in a court summons and will require recompense with 4 inch caliper trees (number to be determined per incident).
4. Tree protection fence will be installed in such a way to adequately protect the critical root zone of all saved trees. Critical root zone means an area of root space that is within a circle circumscribed around the trunk of a healthy tree using a radius of one (1) foot per once (1) of a DBH. Exceptions to strict adherence may be made with prior approval from Environmental Plans Review & Inspections.
5. Prior issuance of the Certificate of Occupancy (CO), all disturbed areas will have a minimum of 90 vegetative cover using sod or other approved landscape materials. Coverage will be determined by viewing any square yard on site.
6. Site is to comply with the requirements of the tree ordinance. Cal (4047) 371-4913 for the Environmental Development Inspector at least 72 hours prior to requesting a Certificate of Occupancy.
7. No finished grade on the lot shall exceed 3:1 slope without prior approval.
8. No trash, building debris, or construction waste will be buried inadvertently on any building site.

I acknowledge that I have received and will comply with the requirements listed above, or a court summons and/or a stop work order can be issued.

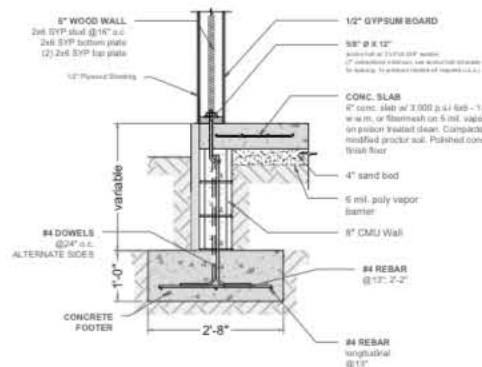
SIGNATURE  DATE 4/28/2026

PRINTED NAME William Witherspoon

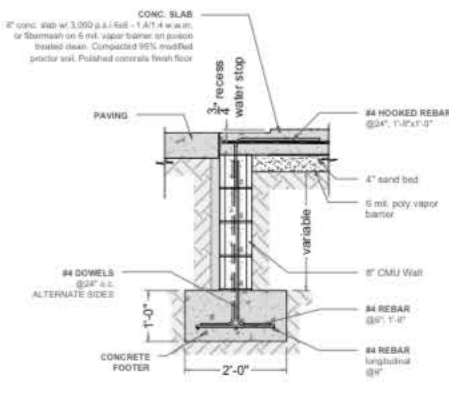
SITE ADDRESS 1380 Emory Rd Atlanta GA, 30306



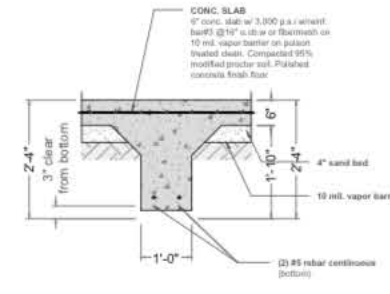
01
S.4 **DETAIL 01**
SCALE: 1/2" = 1'-0"



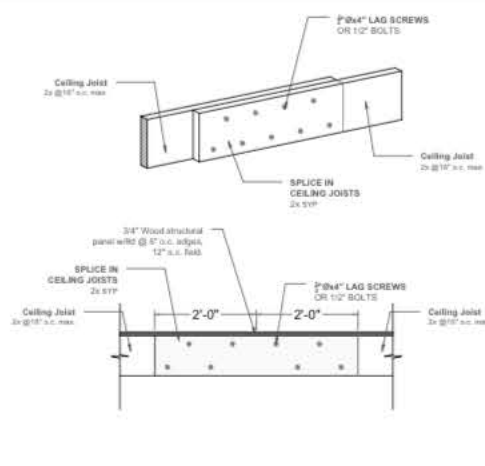
02
S.4 **DETAIL 02**
SCALE: 1/2" = 1'-0"



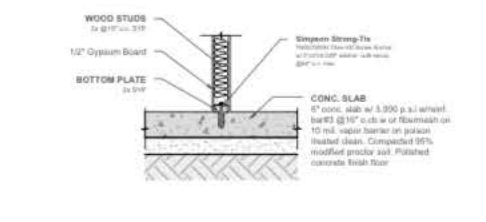
03
S.4 **DETAIL 03**
SCALE: 1/2" = 1'-0"



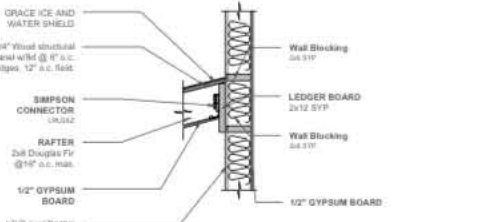
04
S.4 **DETAIL 04**
SCALE: 1/2" = 1'-0"



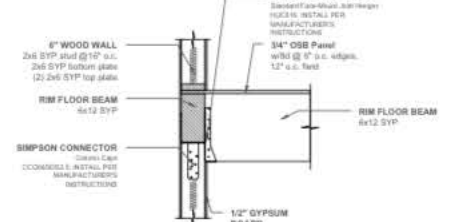
05
S.4 **DETAIL 05**
SCALE: 1/2" = 1'-0"



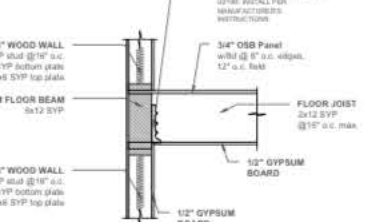
06
S.4 **DETAIL 06**
SCALE: 1/2" = 1'-0"



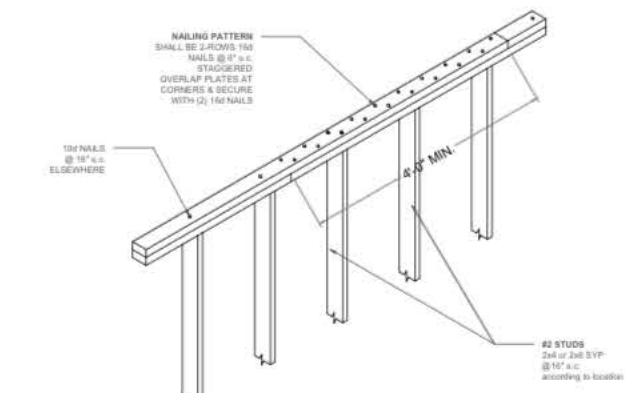
07
S.4 **DETAIL 07**
SCALE: 1/2" = 1'-0"



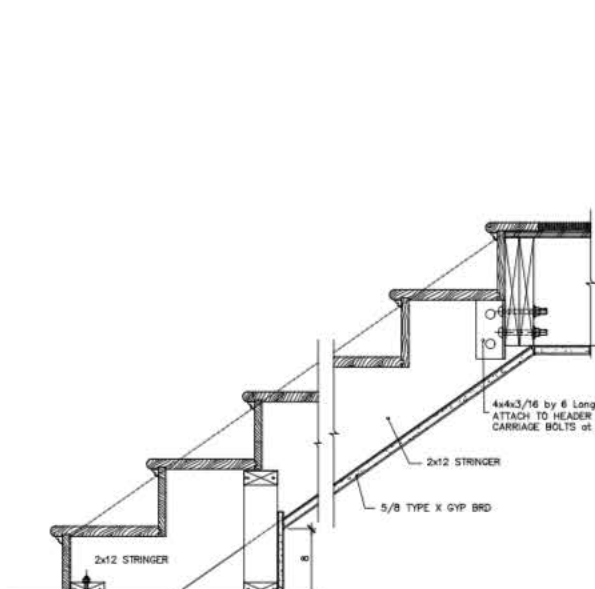
08
S.4 **DETAIL 08**
SCALE: 1/2" = 1'-0"



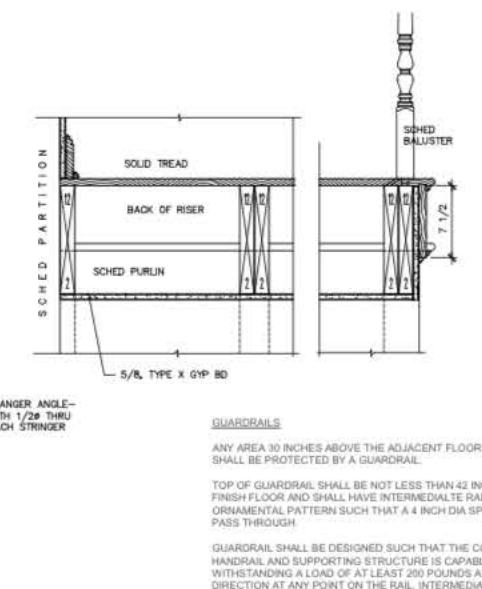
09
S.4 **DETAIL 09**
SCALE: 1/2" = 1'-0"



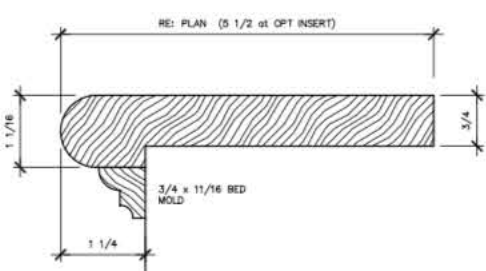
10
S.4 **TOP PLATE SPLICE DETAIL ON BEARING WALL**
SCALE: 1/2" = 1'-0"



