



Lorraine Cochran-Johnson

Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street,
Decatur, GA 30030

Wednesday, July 8, 2026

Planning Department Staff Analysis



Juliana
Njoku

Director

N5. Case No: A-26-1248153

Parcel ID(s): 15 186 10 011

Commission District 03 Super District 06

Applicant: **Revae Downey / Windsor Development Group, LLC**
1310 Rockbridge Road, Suite G
Stone Mountain, GA 30087

Owner: **Windsor Development Group, LLC**
1310 Rockbridge Road, Suite G
Stone Mountain, GA 30087

Project Name: **1766 McKenzie Drive - Carport Enclosure and Residence Renovation**

Location: 1766 McKenzie Drive, Decatur, GA 30032

Requests: Request a variance from Section 27-2.2.1 of the DeKalb County Zoning Ordinance to reduce the side yard setback from 7.5 feet to 6 feet to facilitate enclosure of an existing carport and renovation of an existing single-family residence in the R-75 (Residential Medium Lot) zoning district.

Staff Recommendation: Approval with conditions

Conditions:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval..
2. The variance shall be limited to a reduction of the side yard setback to a minimum of 6 feet for the carport enclosure and related improvements shown on the submitted plans. No building wall, roofed addition, or other structure requiring zoning setback compliance shall be placed closer than 6 feet from the side property line unless further approval is obtained from the Zoning Board of Appeals.

STAFF FINDINGS:

The subject property is a single-family residential lot located at 1766 McKenzie Drive in the R-75 zoning district. The site contains an existing one-story single-family residence on crawlspace with an open carport, existing driveway, stoop, and deck. The submitted site plan identifies the lot as approximately 9,750 square feet, or 0.224 acres, with R-75 dimensional requirements including a 30-foot front setback, 7.5-foot side setback, and 40-foot rear setback. The existing conditions plan shows the carport located approximately 6.1 feet from the side property line, with portions of the existing structure also shown near the required side setback.

The applicant requests relief to reduce the required side yard setback from 7.5 feet to 6 feet. The request would allow the existing carport area to be enclosed and converted to conditioned living area as part of a larger renovation of the existing residence. The submitted architectural plans describe the scope of work as interior remodeling, adding the carport area to heated area, installing structural members for an open-concept floor plan, adding a new master bathroom and half bathroom, and installing new decking and handrails for the existing rear deck. The applicant states that the renovated home would remain a single-family residence and would be configured as a 3-bedroom, 2.5-bath home.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The subject property appears to exhibit exceptional physical conditions related to its existing nonconforming residential structure and substandard lot dimensions. The applicant states that the house was constructed in 1954, before the current zoning ordinance, and that the existing carport is already located approximately 6.0 to 6.1 feet from the side property line where 7.5 feet is required. The applicant also states that the lot is approximately 65 feet wide, which is narrower than the dimensional expectations of the R-75 zoning district. These conditions were not created by the current applicant and distinguish the property from a more typical conforming R-75 lot with a house located fully outside the required side setbacks.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The requested relief appears to be limited to the minimum necessary to allow the applicant to enclose and incorporate an existing carport area into the livable floor area of the residence. The requested reduction is approximately 1.5 feet, from 7.5 feet to 6 feet, and the submitted materials indicate that the project is intended to work within the existing residential footprint and logical building alignment rather than introduce a new detached structure or substantially different residential form. The recommended conditions further limit the variance to the carport enclosure and related improvements shown on the submitted plans and prohibit any further encroachment toward the side property line without additional ZBA approval.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The proposed work would retain the existing single-family residential use of the property and would allow renovation of an existing house within an established residential neighborhood. The applicant states that windows for the enclosed area will be located at the front and rear of the space rather than facing the neighboring property, and that existing bushes or shrubbery providing privacy and separation will be retained where feasible. Subject to the recommended conditions and compliance with applicable building, land development, stormwater, and permitting requirements, the requested relief is not expected to be materially detrimental to the public welfare or injurious to nearby properties.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

Strict application of the 7.5-foot side yard setback would prevent enclosure of the existing carport as proposed and any meaningful improvements to the primary structure. The existing structure, carport placement, and substandard lot width create a practical difficulty for modernizing the home into a functional single-family layout without modest dimensional relief.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The requested variance would be generally consistent with the spirit and purpose of the Zoning Ordinance and the DeKalb County Comprehensive Plan. The request would facilitate reinvestment in an existing single-family residence while maintaining the residential use, scale, and character of the property. The relief is limited in scope, addresses an existing physical condition, and would not authorize a change in use or a level of development inconsistent with the surrounding residential context.

FINAL STAFF ANALYSIS:

The subject property contains an existing single-family residence constructed prior to the current zoning ordinance, with an existing open carport located approximately 6.0 to 6.1 feet from the side property line where a 7.5-foot side yard setback is required in the R-75 zoning district. The applicant requests a modest setback reduction to 6 feet to allow enclosure of the existing carport and renovation of the residence into a functional 3-bedroom, 2.5-bath home. The submitted site plan and architectural plans indicate that the project would maintain the single-family residential use of the property and would remain below the maximum lot coverage shown on the site plan.

Based on the existing nonconforming placement of the carport, the substandard lot width and area, and the limited nature of the requested relief, staff finds that the record presents sufficient grounds for approval of the requested variance. Staff recommends approval with conditions requiring consistency with the submitted plans, limiting the relief to the proposed carport enclosure, preserving a minimum 6-foot side setback, and maintaining compatibility with the existing residence and surrounding residential context.

Staff Recommendation: Approval with conditions

Conditions:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval..
2. The variance shall be limited to a reduction of the side yard setback to a minimum of 6 feet for the carport enclosure and related improvements shown on the submitted plans. No building wall, roofed addition, or other structure requiring zoning setback compliance shall be placed closer than 6 feet from the side property line unless further approval is obtained from the Zoning Board of Appeals.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Chief of Executive Officer
Lorraine Cochran-Johnson

Director
Juliana A. Njoku

ZONING BOARD OF APPEALS (ZBA) APPLICATION

to Amend the Official Zoning Map of DeKalb County, Georgia

Subject Property Address: 1766 McKenzie Dr

City: Decatur State: GA Zip: 30087

Parcel ID Number(s): 15 186 10 011 Acreage: 0.22 or 9583 sqft

District: Land Lot: Block: Parcel:

Commission District(s): 15 Super District: 3 and 6

Type of Hearing Requested (check one):

- ☒ VARIANCE (from Development Standards causing undue hardship upon owners of property.)
☐ SPECIAL EXCEPTIONS (to Reduce or Waive off-street parking or loading space requirements.)
☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

*PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4.

FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.*

I hereby authorize the staff of the Planning and Sustainable Department to inspect the property that is the subject of this application.

☒ Owner ☐ Agent

~~Renee S. Downey~~ 
Signature

5/25/26.
Date

ZONING BOARD OF APPEALS (ZBA) APPLICATION FEE:

\$300.00

DeKalb County does not require payment by wire transfer.
Be aware of scammers and fraudulent emails.
Email plansustain@dekalbcountyga.gov with any questions

Email plansustain@dekalbcountyga.gov with any questions

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 5/28/26

Applicant
Signature: 

DATE: _____

Applicant
Signature: _____

Dear Zoning Board of Appeals,

I first want to thank you for your service to DeKalb County and its residents. As a former public servant, I know, firsthand, that your job is often a thankless one but so critical to keeping the county operating seamlessly and in a just manner. I also want to thank you for your time today and review of the materials associated with our request. My name is Revae Downey and I am emailing you as a co-owner of 1766 McKenzie Dr with Windsor Development Group. I am a resident of Medlock Park and my mother, another co-owner with Windsor Development Group, is a resident of Belvedere Park.

I am writing to request a variance from Section 27-2.2.1 specifically requesting to reduce the side yard setback requirement from 7.5 feet to 6 feet. This property was built in 1954 as a 3-bedroom/1-bath single story home and has not been updated, in any capacity, since that time. We are seeking to remodel this home so that it's a functional space for a growing family as a 3-bedroom/2.5-bath with separate bathrooms for guests and homeowner's children and a true owner's suite with an accompanying bathroom and walk-in closet. We will also update the kitchen and living room spaces to create an open concept floor plan that reflects the comfort and style of other remodeled homes in Belvedere Park, like my mother's. To create a true owner's suite, we must use the existing bedrooms which then means we will need to enclose the existing carport to extend the heated space allowing for two bedrooms. This is the primary reason for our variance request, which would allow the enclosure of the existing carport that is currently located approximately 6.0–6.1 feet from the side property line, where 7.5 feet is required under R-75 zoning.

Physical Conditions of the Site

The existing structure was constructed in 1954. The modern zoning code was last updated in 2015 and, as it currently stands, the property is in a legal non-confirming condition essentially being grandfathered in its current state. Furthermore, the property is only 65 feet wide, in an R-75 zone, which creates imposing setbacks. Lastly, the property is approximately 9,500 sq ft in size versus an ordinance minimum of 10,000 sq ft.

Minimum Variance Necessary

Despite these issues, our request is limited solely to enclosing the existing footprint to create conditioned interior space and to expand the footprint in a logical manner to line up with the existing front façade of the home which would be an approximate 2.5 ft expansion. We have letters of support from our neighbors to the right and left of the home to demonstrate that they are amenable to this request.

Public Welfare

We understand that ordinance Section 27-2.2.1 is meant to support privacy and separation of properties. We realize that the addition may intrude on their privacy;

however, we will place all windows at the front and back of the enclosed space so that no windows are facing the neighbor's home and will retain existing bushes/shrubbery that provide a semblance of privacy and separation of the properties.

Ordinance Hardship

The existing structure and footprint of the home means that any meaningful addition to the home would require a variance due to legal non-conforming condition of the home. The variance is essential to prevent unnecessary hardship if a strict interpretation of the zone laws were upheld. The variance would allow reasonable use of our land.

Alignment of the Spirit of the Law

We are committed to keeping the spirit of the ordinance alive by achieving DeKalb's goals of increasing the density, accessibility, and infill development of the home and create a home that complements the beauty of Belvedere Park in design, function, and quality.

We realize that we are requesting a variance from an existing ordinance meant to support DeKalb and its residents; however, we are modest in our request so that it is minimal in nature (i.e., approximately 1.4–1.5 feet) and will not adversely affect neighboring properties. The enclosure will maintain the existing scale and character of the structure (i.e., brick exterior) and will not encroach further into the setback. Granting this variance will allow reasonable use of the property while maintaining the intent of the zoning ordinance and preserving the character of the Belvedere Park.

Again, thank you so much for your service, support, and time today,

~Revae



SAFETY IS IN YOUR HANDS.
EVERY DIG. EVERY TIME.

RESIDENTIAL SITE PLAN
1766 MCKENZIE DRIVE
TAX PARCEL ID: 15 186 10 011
LAND LOT 186, 15th DISTRICT, DEKALB COUNTY
DEKALB COUNTY ZONING: R-75
LOT AREA: 9,750 SF OR 0.224 ACRES

ENVIRONMENTAL

FLOOD PLAIN
NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP NUMBER 13089C0132J, DATED 5/16/2013.

WETLANDS CERTIFICATION
THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED; AND, 2) THE APPROPRIATE PLAN SHEET DOES NOT INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS; AND, 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION (SECTION 404) PERMIT HAS BEEN OBTAINED.

STATE WATERS
THERE ARE NO STREAM BUFFERS ON THIS PROPERTY. STATE WATERS WERE NOT OBSERVED TO BE PRESENT WITHIN 200 FEET OF THE SITE.

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

AMENDMENTS OR REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

WASTE MATERIALS SHALL NOT BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
ANY DISTURBED AREA REMAINING IDLE FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.

ALL TEMPORARY AND PERMANENT SEEDING MUST BE PERFORMED AT THE APPROPRIATE SEASON. IN SUCH INSTANCES WHERE THE ESTABLISHMENT OF VEGETATION IS INOPORTUNE DUE TO SEASON OR DROUGHT, DISTURBED AREA SHALL BE TEMPORARY STABILIZED USING 2"-4" OF MULCH (D&I). ADDITIONAL PLANTINGS WILL BE NECESSARY IF A SUFFICIENT STAND OF GRASS FAILS TO GROW.

THE LOCAL ISSUING AUTHORITY'S DESIGNEE WILL VERIFY ADEQUATE COVER (100% COVER, 70% COVER) OF PERMANENT STABILIZATION (D&I, D&I).

THE ES&PC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER QUALITY STANDARDS.

THE PROPERTY OWNER AND CONTRACTOR ARE EQUALLY RESPONSIBLE FOR ALL EROSION CONTROL ACTIVITIES.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES, NOT THE LOCAL ISSUING AUTHORITY.