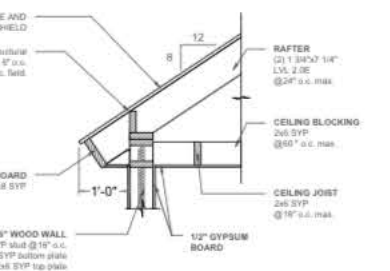
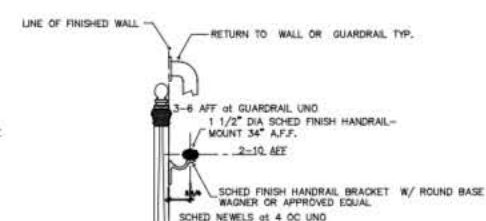
13
S.4 **TYP. STAIR DETAILS**
SCALE: 3/8" = 1'-0"



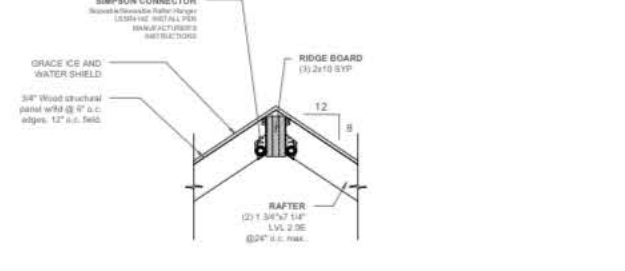
GUARDRAILS
ANY AREA 30 INCHES ABOVE THE ADJACENT FLOOR OR GRADE SHALL BE PROTECTED BY A GUARDRAIL.
TOP OF GUARDRAIL SHALL BE NOT LESS THAN 42 INCHES ABOVE FINISH FLOOR AND SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A 4 INCH DIA SPHERE CANNOT PASS THROUGH.
GUARDRAIL SHALL BE DESIGNED SUCH THAT THE COMPLETED HANDRAIL AND SUPPORTING STRUCTURE IS CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ON THE RAIL. INTERMEDIATE RAILS SHALL BE DESIGNED TO WITHSTAND A LOAD OF 25 PSF APPLIED HORIZ AT RIGHT ANGLE OVER ENTIRE TRIBUTARY AREA. THESE LOADS NEED NOT BE COMBINED.



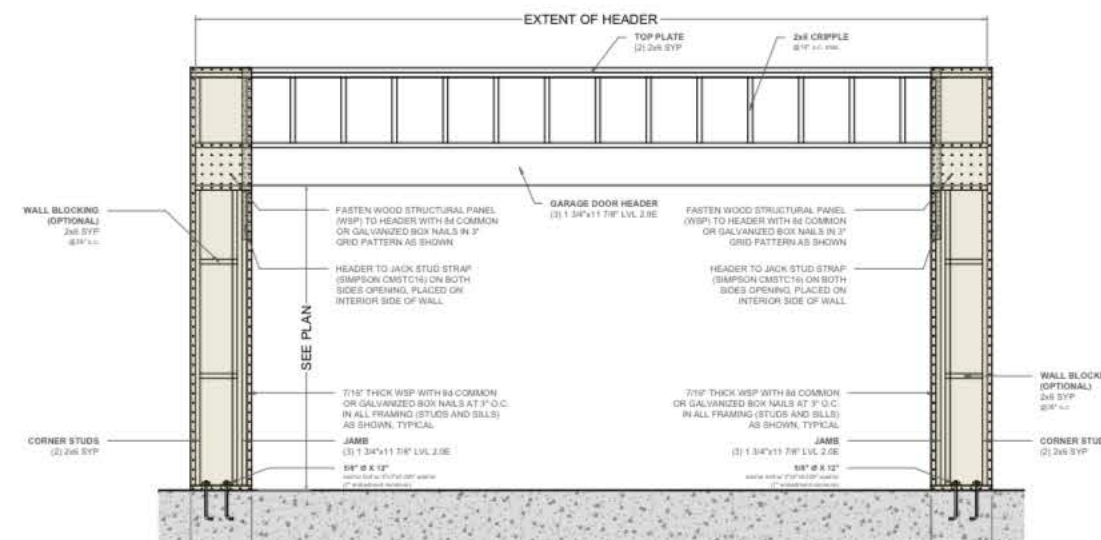
HANDRAILS
STAIRWAYS AND ACCESSIBLE RAMPS SHALL HAVE HANDRAILS ON EACH SIDE. HANDRAIL SHALL NOT PROJECT MORE THAN 1 1/2 INCHES FROM EACH SIDE INTO STAIRWAY WITH A GRIP OF NOT LESS THAN 1 1/4 INCHES OR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. THERE SHALL BE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL SURFACE AND HANDRAIL.
HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH AND, EXCEPT FOR PRIVATE STAIRWAYS, AT LEAST ONE HANDRAIL SHALL EXTEND IN THE DIRECTION OF THE STAIR RUN NOT LESS THAN 12 INCHES BEYOND THE TOP RISER NOR LESS THAN 12 INCHES BEYOND THE BOTTOM RISER. ENDS SHALL RETURN TO WALL, TERMINATE IN NEWEL POST OR HAVE SAFETY TERMINALS.
THE TOP OF HANDRAIL SHALL BE NOT LESS THAN 34 INCHES OR MORE THAN 38 INCHES ABOVE THE NOSING OF TREADS AND LANDINGS.



11
S.4 **DETAIL 11**
SCALE: 1/2" = 1'-0"



12
S.4 **DETAIL 12**
SCALE: 1/2" = 1'-0"



14
S.4 **PORTAL FRAME AT GARAGE DOOR OPENING DETAIL**
SCALE: 3/8" = 1'-0"



04.16.2026

ENGINEER OF RECORD:
VENKATA ROHIT GRANDHI, P.E.
7823 Boxwood Ct,
Highland, CA 92346
rohith.grandi@gmail.com

07-MAR26-AR

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

PROJECT:

STRUCTURAL DETAILS

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

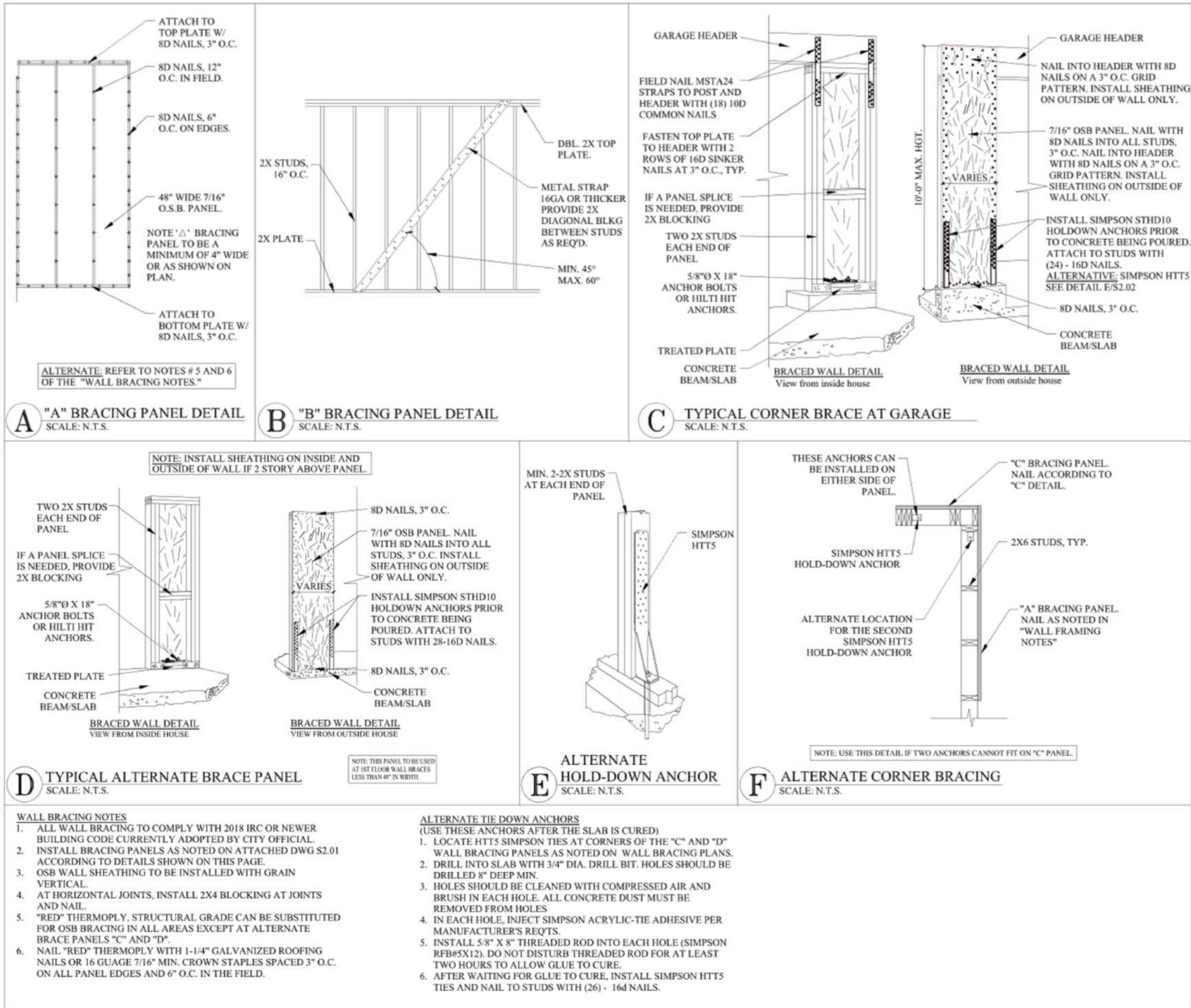
03-26

SCALE: 1/4" = 1'-0"

SHEET:

S.4

ARCH Full Bleed D (36.00 X 24.00 Inches)





04.16.2026

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28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

PROJECT:

FOUNDATION PLAN
WALL FRAMING PLAN
FLOOR FRAMING PLAN

MAIN LEVEL, UPPER LEVEL

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

03-26

SCALE: 1/4" = 1'-0"

SHEET:

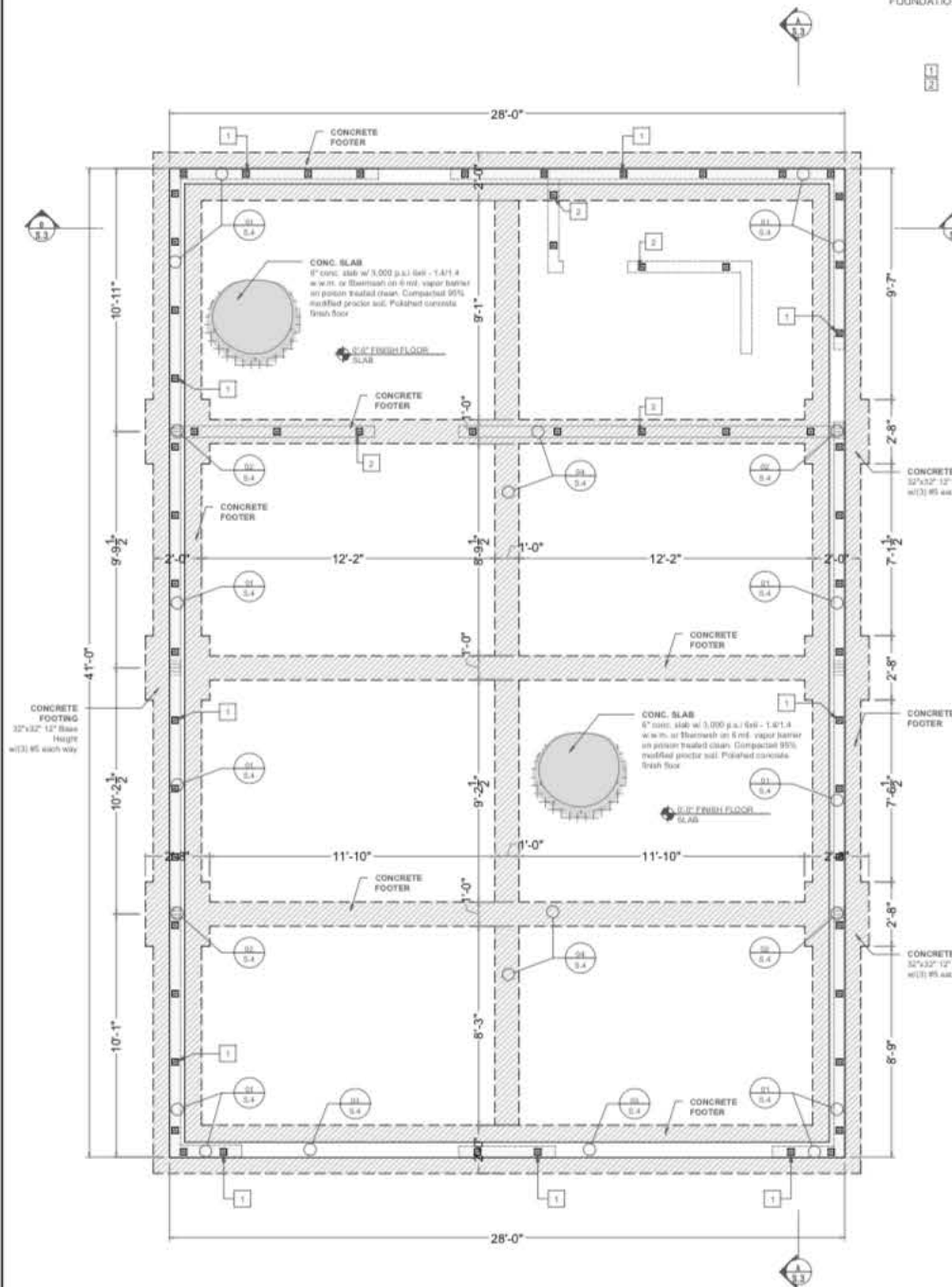
S.1

ARCH Full Bleed D (36.00 X 24.00 Inches)

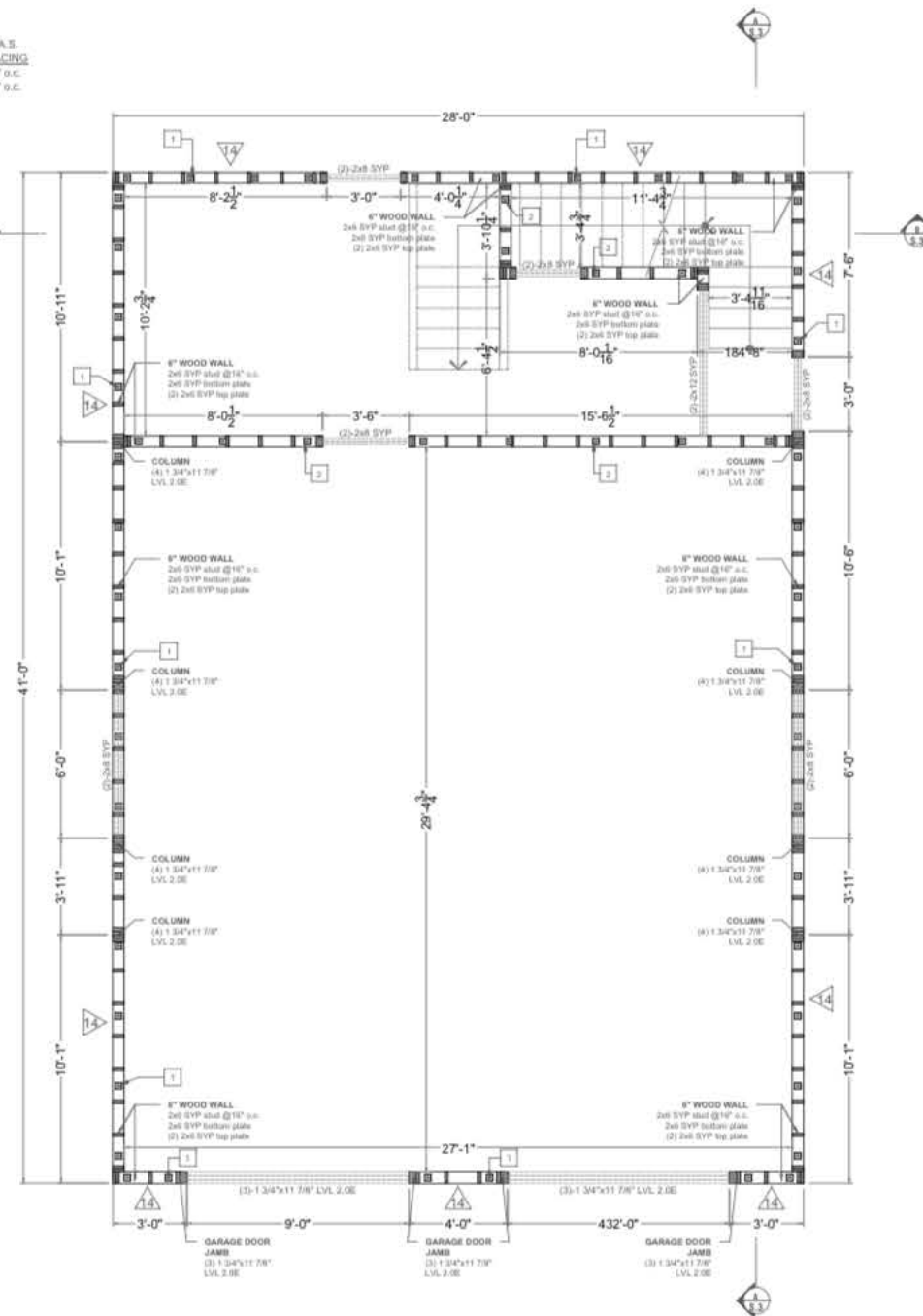
Anchor Bolt Schedule

MINIMUM ANCHOR BOLT EMBEDMENT 7" INTO FOUNDATION FOOTING.