FOR EACH SITE ON WHICH LAND DISTURBING ACTIVITY OCCURS, EACH ENTITY OR PERSON ACTING AS EITHER A PRIMARY, SECONDARY, OR TERTIARY PERMITTEE, AS DEFINED IN THE STATE GENERAL PERMIT, SHALL HAVE AS A MINIMUM ONE PERSON WHO IS IN RESPONSIBLE CHARGE OF EROSION AND SEDIMENTATION CONTROL ACTIVITIES ON BEHALF OF SAID ENTITY OR PERSON AND MEETS THE APPLICABLE (LEVEL A1) EDUCATION OR TRAINING CERTIFICATION REQUIREMENTS (O.C.G.A. 12-7-19)(2)).

SUBCONTRACTORS INVOLVED WITH LAND DISTURBANCE ACTIVITIES SHALL MEET THE EDUCATION REQUIREMENTS (LEVEL 1) DESCRIBED IN O.C.G.A. 12-7-19.

THE ES&PC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION / LAND DISTURBANCE PERIOD, THESE ES&PC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.

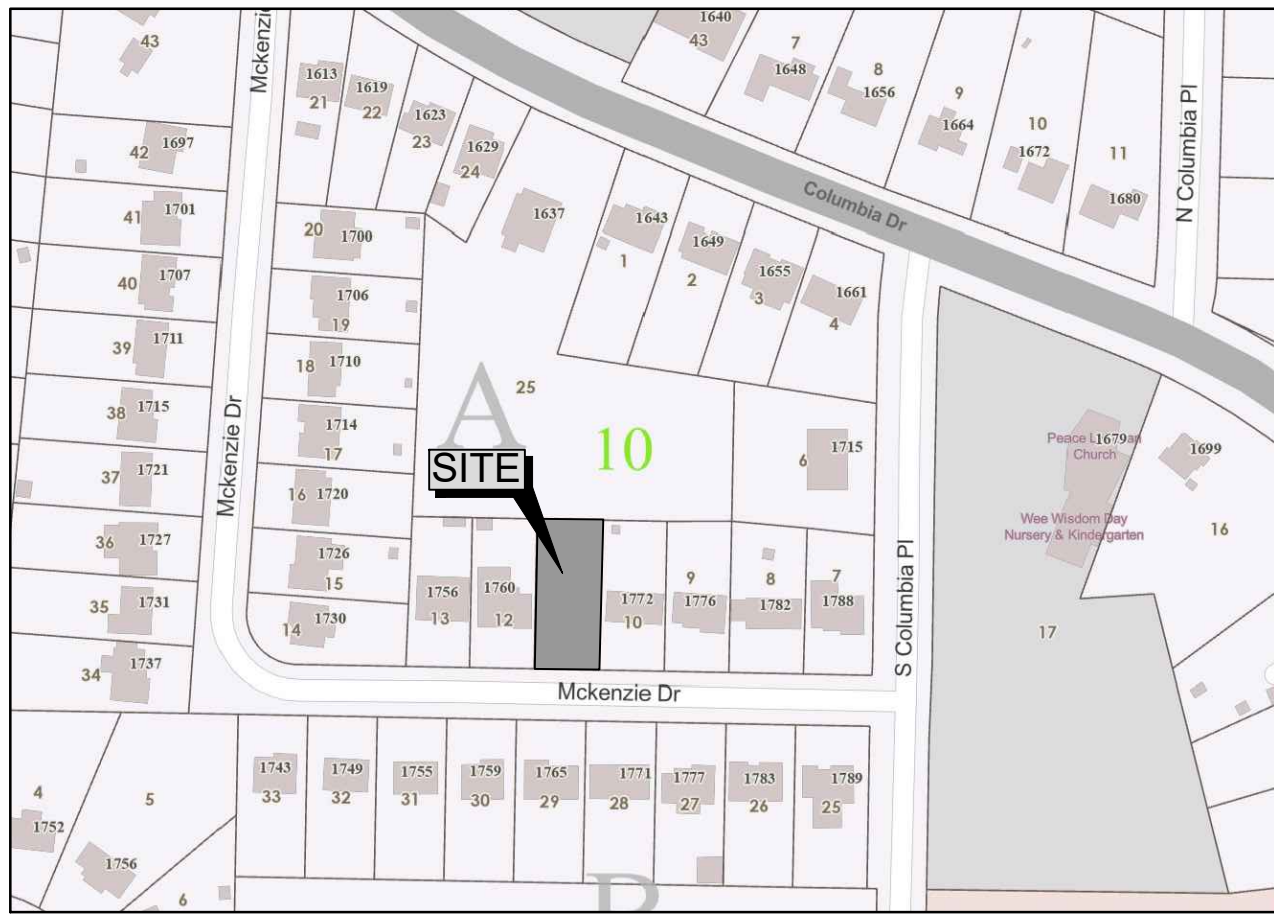
SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TYPE C TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION, 1993 EDITION, AND BE WIRE REINFORCED.

SILT FENCE SHALL NOT BE PLACED IN STREAM BUFFER OR FLOODPLAINS, UNLESS UTILIZED FOR THE CONSTRUCTION OF AN EXEMPT ACTIVITY (I.E. ROADWAY DRAINAGE STRUCTURES, SEWER/WATER CROSSINGS, OR DRAINAGE STRUCTURES) PER THE APPROVED PLANS. FOR SUCH DISTURBANCES WITHIN THE BUFFER, THE AREA SHALL BE IMMEDIATELY STABILIZED USING EROSION CONTROL MATTING AND/OR BLANKETS ONCE THE ACTIVITY IS COMPLETE.

STABILIZED CONSTRUCTION EXITS SHALL BE INSTALLED AT THE BEGINNING OF LAND DISTURBANCE AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

SEDIMENT STORAGE VOLUME @ 67 CY/ACRE MUST BE INSTALLED PRIOR TO ANY OTHER LAND DISTURBANCE ACTIVITY AND IN PLACE UNTIL FINAL STABILIZATION OCCURS.

AMENDMENTS/REVISION TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL, AND SUBSEQUENTLY APPROVED BY THE SITE DEVELOPMENT STAFF.



VICINITY MAP (N.T.S.)

SITE PLAN GENERAL NOTES

- OWNER/BUILDER:**
WINDSOR DEVELOPMENT GROUP
1310 ROCKBRIDGE RD, SUITE G
STONE MOUNTAIN, GA 30087
windsordevelopmentgrp@gmail.com
404-944-8993
- 24 HOUR EMERGENCY CONTACT:**
REVAE DOWNEY
1310 ROCKBRIDGE RD, SUITE G
STONE MOUNTAIN, GA 30087
windsordevelopmentgrp@gmail.com
404-944-8993
- DESIGNER/SURVEYOR:**
BRIAN DOUGLAS, GA RPLS# 3373
950 EAGLES LANDING PKWY
STOCKBRIDGE, GA 30281
PH. 470-580-4397
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE PROJECT DESIGNER FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED. ALL DIMENSIONS SHOULD BE CALCULATED OR READ.
- THE CONTRACTOR SHALL COORDINATE ANY AND ALL UTILITY RELOCATION WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF ANY UTILITY WORK.
- A COPY OF THESE PLANS ARE TO BE KEPT ON SITE DURING THE DURATION OF THE PROJECT.
- THIS IS NOT A BOUNDARY SURVEY AND IS NOT FOR RECORDING. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED LOCATION OF THE PROPOSED IMPROVEMENTS. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT IMMEDIATELY.
- PROPERTY LINES SHOULD BE FIELD LOCATED BEFORE ANY LAND DISTURBING ACTIVITIES BEGIN. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT IMMEDIATELY.
- BUILDER TO PROVIDE 5% SLOPE AWAY FROM HOUSE FOR DRAINAGE PURPOSES.
- ANY REVISIONS THAT WERE NOT DONE UNDER THE SUPERVISION OF THE ENGINEER OF RECORD WILL VOID THE CERTIFICATION OF THIS DOCUMENT.

SHEET INDEX

1	COVER SHEET
2	EXISTING CONDITIONS
3	HOUSE SITE PLAN / ES&PC PLAN
4	DETAILS & CALCULATIONS

I, BRIAN J. DOUGLAS, CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.



Brian J. Douglas
Level II Certified Design Professional

Certification Number 0000088319
Issued: 02/26/2023 Expires: 02/26/2029

SITE DATA

TAX PARCEL ID: 15 186 10 011

DEKALB COUNTY, GEORGIA

R-75 - RESIDENTIAL DISTRICT

MAX. LOT COVERAGE: 35%

MAX. BLDG. HEIGHT: 35'

SETBACKS:

FRONT: 30 FEET (LOCAL STREET)

SIDE: 7.5 FEET

REAR: 40 FEET

TOTAL SITE AREA = 9,750 SF OR 0.224 AC.
TOTAL DISTURBED AREA = 6,100 SF OR 0.14 AC.
PROPOSED NEW IMPERVIOUS AREA = 3286 SF

TOTAL IMPERVIOUS: 2,284 SF

PERCENT IMPERVIOUS: 23.4%

PERCENT LOT COVERAGE: 2,284 SF / 9,750 SF = 23.4%

CUT VOLUME: 0 C.Y.

FILL VOLUME: 0 C.Y.

SOURCE OF BOUNDARY: FINAL PLAT OF COLUMBIA

MANOR SUBDIVISION

(PB 20, PG 114)

SOURCE OF TOPOGRAPHY: SURVEY BY P.L.S.

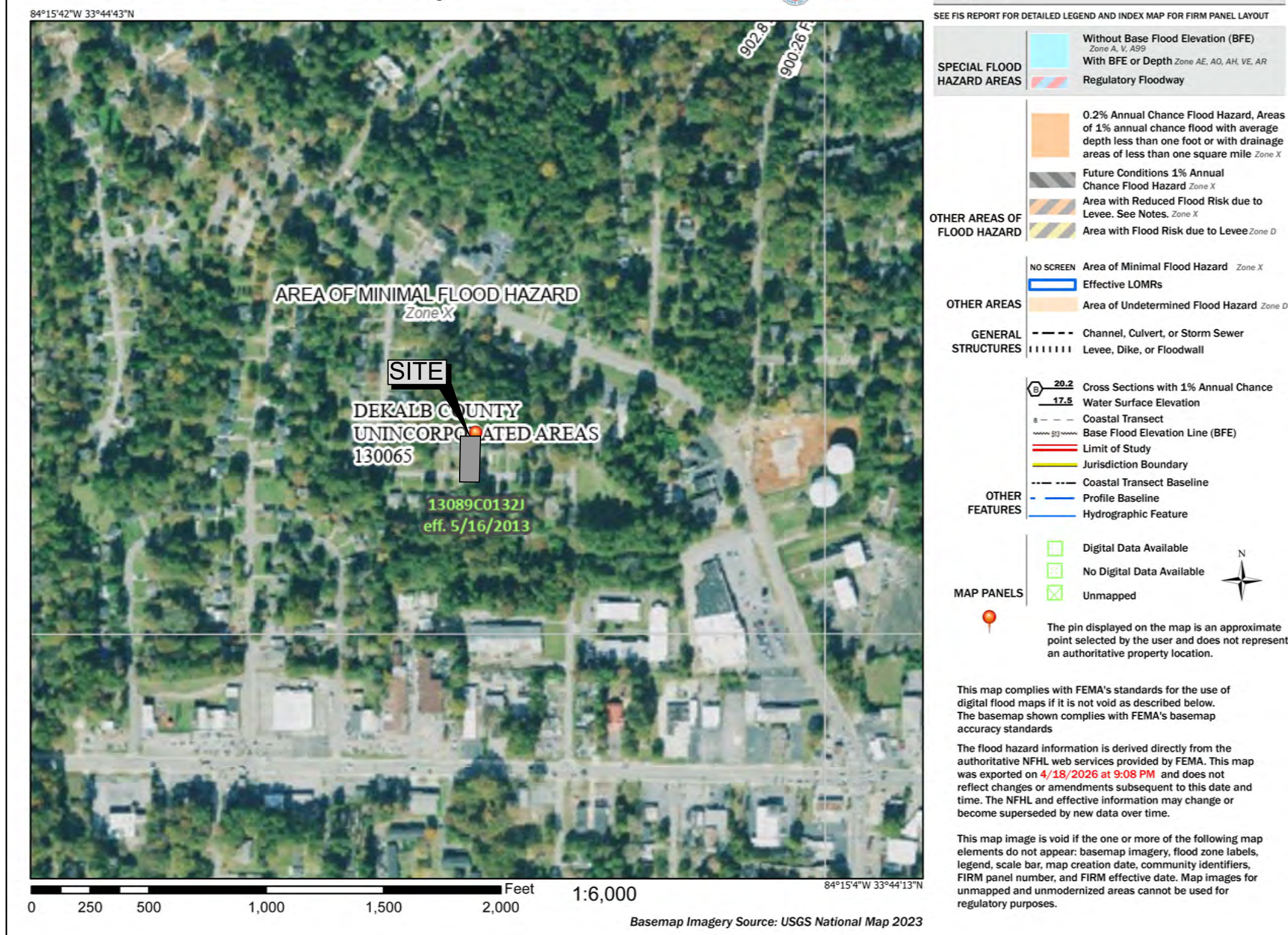
TOPOGRAPHIC DATA

DATUM: MEAN SEA LEVEL

DEKALB COUNTY SITE PLAN NOTES

- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET OR TREE PROTECTION AREA OR RIGHT-OF-WAY.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR(S)
- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S).
- NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE/CRITICAL ROOT ZONE.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY - FRIDAY 7:00AM - 7:00PM
SATURDAY 8:00AM - 5:00PM

National Flood Hazard Layer FIRMette



DATE REVISION

COVER SHEET:
1766 MCKENZIE DRIVE
PREPARED FOR:
WINDSOR DEVELOPMENT GROUP

PROJECT LOCATION:
LAND LOT(6): 186 | DISTRICT: 15th
DEKALB COUNTY | GEORGIA

APRIL 18, 2026



PROFESSIONAL SEAL:



GSWCC LEVEL II NUMBER 88319

PLS PROJECT #: 26-A80

DRAWN BY: BJD

CHECKED BY: BJD

SHEET SIZE: 24"x36" (arch D)

SHEET NUMBER	TOTAL SHEETS
1	4



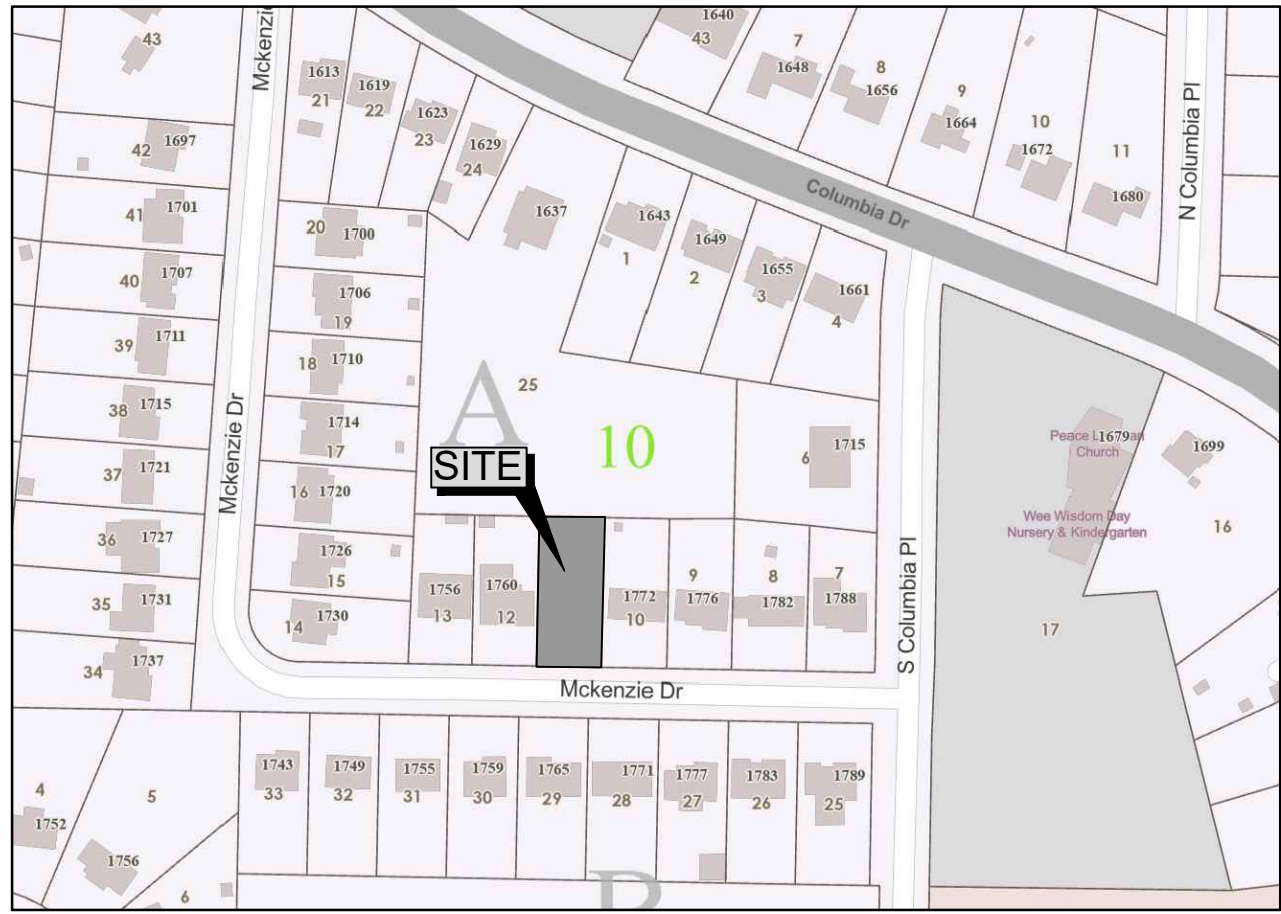
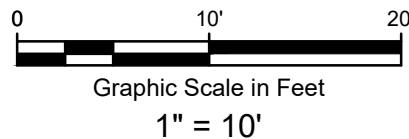
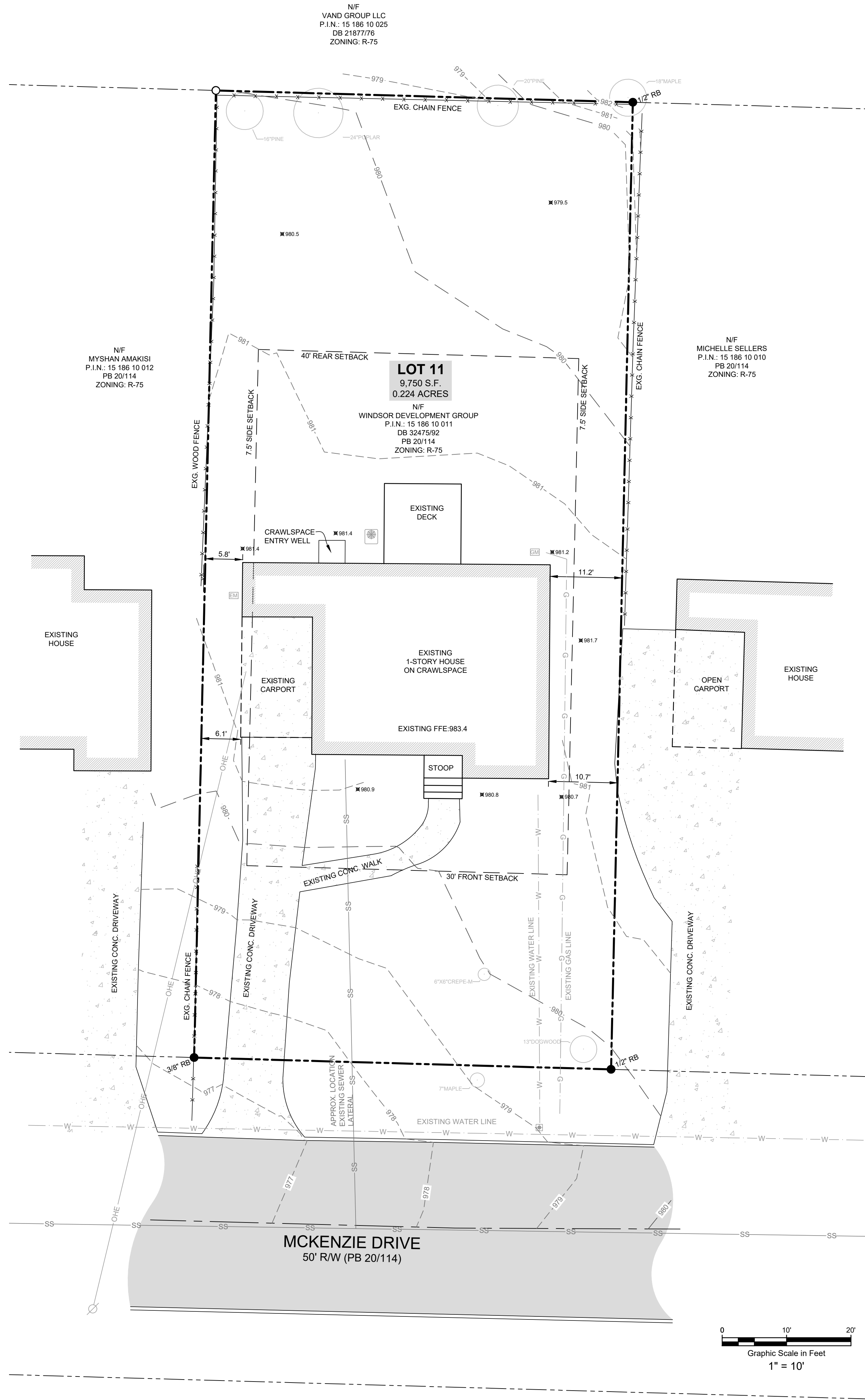
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STOCKBRIDGE, GA 30281
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- THE CONTRACTOR SHALL COORDINATE ANY AND ALL UTILITY RELOCATION WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF ANY UTILITY WORK.
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- THIS IS NOT A BOUNDARY SURVEY AND IS NOT FOR RECORDING. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED LOCATION OF THE PROPOSED IMPROVEMENTS. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT IMMEDIATELY.
- PROPERTY LINES SHOULD BE FIELD LOCATED BEFORE ANY LAND DISTURBING ACTIVITIES BEGIN. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT IMMEDIATELY.
- BUILDER TO PROVIDE 5% SLOPE AWAY FROM HOUSE FOR DRAINAGE PURPOSES.
- ANY REVISIONS THAT WERE NOT DONE UNDER THE SUPERVISION OF THE ENGINEER OF RECORD WILL VOID THE CERTIFICATION OF THIS DOCUMENT.

SURVEY NOTES:

- PLAT CLOSURE: 1 FOOT IN +1,000,000 FEET
- EQUIPMENT USED: CARLSON BRX7 GNSS RECEIVER (BASE & ROVER RTK)
GEOMAX ZOOM 90 TOTAL STATION
- DISTANCES SHOWN HEREON ON ARE GROUND DISTANCES AS DERIVED FROM SCALED GPS OBSERVATIONS.
- FIELD POSITIONAL TOLERANCE: BOUNDARY CORNER MONUMENT POSITIONS COLLECTED WITH GPS OBSERVATIONS HAVE A POSITIONAL TOLERANCE OF LESS THAN 0.12' RESIDUAL WITHIN THE 95% CONFIDENCE LEVEL BASED ON REDUNDANT MEASUREMENTS.
- FIELD DATA HAS NOT BEEN ADJUSTED
- BASIS OF BEARINGS/COORDINATES: GRID NORTH, GA WEST ZONE (NAD83)



VICINITY MAP (N.T.S.)