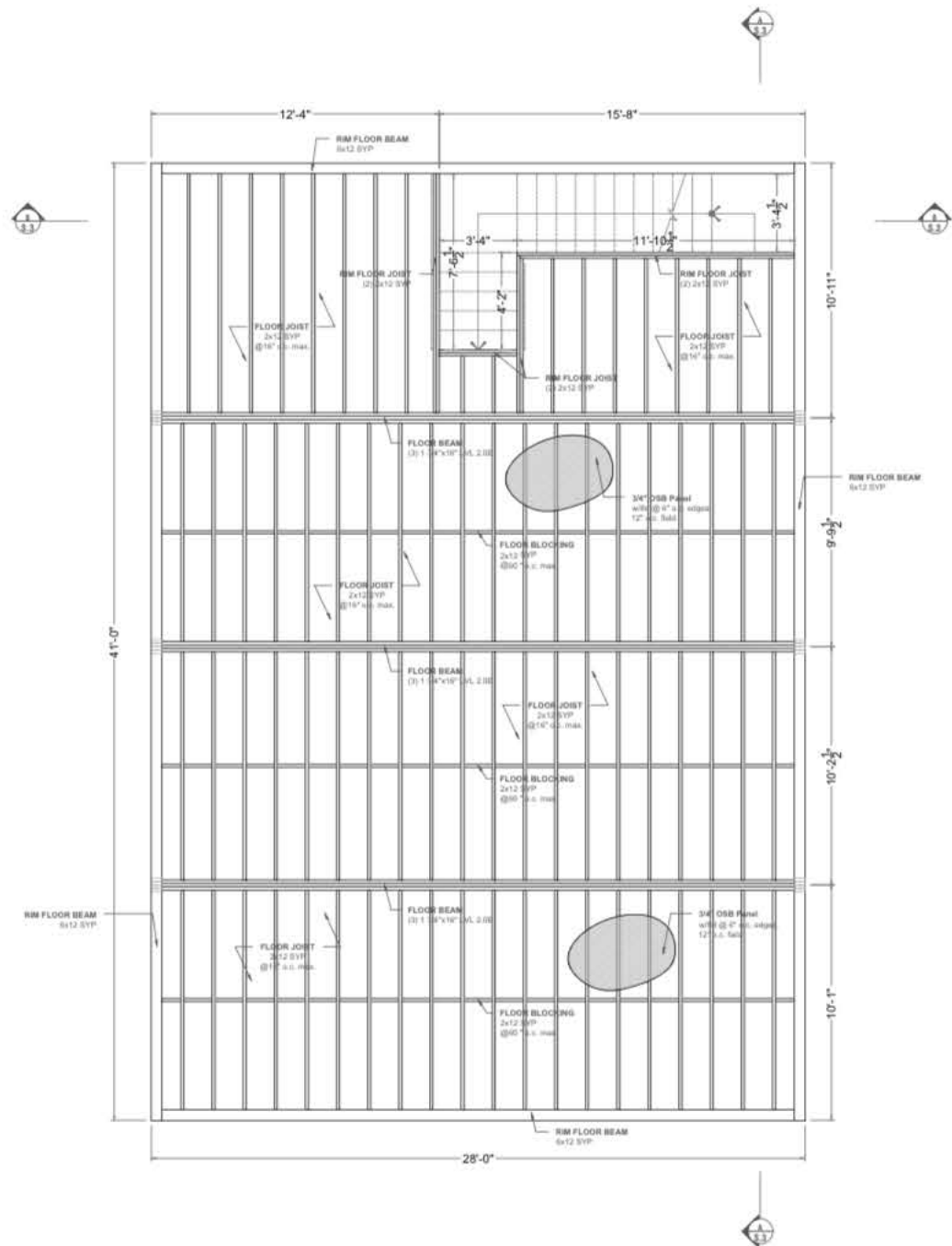
SIMPSON	M.A.S.
5/8"x12"	SPACING
40" o.c.	30" o.c.
54" o.c.	44" o.c.



01 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



02 WALL FRAMING - MAIN LEVEL
SCALE: 1/4" = 1'-0"



03 FLOOR FRAMING - UPPER LEVEL
SCALE: 1/4" = 1'-0"

FOUNDATION GENERAL NOTES

- FOUNDATIONS & EARTHWORK TO BE IN CONFORMANCE WITH THE ORIGINAL SOILS REPORT FOR THIS TRACT. NOTIFY ENGINEER OF RECORD PRIOR TO CONSTRUCTION OF ANY KNOWN DISCREPANCIES.
- ANCHOR BOLTS SHALL BE LOCATED AS FOLLOWS:
 - WITHIN 12" OF A PLATE SPLICE ON EXTERIOR WALLS.
 - WITHIN 12" OF THE END OF A SHEAR PANEL (INTERIOR AND EXTERIOR).
 - MINIMUM OF TWO BOLTS PER PIECE.
- RETRO-FIT BOLT REQUIREMENTS:
 - EXTERIOR WALLS-USE ONLY AN APPROVED EPOXY SYSTEM, NO EXPANDING ANCHORS ALLOWED. ALT: SIMPSON 5/8"x3 3/4" TITEN-HD.
 - INTERIOR WALLS-EXPANDING ANCHORS ARE ACCEPTABLE.
 - ALL EPOXIED RETRO-FIT ANCHORS SHALL BE INSTALLED WITH SIMPSON SET-XP EPOXY IN THE PRESENCE OF A BUILDING INSPECTOR, ENGINEER, ARCHITECT OR APPROVED INSPECTION COMPANY. REPORT SHALL BE FORWARDED TO ENGINEER & BUILDING INSPECTOR.
- ALL BOLTS SHALL USE 3"x3"x0.229" STEEL PLATE WASHERS. SLOTTED WASHERS MAY BE USED PROVIDED STANDARD CUT WASHERS ARE USED IN CONJUNCTION WITH THE SLOTTED WASHERS.
- ALL LUMBER IN CONTACT W/ CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- CONCRETE IN FOOTINGS SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 3,000 PSI IN 28 DAYS.
- WOOD FRAMING MEMBERS THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE PRESSURE TREATED.
- REBAR TO BE GRADE 60 - 60,000 PSI.

MATERIALS SPECIFICATION

- CONCRETE FOR FOOTING TO STRENGTH TO BE A MIN. 3000 PSI AT 28 DAYS.
- REINFORCING STEEL SHALL BE DEFORMED, CONFORM TO ASTM STANDARDS, AND BE GRADE 60.
- FOUNDATION DEPTH AND WIDTH IS MEASURED INTO UNDISTURBED NATURAL SOIL.

CONCRETE COVER OF REINFORCING

3" CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.
1 1/2" CONCRETE EXPOSED TO EARTH OR WEATHER.
1 1/2" BEAMS AND COLUMNS NOT EXPOSED TO EARTH OR WEATHER.
3/4" SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER.

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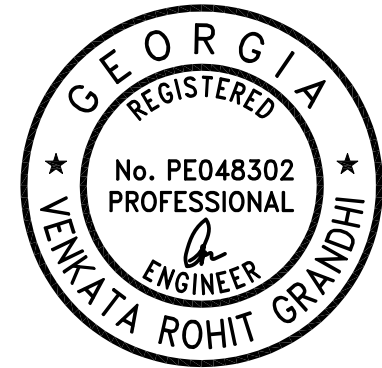
SITE WORK

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WALL FRAMING NOTES

- ALL EXTERIOR WALLS 2X6 STUDS @16" O.C. END NAILED W/ (3) - 0.131" DIA X3" NAILS ON EACH END OF STUD. 2X6 BLOCKING W/ (2) - 0.131" DIA X3" NAILS @ EACH END AS REQUIRED W/ 0.131" DIA X2 1/2" NAILS @ 4" O.C.
- ALL EXTERIOR WALLS 2X4 STUDS @16" O.C. END NAILED W/ (3) - 0.131" DIA X3" NAILS ON EACH END OF STUD. 2X4 BLOCKING W/ (2) - 0.131" DIA X3" NAILS @ EACH END AS REQUIRED W/ 0.131" DIA X2 1/2" NAILS @ 4" O.C.
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SHEARWALL SCHEDULE		
INDICATOR	DESCRIPTION	SEE PLAN NOTING
1	1/2" WOOD STRUCTURAL PANEL W/ 3/8" @ 4" O.C. TRUSS, 12" O.C. FIELD. SEE FRAMING AT A3300N (5/1/2017) FOR DETAILS.	136' 8" x 3"



04.16.2026

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07-MAR26-AR

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

PROJECT:

DESCRIPTION:

FOUNDATION PLAN
WALL FRAMING PLAN
FLOOR FRAMING PLAN

MAIN LEVEL, UPPER LEVEL

DRAWING VERSION

DATE: DRAWN

03-26

SCALE: 1/4" = 1'-0"

SHEET:

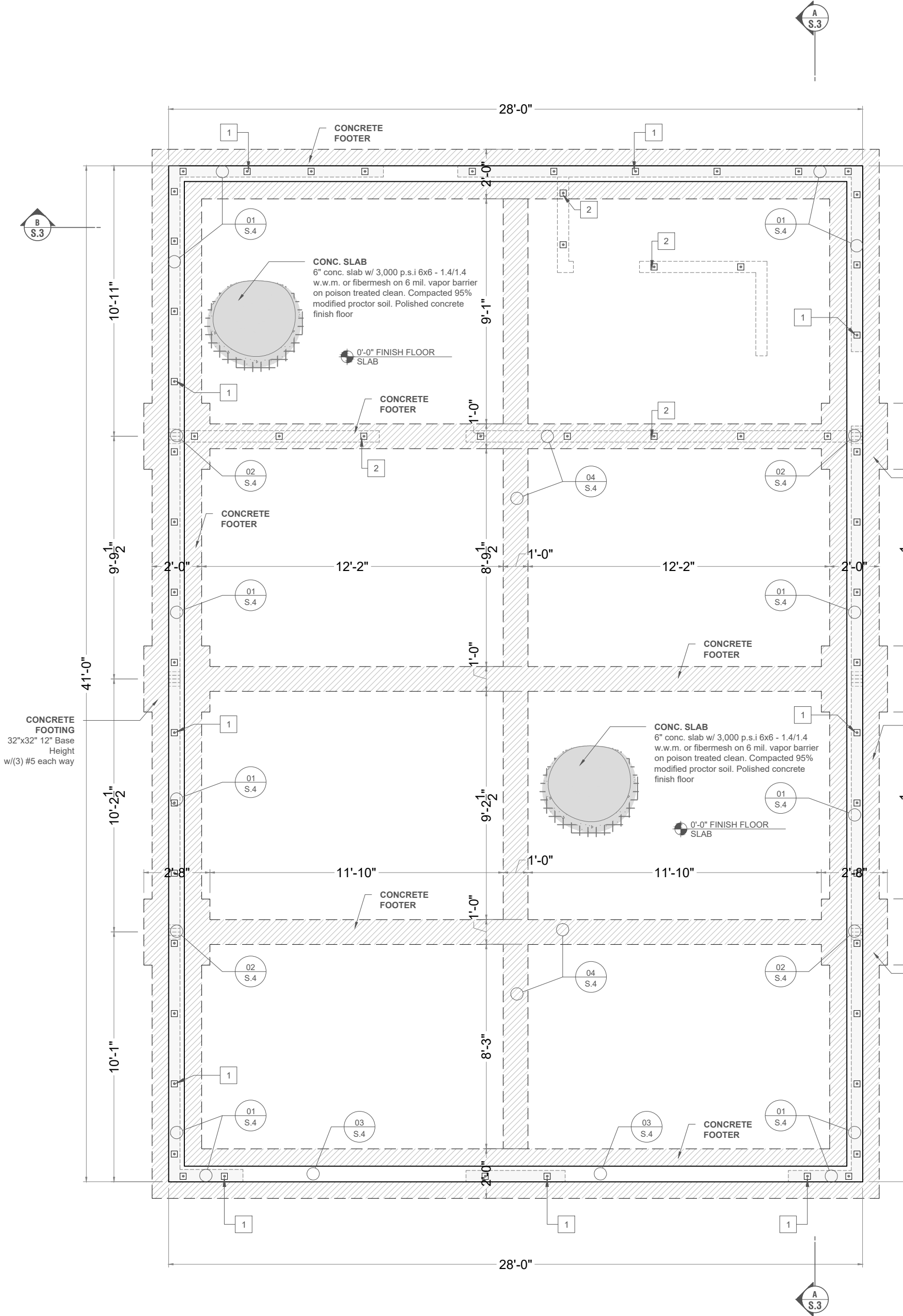
S.1

ARCH Full Bleed D (36.00 X 24.00 Inches)

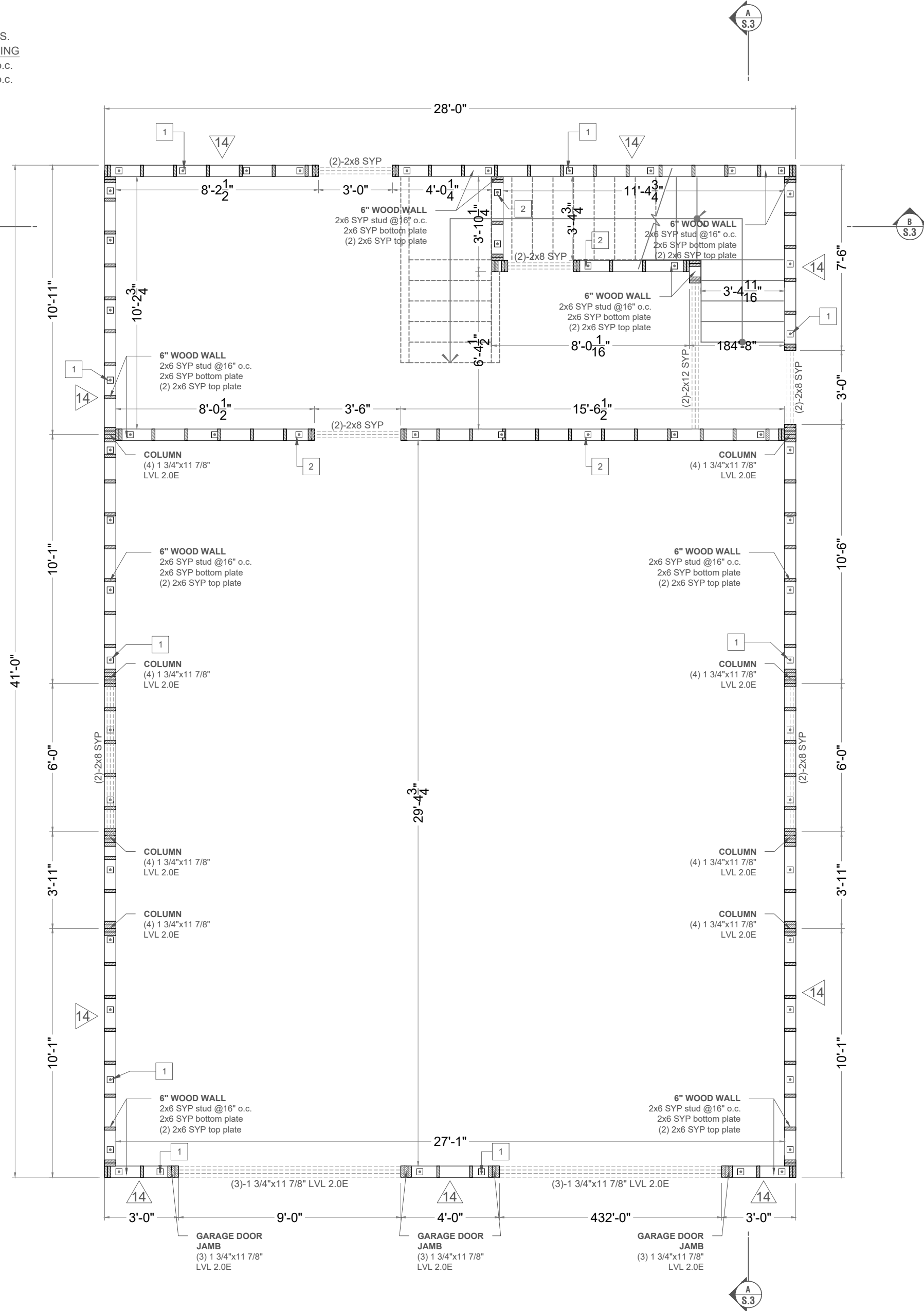
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MINIMUM ANCHOR BOLT EMBEDMENT 7" INTO FOUNDATION FOOTING.

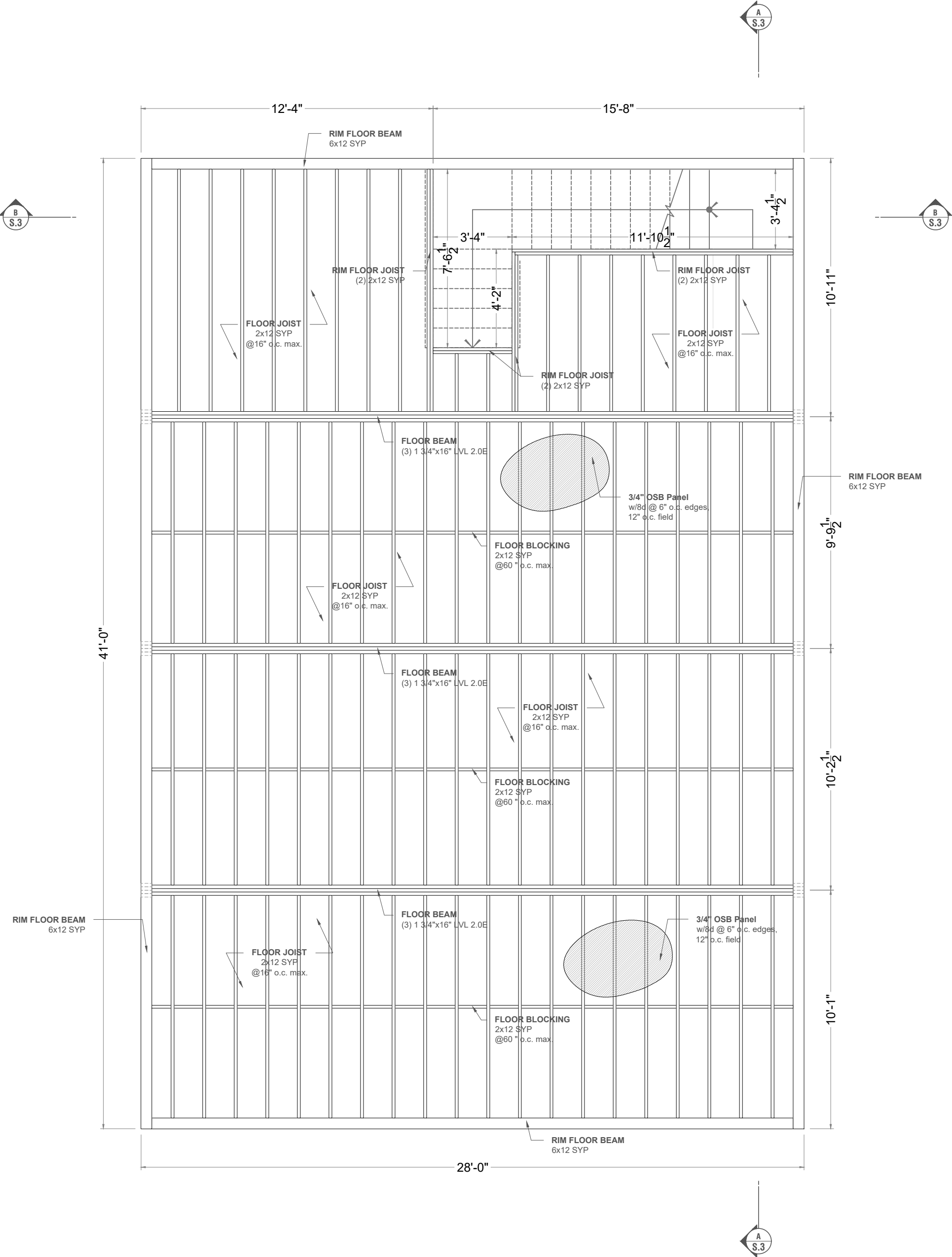
SIMPSON	M.A.S.
5/8"x12"	
SPACING	SPACING
40" o.c.	30" o.c.
54" o.c.	44" o.c.



01 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



02 WALL FRAMING - MAIN LEVEL
SCALE: 1/4" = 1'-0"



03 FLOOR FRAMING - UPPER LEVEL
SCALE: 1/4" = 1'-0"

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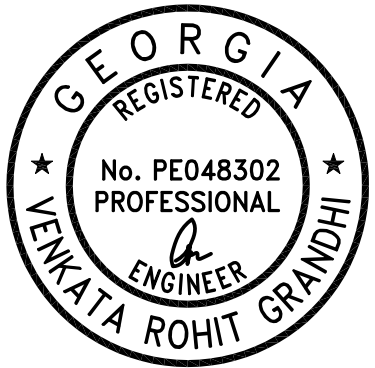
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SHEARWALL SCHEDULE		
INDICATOR	DESCRIPTION	Sill Plate Nailing
14	1/2" WOOD STRUCTURAL PANEL W/30 @ 4" O.C. EDGES, 12" O.C. FIELD. USE 3X FRAMING AT ADJOINING PANEL EDGES.	16d @ 4" o.c.



04.16.2026

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07-MAR26-AR

PROJECT:

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

03-26

SCALE: 1/4" = 1'-0"

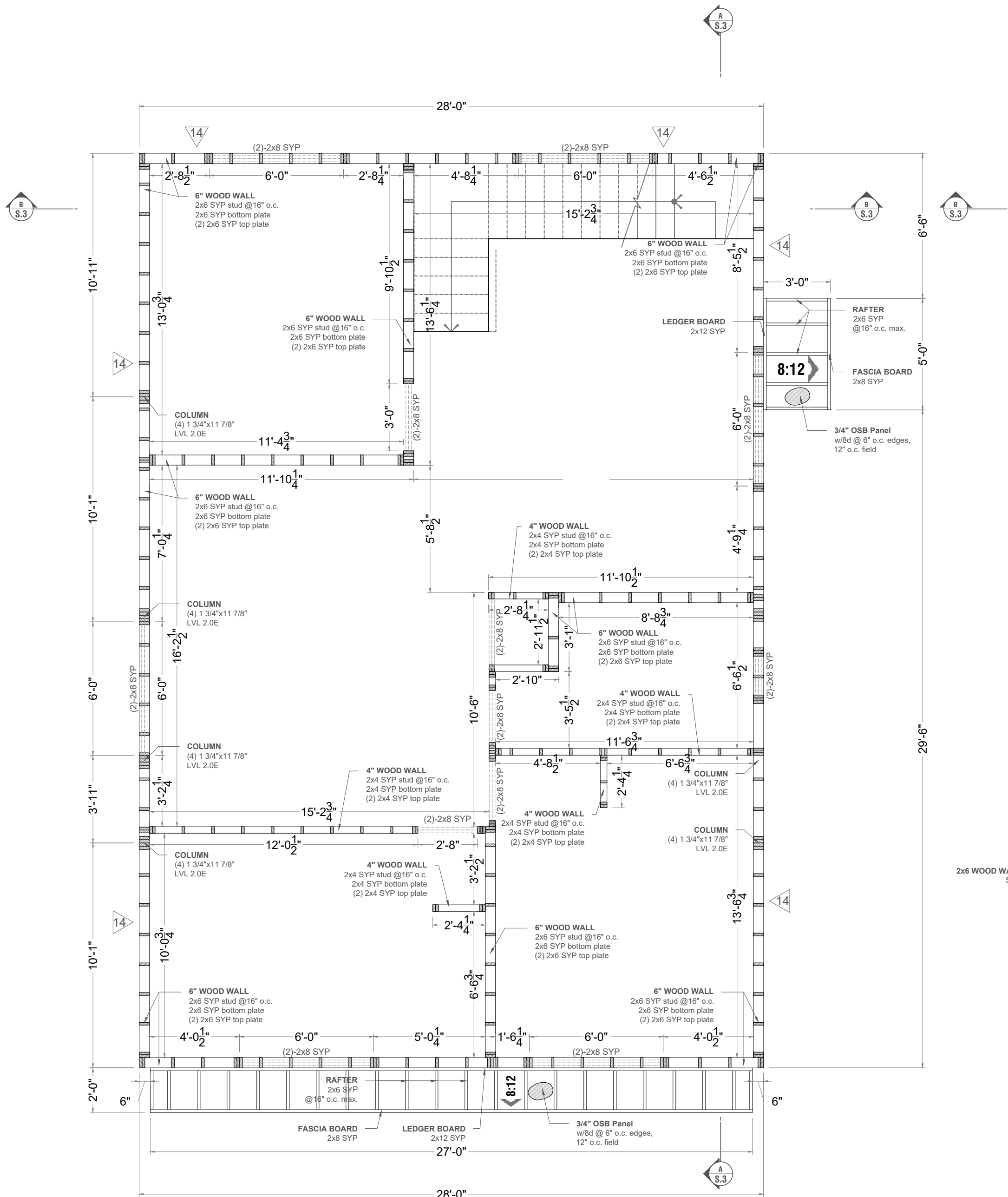
SHEET:

28x41 GARAGE & ADU

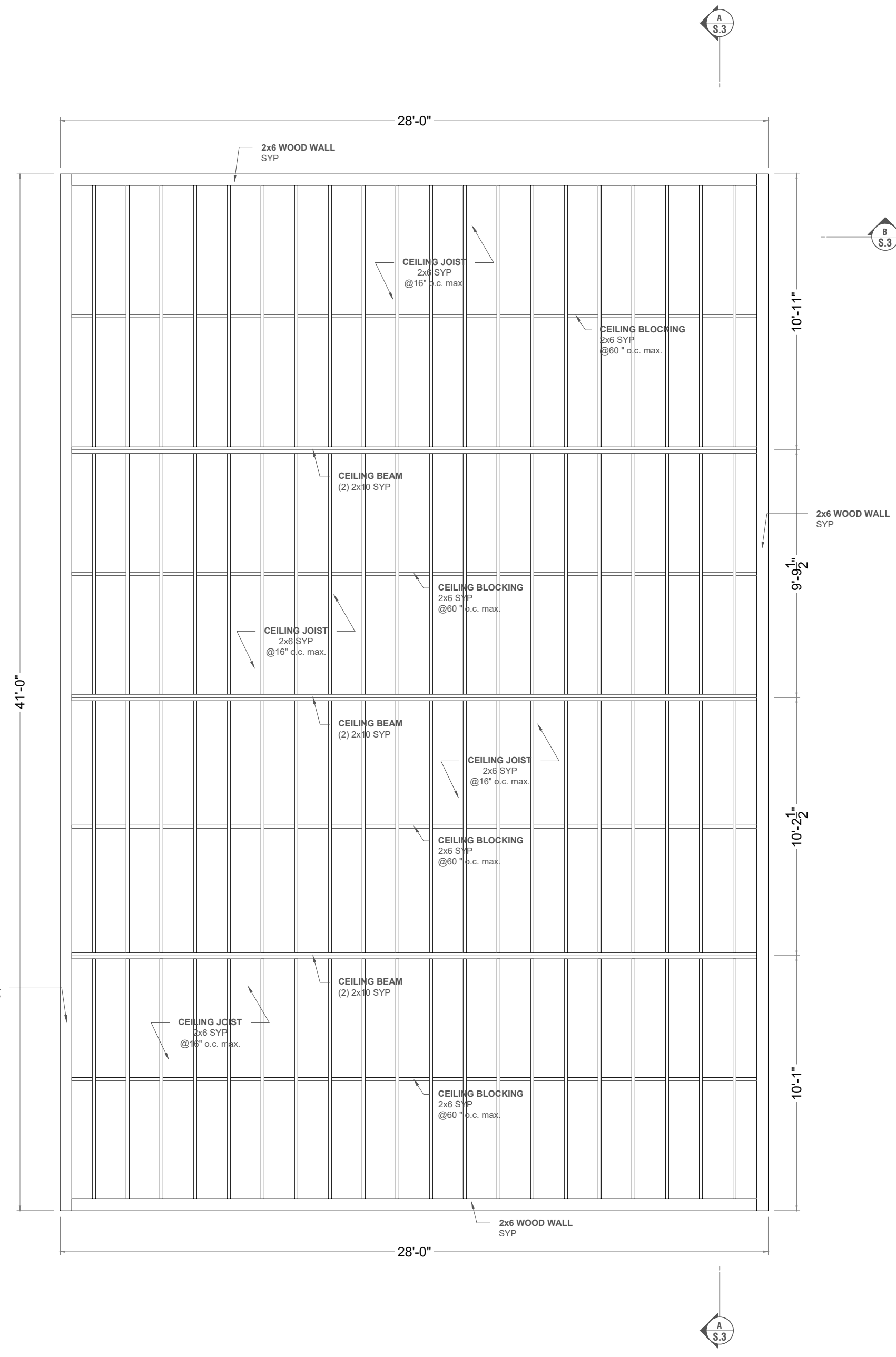
1380 EMORY RD NE ATLANTA GEORGIA 30306

UPPER LEVEL

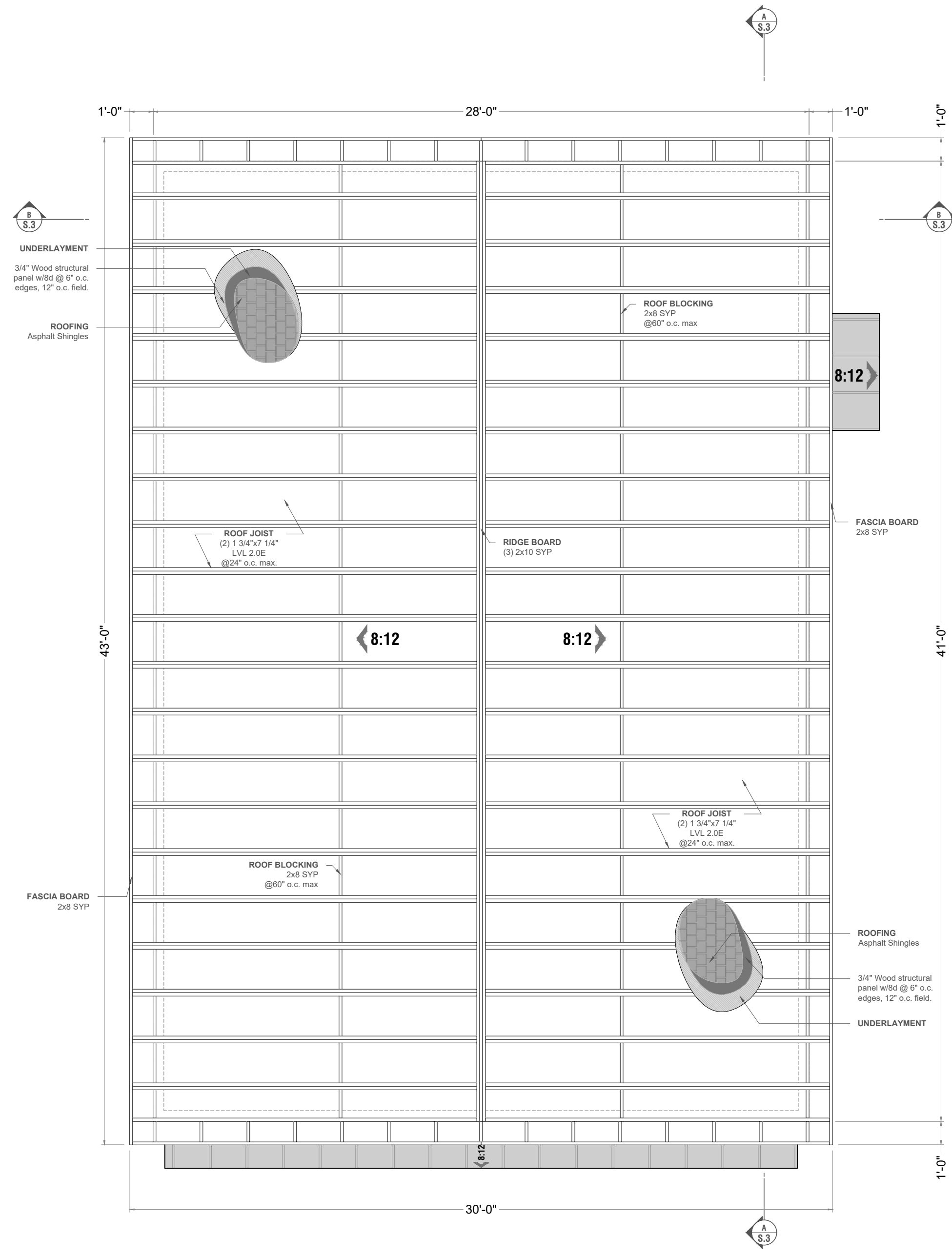
WALL FRAMING PLAN ROOF FRAMING PLAN



01 WALL FRAMING - UPPER LEVEL
SCALE: 1/4" = 1'-0"



02 CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"



03 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES

- RAFTERS TO BE (2) 1 3/4"x7 1/4" LVL 2.0E.
- RIDGE BOARD TO BE (3) 2x10 SYP.
- ALL HARDWARE TO BE CORROSION RESISTANT AND INSTALLED PER MANUFACTURERS INSTRUCTIONS.
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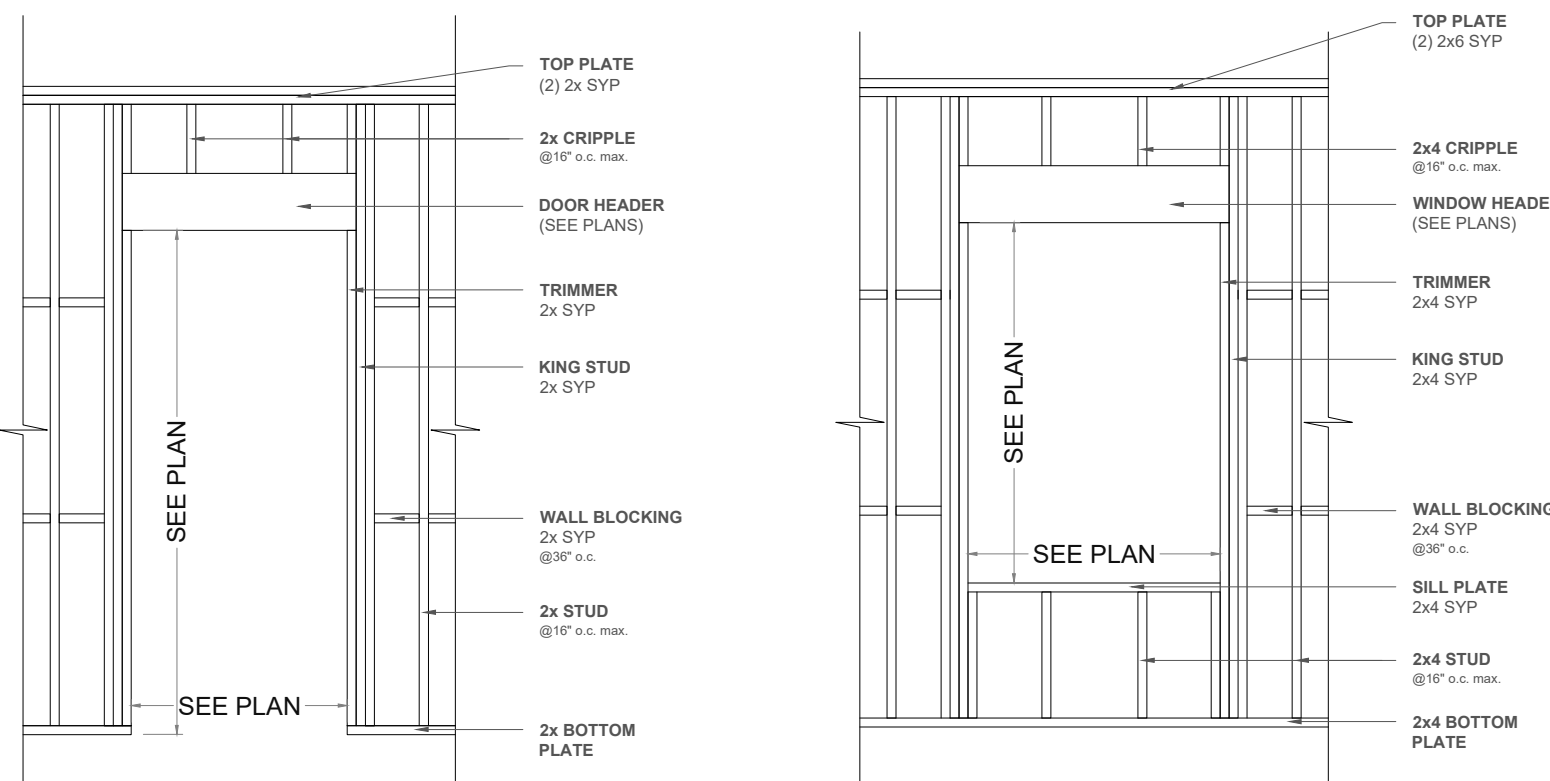
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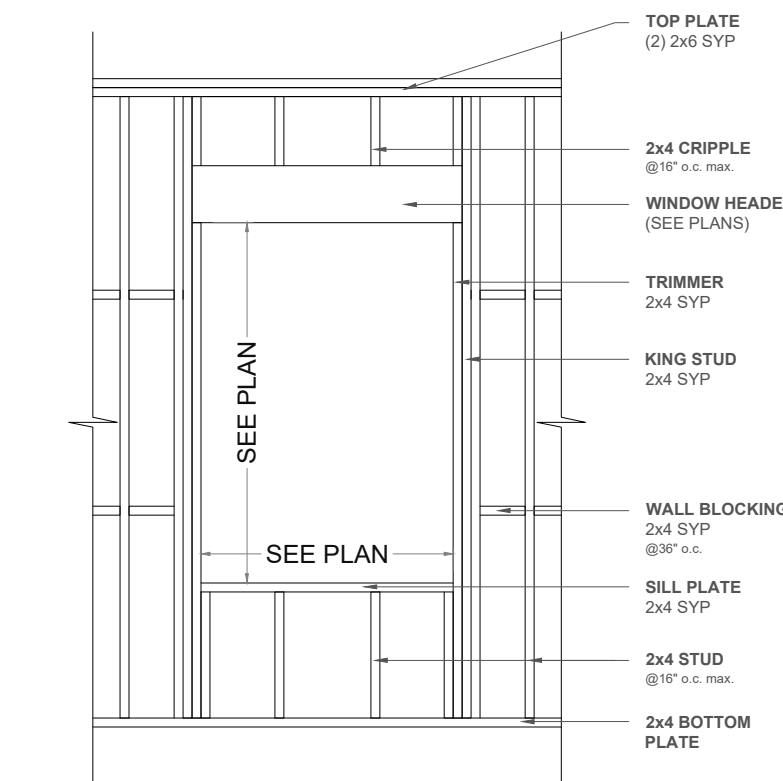
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SHEARWALL SCHEDULE		
INDICATOR	DESCRIPTION	Sill Plate Nailing
	1/2" WOOD STRUCTURAL PANEL W/30 @ 4" O.C. EDGES, 12" O.C. FIELD. USE 3X FRAMING AT ADJOINING PANEL EDGES.	16d @ 4" o.c.