LINE TYPE(S):

—OHE—	ELECTRIC OVERHEAD LINE
—C—	UNDERGROUND COMMUNICATION LINE
—W—	UNDERGROUND WATER LINE
—G—	UNDERGROUND GAS LINE
—UE—	UNDERGROUND ELECTRIC LINE
—X—X—X—X—X—	FENCE LINE
—SS—	SANITARY SEWER LINE

LEGEND

- IRON PIN FOUND
- IRON PIN SET (1/2" REBAR)
- CALCULATED POINT
- ⊠ RIGHT OF WAY MONUMENT
- ⊕ STORM DRAIN MANHOLE
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ UTILITY POLE
- ⊕ ELECTRIC BOX

ABBREVIATIONS

A.K.A	ALSO KNOWN AS
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
CTP	CRIMP TOP PIPE
DB	DEED BOOK
N/F	NOW OR FORMERLY
N.T.S.	NOT TO SCALE
PB	PLAT BOOK
PAGE	PAGE
P.O.B	POINT OF BEGINNING
P.I.N	PARCEL IDENTIFICATION NUMBER
P/L	PROPERTY LINE
R/W	RIGHT OF WAY
SBL	SETBACK LINE
S.F.	SQUARE FEET

DATE REVISION

EXISTING CONDITIONS:
1766 MCKENZIE DRIVE
PREPARED FOR:
WINDSOR DEVELOPMENT GROUP

PROJECT LOCATION:
LAND LOT(S): 186 | DISTRICT: 15th
DEKALB COUNTY | GEORGIA

APRIL 18, 2026



PROFESSIONAL SEAL:



GSWCC LEVEL II NUMBER 88319

PLS PROJECT #: 26-A80
DRAWN BY: BJD
CHECKED BY: BJD
SHEET SIZE: 24"x36" (arch D)

SHEET NUMBER	TOTAL SHEETS
2	4

Ds1 MULCHING

Ds2 TEMPORARY GRASSING

MONTH	TEMPORARY SEED	RATE/ACRE	RATES/1,000 SOFT.	
			FERTILIZER	LIME STONE
JANUARY	RYEGRASS	40-50 lb.	12 lb(x10-10-10)	45 lb
FEBRUARY	RYEGRASS	40-50 lb.	12 lb(x10-10-10)	45 lb
MARCH	RYE ANNUAL LESPEDEZA WEEPIING LOVEGRASS	2-3 bu. 20-25 lb. 4-6 lb.	12 lb(x10-10-10) 35 lb(g-12-12) 12 lb(x10-10-10)	45 lb 45 lb 45 lb
	RYE BROWN TOP MILLET ANNUAL LESPEDEZA SUDAN GRASS	2-3 bu. 30-40 lb. 20-25 lb. 35 lb.	12 lb(x10-10-10) 12 lb(x10-10-10) 35 lb(g-12-12) 35 lb(g-12-12)	45 lb 45 lb 45 lb 45 lb
MAY	WEEPIING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 lb. 35 lb. 30-40 lb.	12 lb(x10-10-10) 35 lb(g-12-12) 12 lb(x10-10-10)	45 lb 45 lb 45 lb
	WEEPIING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 lb. 35 lb. 30-40 lb.	12 lb(x10-10-10) 35 lb(g-12-12) 12 lb(x10-10-10)	45 lb 45 lb 45 lb
JUNE	WEEPIING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 lb. 35 lb. 30-40 lb.	12 lb(x10-10-10) 35 lb(g-12-12) 12 lb(x10-10-10)	45 lb 45 lb 45 lb
	WEEPIING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 lb. 35 lb. 30-40 lb.	12 lb(x10-10-10) 35 lb(g-12-12) 12 lb(x10-10-10)	45 lb 45 lb 45 lb
JULY	WEEPIING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 lb. 35 lb. 30-40 lb.	12 lb(x10-10-10) 35 lb(g-12-12) 12 lb(x10-10-10)	45 lb 45 lb 45 lb
	RYEGRASS WEEPIING LOVEGRASS	40-50 lb. 40-50 lb.	12 lb(x10-10-10) 12 lb(x10-10-10)	45 lb 45 lb
AUGUST	RYEGRASS TALL FESCUE	40-50 lb. 30-50 lb.	12 lb(x10-10-10) 35 lb(g-12-12)	45 lb 45 lb
	WHEAT	2-3 bu.	12 lb(x10-10-10)	45 lb
SEPTEMBER				
OCTOBER				
NOVEMBER		2-3 bu.	12 lb(x10-10-10)	45 lb
DECEMBER	RYE RYEGRASS WHEAT	2-3 bu. 40-50 lb. 2-3 bu.	12 lb(x10-10-10) 12 lb(x10-10-10) 12 lb(x10-10-10)	45 lb 45 lb 45 lb

Ds3 PERMANENT GRASSING

PERMANENT SEED	RATE/ACRE	RATES/1,000 SQUARE FEET		
		FERTILIZER	LIME STONE	MAINTENANCE
UNHILLED BERMLUDA SERICIA LEPSEZDA	8-10 lb 30-40 lb	12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10)
UNHILLED BERMLUDA SERICIA LEPSEZDA FESQUE	8-10 lb 30-40 lb 30-50 lb	12 lb (10-10-10) 35 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
UNHILLED BERMLUDA SERICIA LEPSEZDA FESQUE	8-10 lb 30-40 lb 30-50 lb	12 lb (10-10-10) 35 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
WEETING LOVERAGSS HUILLED BERMLUDA BAHIA	4-6 lb 5-6 lb 40-60 lb	12 lb (10-10-10) 12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
WEETING LOVERAGSS HUILLED BERMLUDA BAHIA	4-6 lb 5-6 lb 40-60 lb	12 lb (10-10-10) 12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
WEETING LOVERAGSS HUILLED BERMLUDA BAHIA	4-6 lb 5-6 lb 40-60 lb	12 lb (10-10-10) 12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
WEETING LOVERAGSS SUNOW TOP MILLET	4-6 lb 35 lb 40-60 lb	12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10)
UNHILLED BERMLUDA SERICIA LEPSEZDA FESQUE	8-10 lb 30-40 lb 30-50 lb	12 lb (10-10-10) 35 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
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1. AS-BUILT WATER QUALITY CERTIFICATION SHALL BE PROVIDED BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY
2. WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING
3. ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY DEVICES. ALL RUNOFF FROM ROOF DRAIN SHALL BE DIRECTED TO THE WATER QUALITY BMP.
4. OVERFLOW FROM WATER QUALITY BMP SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES

GRADING NOTE:
NO GRADING IS BEING PROPOSED
AS PART OF THIS PLAN



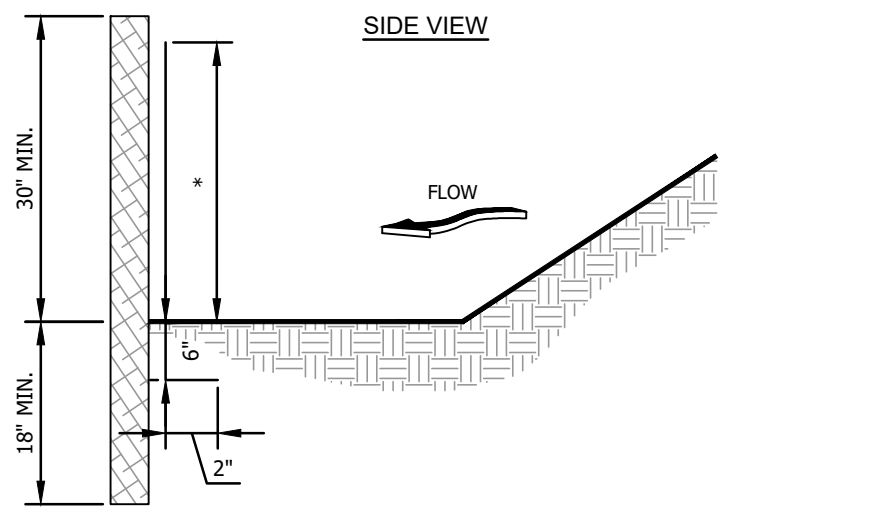
VICINITY MAP (N.T.S.)

—C—C—C—	LIMITS OF DISTURBANCE
—C-TF—C-TF—	L.O.D. AND TREE SAVE FENCE
—X—X—X—	SILT FENCE SINGLE ROW
—XX—XX—	SILT FENCE DOUBLE ROW
—C—C—C—	CRITICAL ROOT ZONE

EXISTING IMPERVIOUS AREAS	
HOUSE	1,233 SF
CARPORT*	205 SF
PORCH*	22 SF
DECK	150 SF
WALKWAY	130 SF
DRIVEWAY	485 SF
TOTAL EXISTING IMPERVIOUS AREA	2,225 SF

PROPOSED IMPERVIOUS AREAS	
ENCLOSED HOUSE	
ADDITION	233 SF
ORIEL	18 SF
PORCH	35 SF
TOTAL PROPOSED IMPERVIOUS AREA	286 SF
TOTAL POST-CONSTRUCTION IMPERVIOUS AREA:	
2.284 SF OR 0.052 ACRES	
% IMPERVIOUS OVERALL LOT COVERAGE: 23.4%	

Sd1-NS SILT FENCE - TYPE NON-SENSITIVE
N.T.S.



NOTES:

1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.



NOTES: -USE EXISTING
LINER

DESIGNATE WASHDOWN AREA AND EXCAVATE PIT LARGE ENOUGH TO CONTAIN WASHDOWN WATER. THIS MUST BE AWAY FROM STORM DRAINS AND WATERWAYS.

ADVISE CONCRETE TRUCK DRIVERS OF THE DESIGNATED WASH-OUT AREAS BEFORE THEY START THE JOB.

WASHDOWN CHUTE, HOPPER, AND REAR OF VEHICLE ONLY. DO NOT WASH OUT DRUM

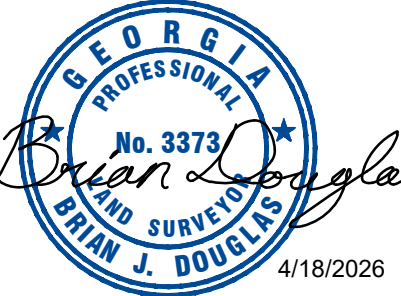
ENSURE THAT ALL WASHDOWN WATER STAYS IN PIT.

DISPOSE OF SETTLED, HARDENED CONCRETE IN GARBAGE WITH OTHER CONSTRUCTION DEBRIS.

NEVER DISPOSE OF WASHDOWN WATER IN STREETS, STORM DRAINS, OR STREAMS.

1. OWNER/BUILDER:
WINDSOR DEVELOPMENT GROUP
1310 ROCKBRIDGE RD, SUITE G
STONE MOUNTAIN, GA 30087
windsorddevelopmentgrp@gmail.com
404-944-8993
2. 24 HOUR EMERGENCY CONTACT:
REVAE DOWNEY
1310 ROCKBRIDGE RD, SUITE G
STONE MOUNTAIN, GA 30087
windsorddevelopmentgrp@gmail.com
404-944-8993
3. DESIGNER/SURVEYOR:
BRIAN DOUGLAS, CA RPL# 58 3373
950 EAGLES LANDING PKWY
STOCKBRIDGE, GA 30281
PH. 470-580-4397
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE PROJECT DESIGNER FOR JUSTIFICATION AND/or CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED. ALL DIMENSIONS SHOULD BE CALCULATED OR READ.
5. THE CONTRACTOR SHALL COORDINATE ANY AND ALL UTILITY RELOCATION WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF ANY UTILITY WORK.
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9. BUILDER TO PROVIDE 5% SLOPE AWAY FROM HOUSE FOR DRAINAGE PURPOSES.
10. ANY REVISIONS THAT WERE NOT DONE UNDER THE SUPERVISION OF THE ENGINEER OF RECORD WILL VOID THE CERTIFICATION OF THIS DOCUMENT.