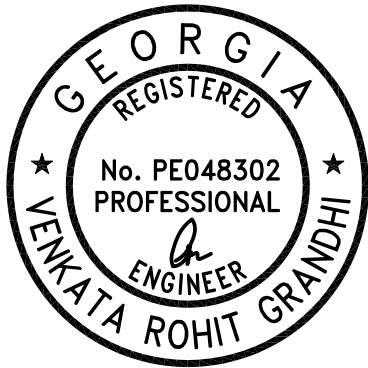


04 TYP. DOOR FRAME
SCALE: 3/8" = 1'-0"



05 TYP. WINDOW FRAME
SCALE: 3/8" = 1'-0"

S.2



04.16.2026

ENGINEER OF RECORD:
VENKATA ROHIT GRANDHI, P.E
7823 Boxwood Ct.
Highland, CA 92346
rohith.grandi@gmail.com

07-MAR26-AR

1380 EMORY RD NE ATLANTA GEORGIA 30306

28x41 GARAGE & ADU

STRUCTURAL DETAILS

PROJECT:

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

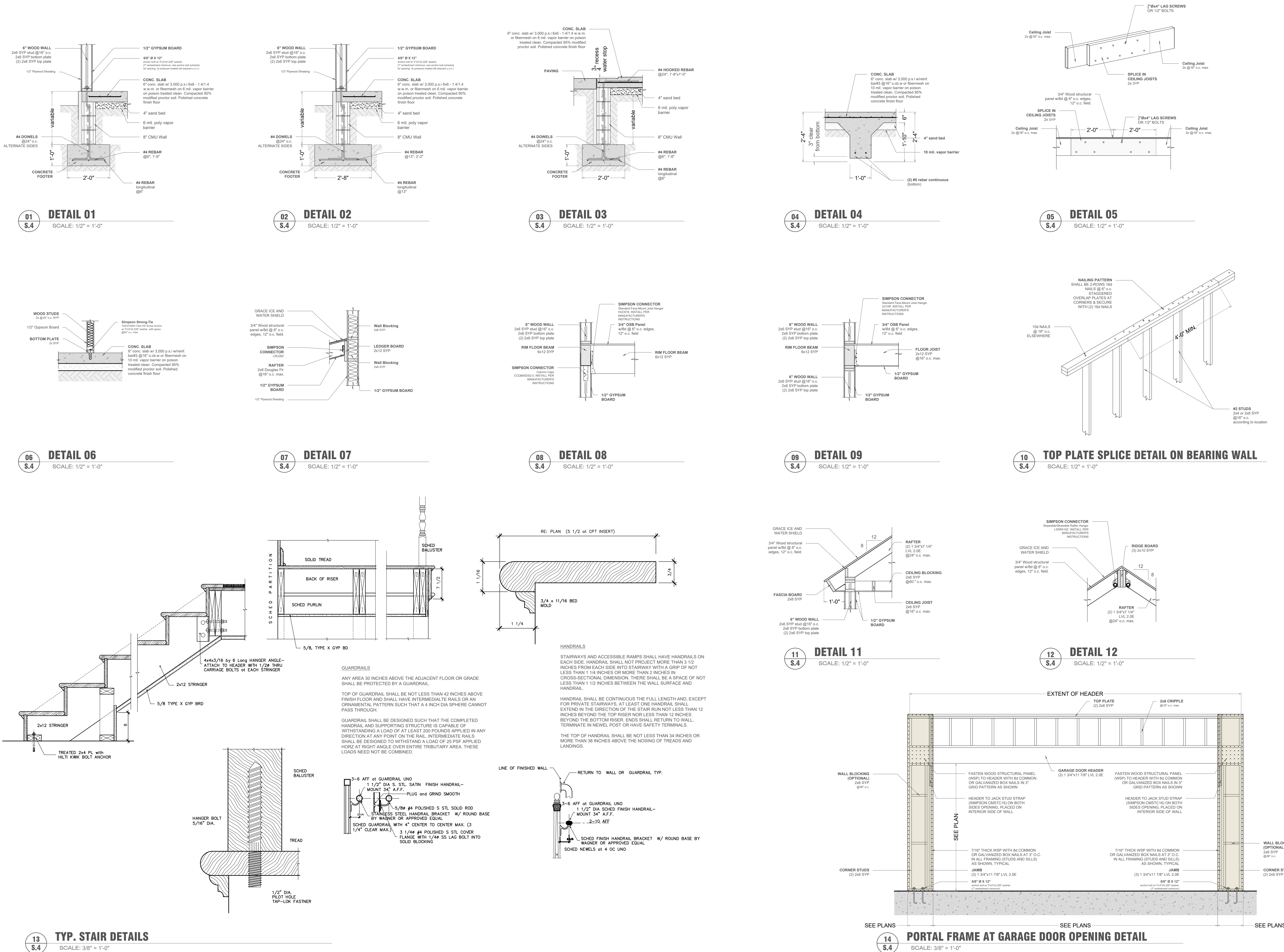
03-26

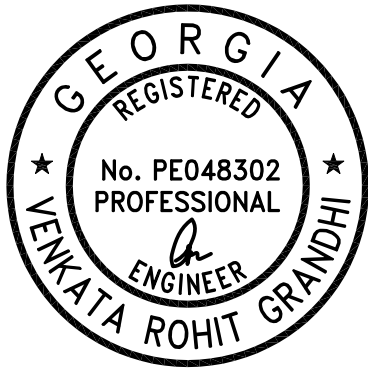
SCALE: 1/4" = 1'-0"

SHEET:

S.4

ARCH Full Bleed D (36.00 X 24.00 Inches)





04.16.2026

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PROJECT:

DESCRIPTION:

DRAWING VERSION

DATE: DRAWN

03-26
SCALE: 1/4" = 1'-0"

SHEET:

28x41 GARAGE & ADU

1380 EMORY RD NE ATLANTA GEORGIA 30306

STRUCTURAL DETAILS

S.5

ARCH Full Bleed D (36.00 X 24.00 Inches)