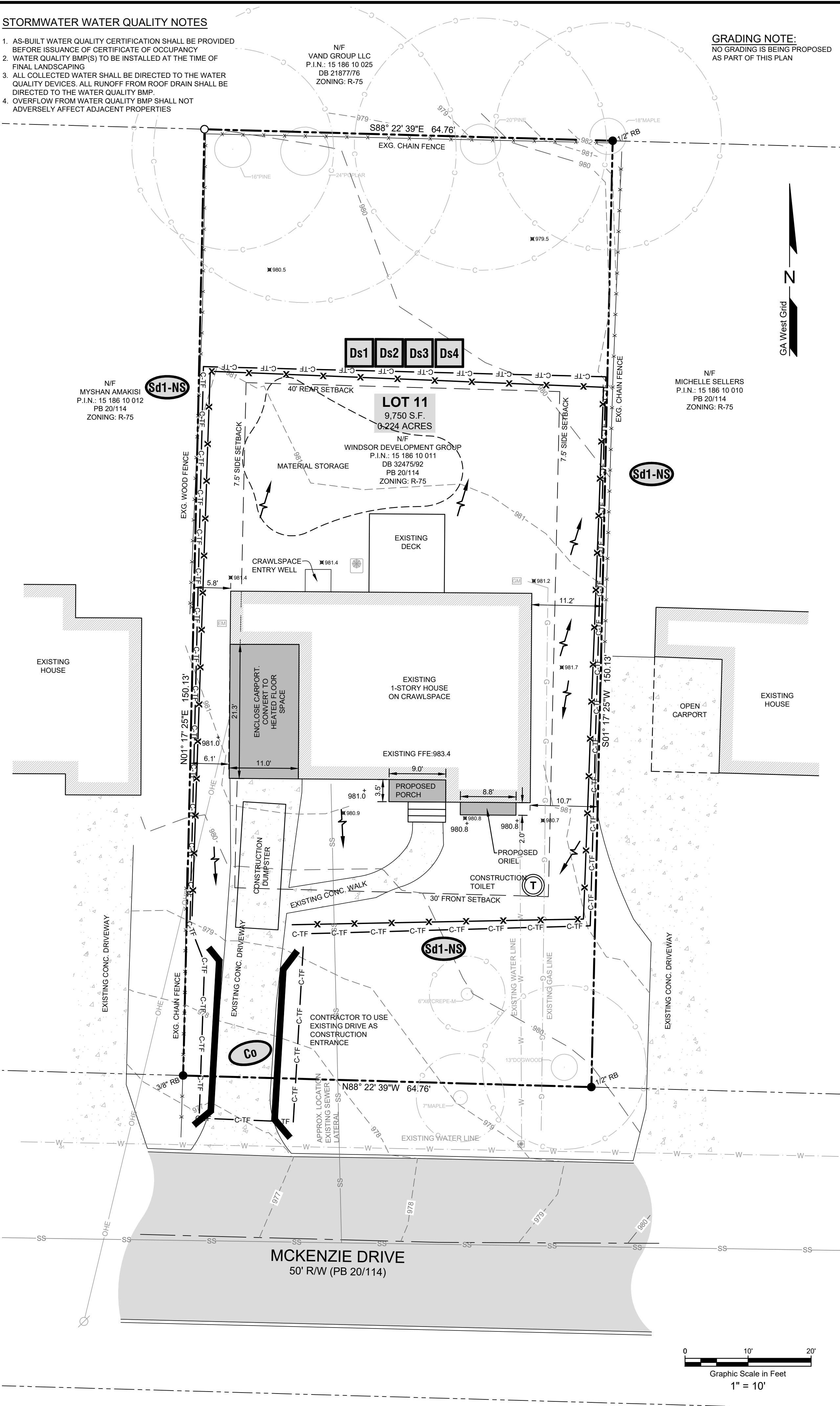
I, BRIAN J. DOUGLAS, CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.



Brian J. Douglas
Level II Certified Design Professional

Certification Number 0000088319

Issued: 02/26/2023 Expires: 02/26/2029



SITE DATA

1766 McKenzie Dr, Decatur, GA 30032

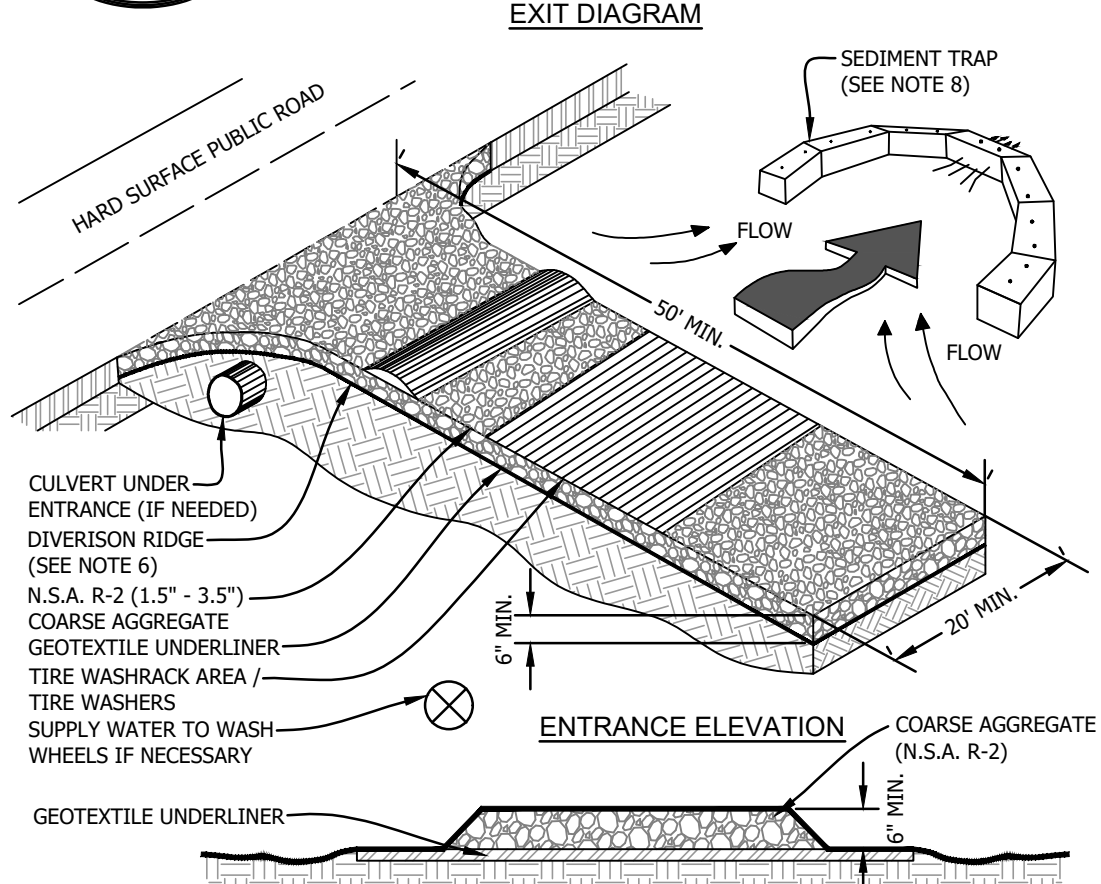
TAX PARCEL ID: 15 186 10 011

DEKALB COUNTY, GEORGIA
R-75 - RESIDENTIAL DISTRICT
MAX. LOT COVERAGE: 35%
MAX. BLDG. HEIGHT: 30'
SETBACKS:
FRONT: 30 FEET (LOCAL STREET)
SIDE: 7.5 FEET
REAR: 40 FEET

TOTAL SITE AREA = 9,750 SF OR 0.224 AC
TOTAL DIVIDED AREA = 8.150 SF OR 0.184 AC
PROPOSED NEW IMPEVIOUS AREA = ±286 SF
TOTAL IMPEVIOUS: 284 SF
PERCENT IMPEVIOUS: 23.44%
PERCENT LOT COVERAGE: 2,284 SF / 9,750 SF = 23.44%
CUT VOLUME: 0 C.Y.
FILL VOLUME: 0 C.Y.

SOURCE OF BOUNDARY: FINAL PLAT OF COLUMBIA
MANOR SUBDIVISION
(P# 20, PG 114)
SOURCE OF TOPOGRAPHY: SURVEY BY P.L.S.
TOPOGRAPHIC DATA
DATUM: MEAN SEA LEVEL

EXIT DIAGRAM



NOTES:

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHALL BE 10 FEET MINIMUM TO ALLOW FOR VEHICULAR EGRESS, BUT NO LESS THAN 2'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROPRIATE TRAP/SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL, SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. WHEN WASHING IS REQUIRED, THE WASHING SHOULD BE DONE IN A DEDICATED FLOW-AROUND RIDGE OF WAYS. THIS MAY REQUIRE TOP DRESSING, RAMP AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

HOUSE SITE DI VN / ES&PC DI VN.

1766 MCKENZIE DRIVE

PREPARED FOR:
WINDSOR DEVELOPMENT GROUP

PROJECT LOCATION:
AND LOT(s): 186 | DISTRICT: 15th
DEKALB COUNTY | GEORGIA

APRIL 18, 2026



Genesis 22:14(b) - As it is said to this day, "On the mount of the LORD it shall be provided."

PROFESSIONAL SEAL:

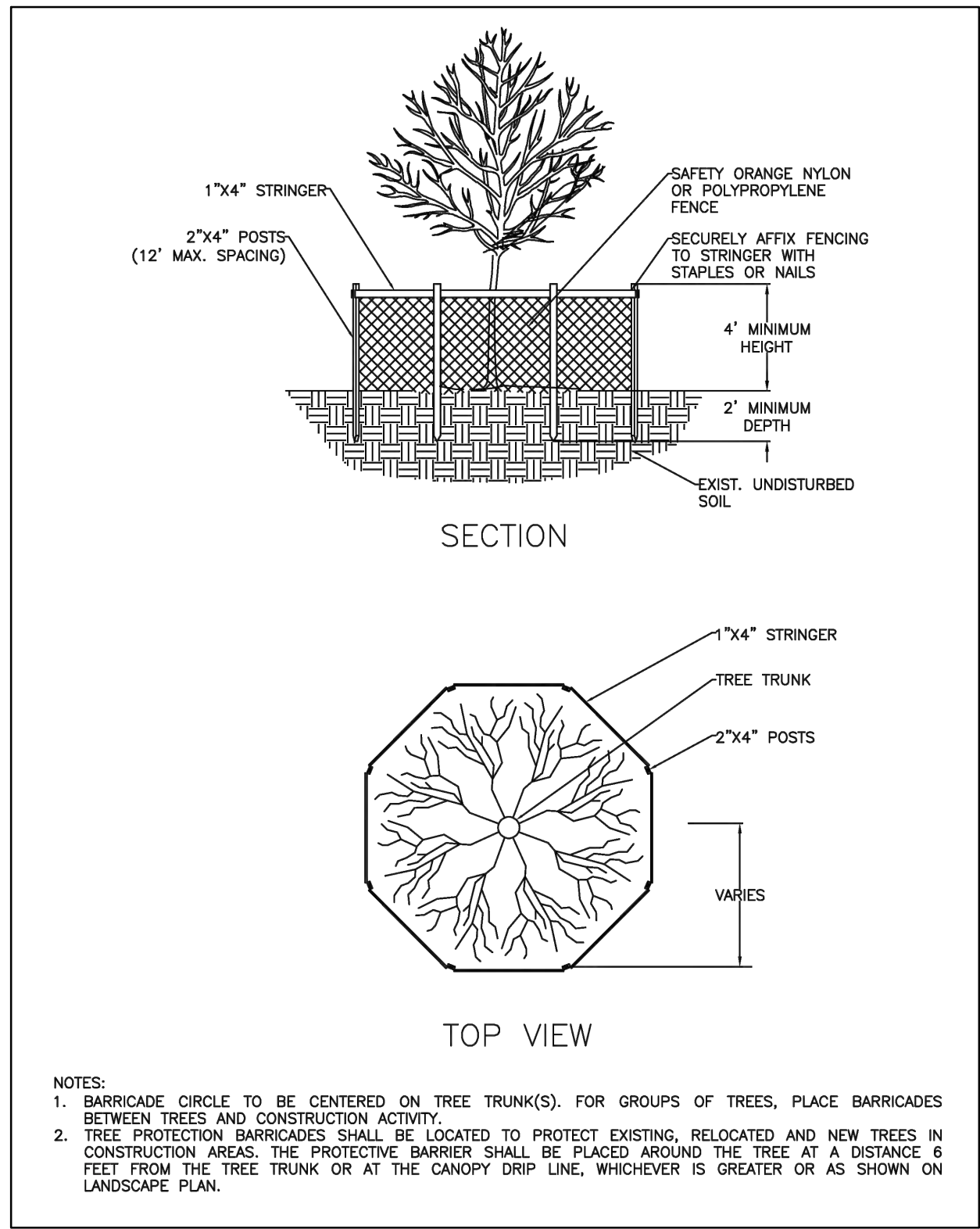


GSWCC LEVEL II NUMBER 88319

PLS PROJECT #: 26-A80

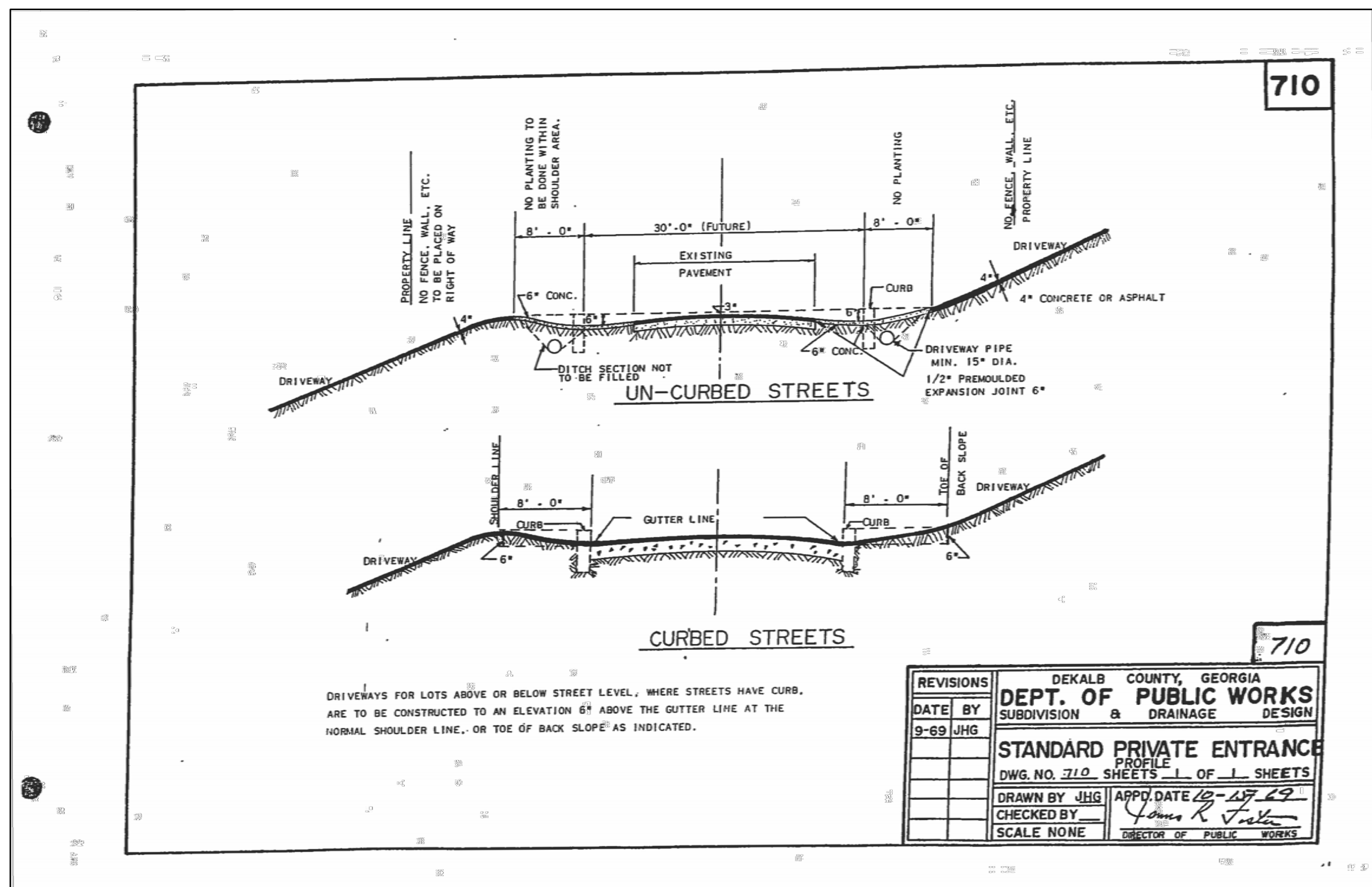
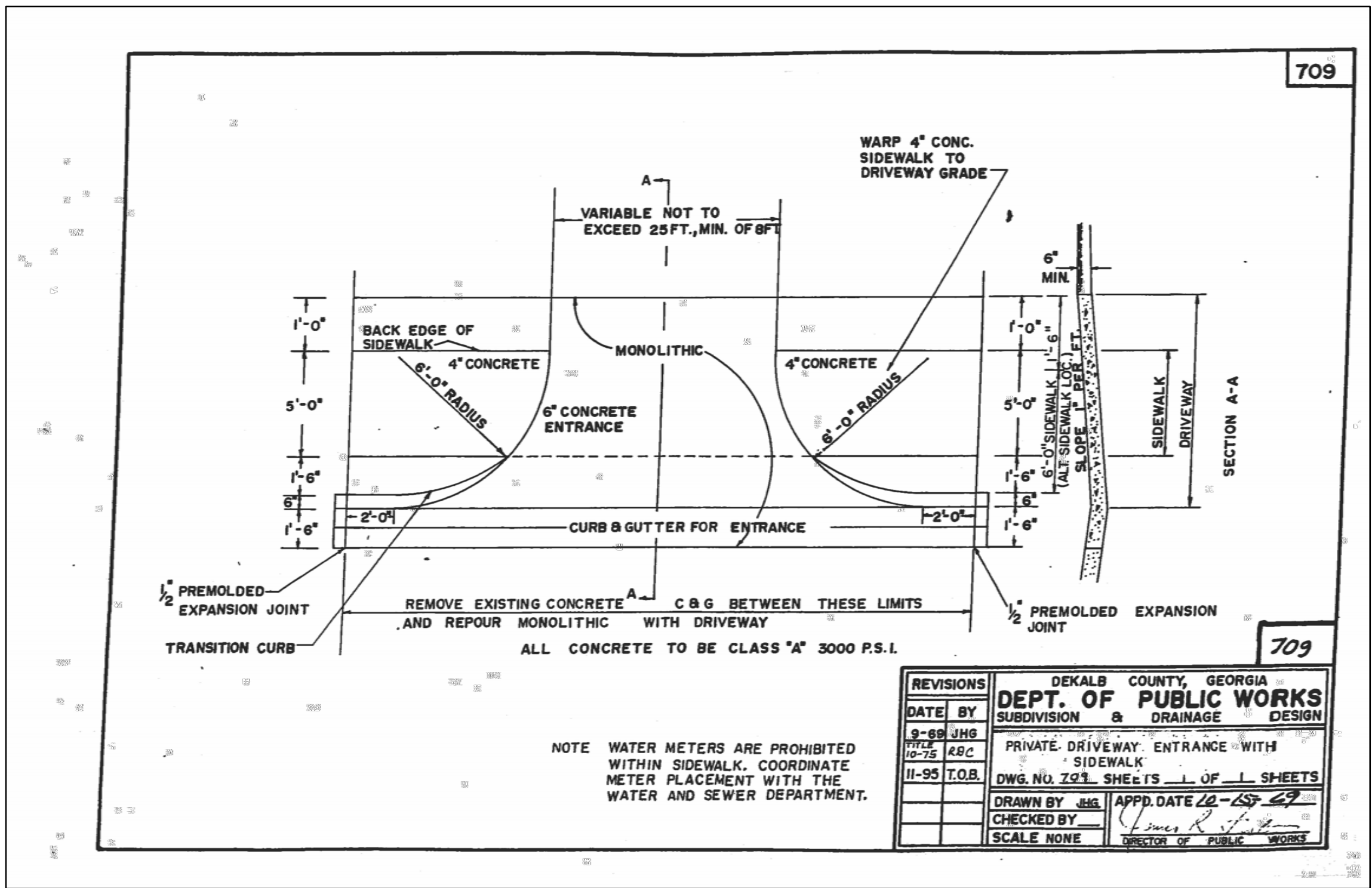
CHECKED BY: BJD
SHEET SIZE: 24"x36" (arch D)

SHEET NUMBER	TOTAL SHEETS
1	4



1. No one **SHALL** encroach, place solvents, building, machinery, building debris or any other material within 6' outside the periphery of the **CRZ** or within any Tree Save Area, transitional buffer zone, stream buffer, or state buffer zone.
2. All Tree Fence and other tree protection devices must remain in functioning condition until completion of the project or until the CO is issued.
3. A tree that is designated to be saved, but is damaged during construction, **SHALL** be replaced with 4" caliper trees equal to the unit value of the tree removed. Any specimen tree damaged **SHALL** be replaced with 4" caliper trees equal to 1.5 times the DBH of the damaged specimen tree.

1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
2. ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOT ZONE (CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
3. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
4. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS (CRZ).
5. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.



DATE

REVISION

DETAILS & CALCULATIONS:

1766 MCKENZIE DRIVE

PREPARED FOR:
WINDSOR DEVELOPMENT GROUP

PROJECT LOCATION:
LAND LOT(S): 186 | DISTRICT: 15th
DEKALB COUNTY | GEORGIA

APRIL 18, 2026



PROFESSIONAL SEAL:



GSWCC LEVEL II NUMBER 88319

PLS PROJECT #: 26-A80
DRAWN BY: BJD
CHECKED BY: BJD
SHEET SIZE: 24"x36" (arch D)

SHEET NUMBER	TOTAL SHEETS
1	4

INTERIOR REMODELING
1766 McKenzie Dr, PROJECT
1766 McKenzie Dr, Decatur GA, 30033
RELEASED FOR CONSTRUCTION 04.27.2026

SCOPE OF WORK

Interior remodeling adding the carport area to heated area and installing 2 LVL for open concept.
New master bathroom and half bathroom.
New decking and handrails for existing back deck.

# STORIES	1.0	LOT SIZE (SF)	9,583
# ROOMS	3.0	EXISTING HEATED AREA (SF)	1187,07
# BATHS	2.5	CARPORT (SF)	208,32
# KITCHEN	1.0	NEW HEATED AREA (SF)	1438,41
EXTERIOR FINISH	BRICK AND SIDING	DECK (SF)	150,00
ROOF FINISH	SHINGLES	ENTRY PORCH (SF)	20,17
BUILDING VALUATION			\$80,000

INDEX OF DRAWINGS

- C-1 COVER SHEET
A-1.0 EXISTING FLOOR PLAN & DEMOLITION PLAN
A-2.0 EXISTING ROOF PLAN
A-3.0 FOUNDATION PLAN
A-4.0 PROPOSED FLOOR PLAN
A-5.0 PROPOSED ROOF PLAN
A-6.0 - EXISTING FRONT ELEVATION
A-7.0 - EXISTING RIGHT ELEVATION
A-8.0 - EXISTING LEFT ELEVATION
A-9.0 - EXISTING BACK ELEVATION
A-10.0 PROPOSED FRAMING PLAN
A-11.0 FRAMING ROOF PLAN
A-12.0 PROPOSED ELECTRICAL FLOOR PLAN
A-13.0 DETAILS
- PROPOSED FRONT ELEVATION
- PROPOSED RIGHT ELEVATION
- PROPOSED LEFT ELEVATION
- PROPOSED BACK ELEVATION

CODE COMPLIANCE INFORMATION

- 2026 Georgia Amendments to the 2023 National Electric Code (NEC).
- 2024 International Residential Code (IRC) with Amendments 2026.
- 2024 International Building Code (IBC) with Amendments 2026.
- 2024 International Fire Code (IFC)
- 2023 National Electric Code (NEC) with Amendments 2026.
- 2024 International Fuel Gas Code (IFGC) with Amendments 2026.
- 2024 International Mechanical Code (IMC) with Amendments 2026.
- 2024 International Plumbing Code (IPC) with Amendments 2026.

OWNER OF RECORD

Windsor Development Group, LLC

Michelle, Shanelle, and Revae Downey

Phone number: 404 944 8993

windsordevelopmentgrp@gmail.com

PROJECT TEAM

GENERAL CONTRACTOR

ESTEBAN MOSQUERA
786 342 4348
emosquera@3buildersgeorgia.com

PERMIT AGENT

SANTIAGO MOSQUERA
770 508 4848
smosquera@3buildersgeorgia.com

DRAWN BY:

LMLB

SHEET:

C-1.0

DATE::

April 27th, 2026

SCALE:

1 / 2" = 1' - 0"

SHEET TITLE:

COVER SHEET

RELEASED FOR CONSTRUCTION

PROJECT NAME & ADDRESS:

1766 McKenzie Dr,
Decatur GA, 30033

SCOPE OF WORK:

INTERIOR REMODELING

OSB Design LLC

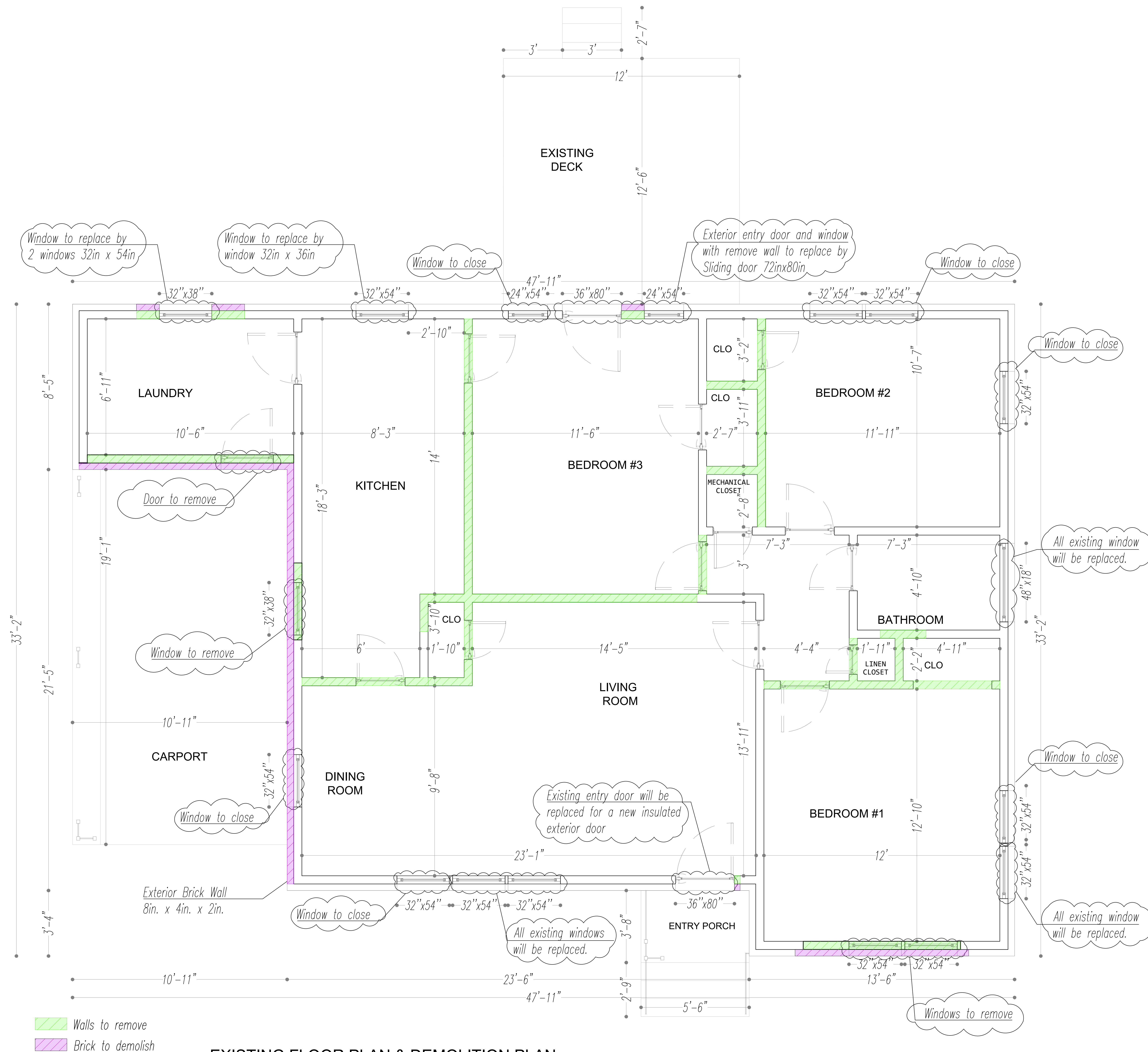
Assumes no liability For any home constructed From this plan. It is the responsibility of the purchaser of this plan to conduct the following before commencing construction.

1. Builder or contractor must verify all dimensions, structural requirements, and specifications before commencing actual construction.
2. Builder or contractor must verify compliance with all local, state and Federal building codes and regulations where the home is to be constructed.
3. Builder or contractor will hire a structural engineer to verify any structural engineering aspects necessary prior to commencing any construction.

Property of Windsor Development Group, LLC

OWNER OF RECORD

Windsor Development Group, LLC
windsordevelopmentgrp@gmail.com
404 944 8993



EXISTING FLOOR PLAN & DEMOLITION PLAN
SCALE 1/2" = 1'-0"

Contact: Santiago Mosquera
ph: 770-508-4848
Email: smosquera@3buildersgeorgia.com

OSB Design LLC

Assumes no liability For any home constructed From this plan.
It is the responsibility of the purchaser of this plan to conduct the
following before commencing construction.

1. Builder or contractor must verify all dimensions, structural requirements, and specifications before commencing actual construction.
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Property of
Windsor Development Group, LLC

PROJECT NAME & ADDRESS:

1766 McKenzie Dr,
Decatur GA, 30033

SHEET TITLE:

EXISTING FLOOR
PLAN &
DEMOLITION
PLAN

RELEASED FOR CONSTRUCTION

DRAWN BY:

LMLB

DATE:

April 27th, 2026

SCALE:

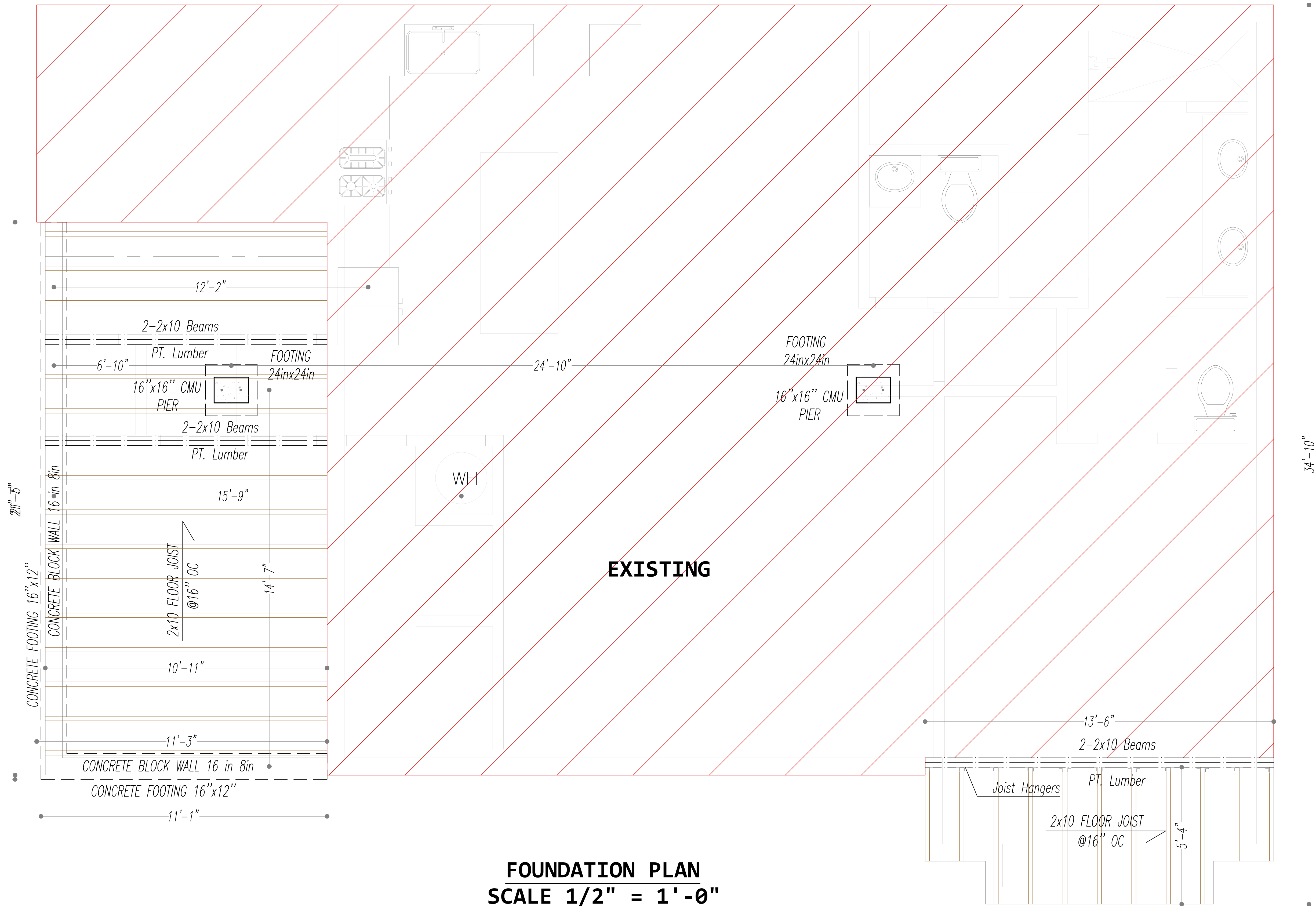
1/2" = 1'-0"

SHEET:

A-1.0



A-2.0



FOUNDATION PLAN
SCALE 1/2" = 1'-0"

PROJECT NAME & ADDRESS:

1766 McKenzie Dr,
Decatur GA, 30033

SHEET TITLE:

FOUNDATION
PLAN

RELEASED FOR CONSTRUCTION

DRAWN BY:

LMLB

DATE::

April 27th, 2026

SCALE:

1/2" = 1'-0"

SHEET:

A-3.0

OSB Design LLC

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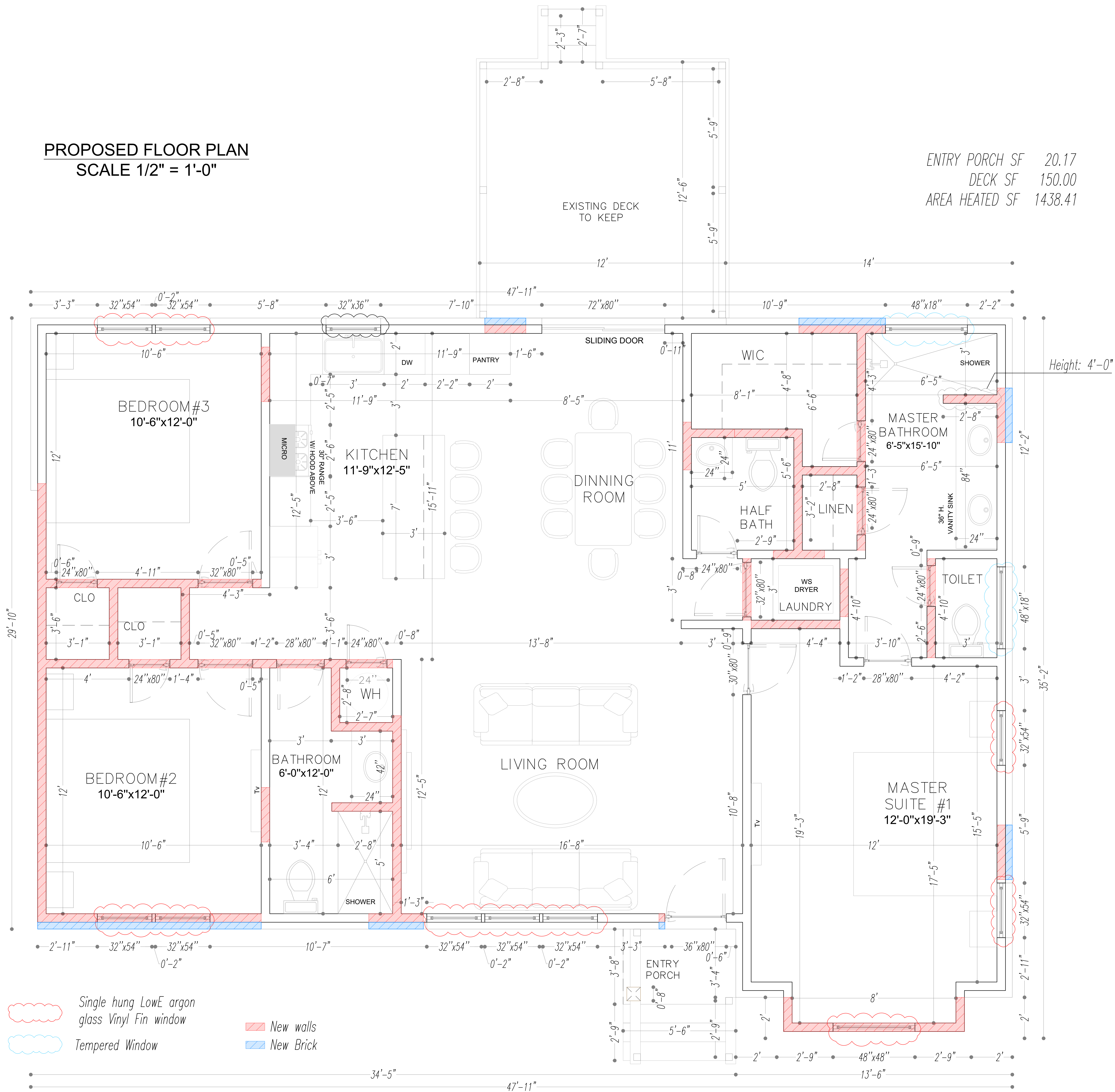
Property of

Windsor Development Group, LLC

Contact: Santiago Mosquera
ph: 770-508-4848
Email: smosquera@3buildersgeorgia.com

PROPOSED FLOOR PLAN
SCALE 1/2" = 1'-0"

ENTRY PORCH SF 20.17
DECK SF 150.00
AREA HEATED SF 1438.41



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Property of
Windsor Development Group, LLC

PROJECT NAME & ADDRESS:

1766 McKenzie Dr,
Decatur GA, 30033

SHEET TITLE:

PROPOSED
FLOOR PLAN

RELEASED FOR CONSTRUCTION

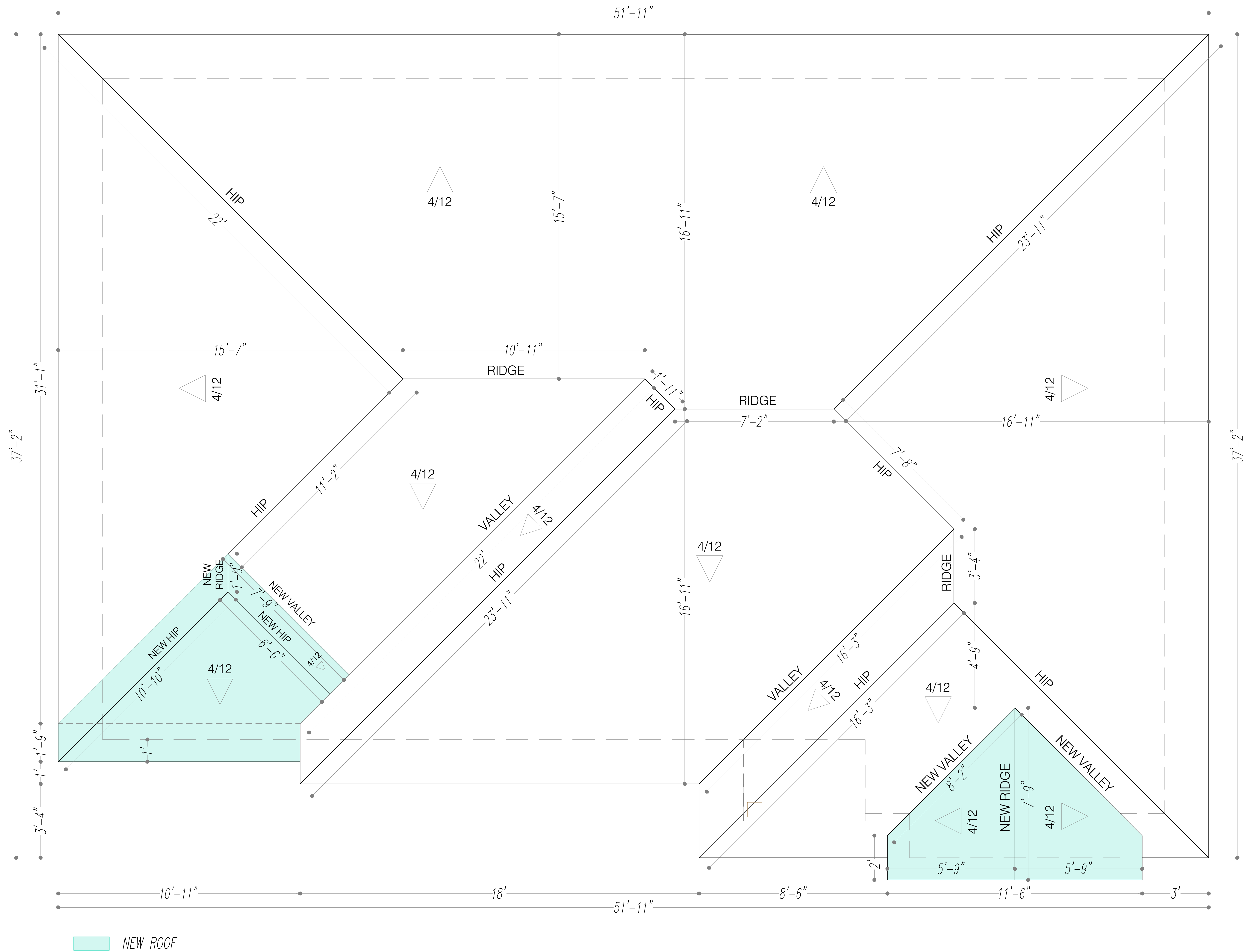
DRAWN BY:
LMLB

DATE:
April 27th, 2026

SCALE:
1/2" = 1'-0"

SHEET:

A-4.0



PROPOSED ROOF PLAN
SCALE 1/2" = 1'-0"

PROJECT NAME & ADDRESS:

1766 McKenzie Dr,
Decatur GA, 30033

SHEET TITLE:

PROPOSED
ROOF PLAN

RELEASED FOR CONSTRUCTION

DRAWN BY: LMLB	SHEET: A-5.0
DATE: April 27th, 2026	
SCALE: 1/2" = 1'-0"	

OSB Design LLC

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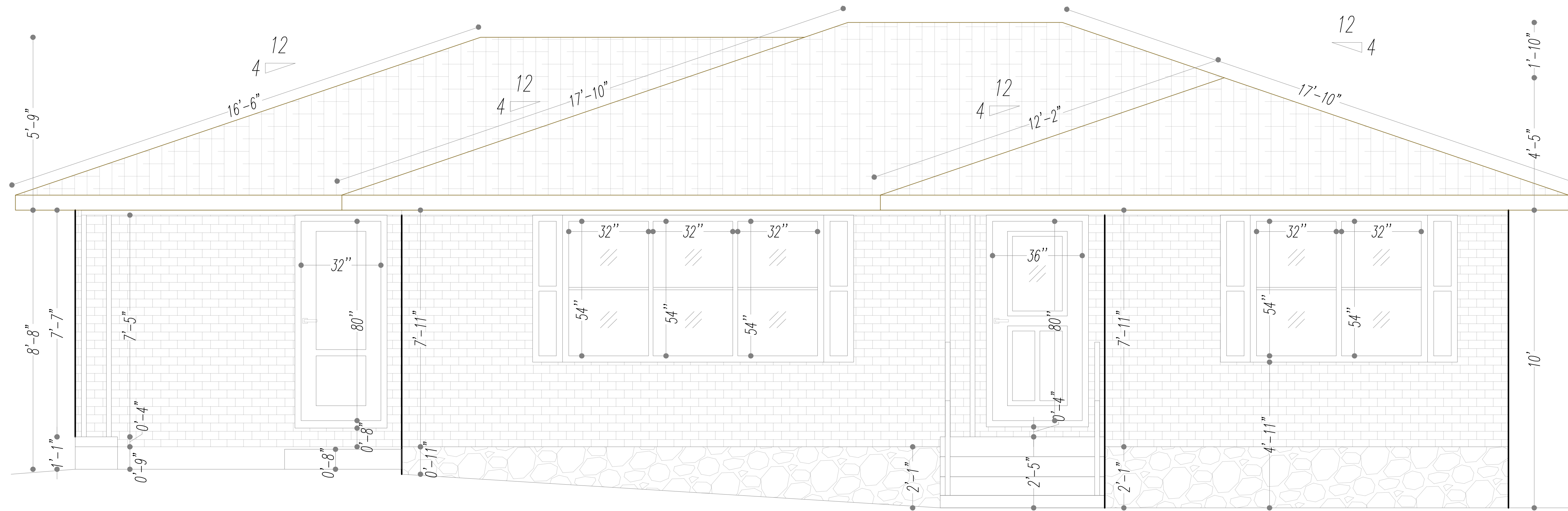
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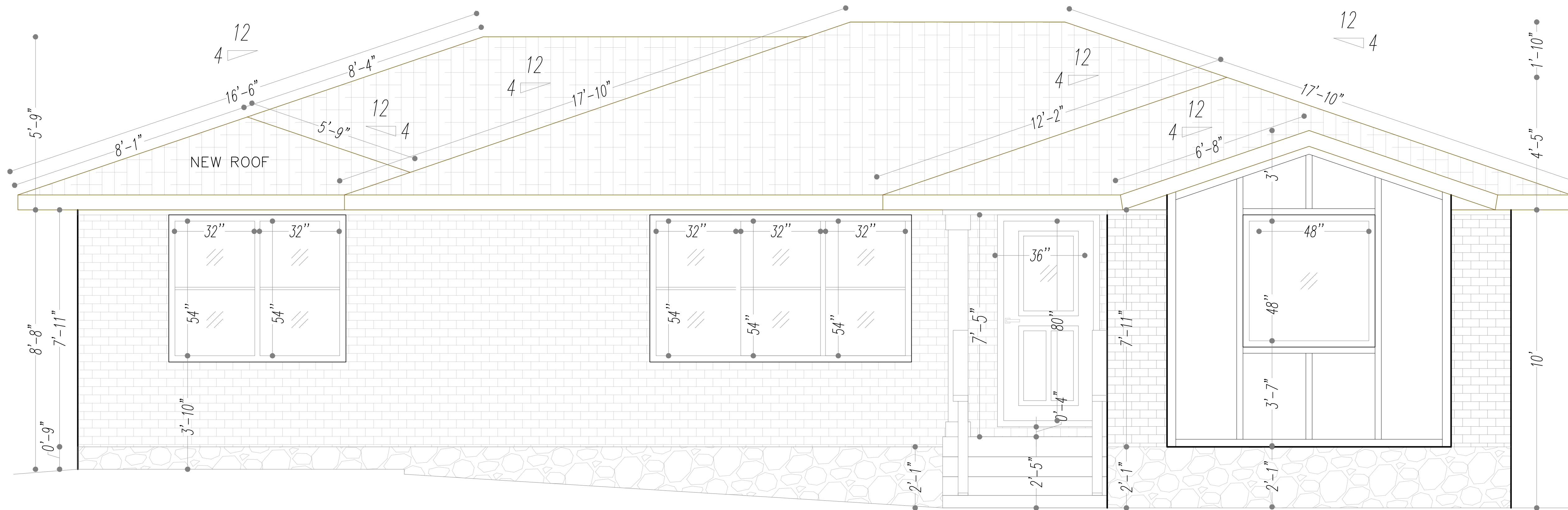
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Property of
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EXISTING FRONT ELEVATION
SCALE 1/2" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE 1/2" = 1'-0"

PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,
Decatur GA, 30033**

SHEET TITLE:

**- EXISTING FRONT
ELEVATION**
**- PROPOSED FRONT
ELEVATION**

RELEASED FOR CONSTRUCTION:

DRAWN BY:

LMLB

DATE::

April 27th, 2026

SCALE:

1/2" = 1'-0"

SHEET:

A-6.0

OSB Design LLC

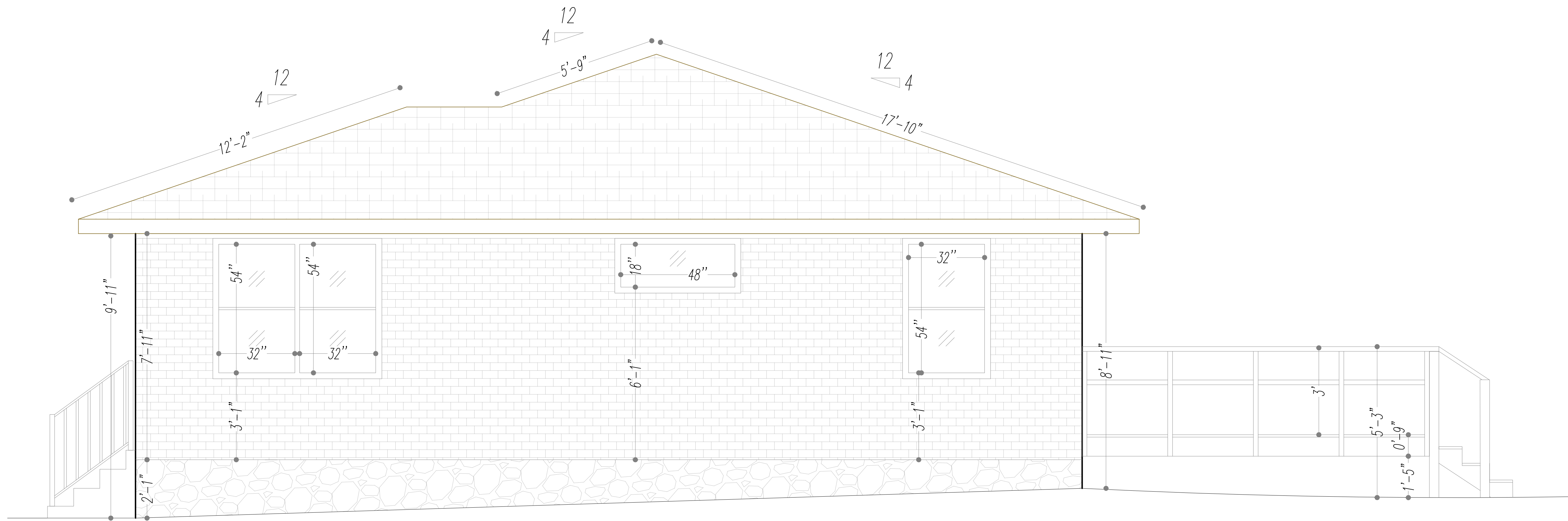
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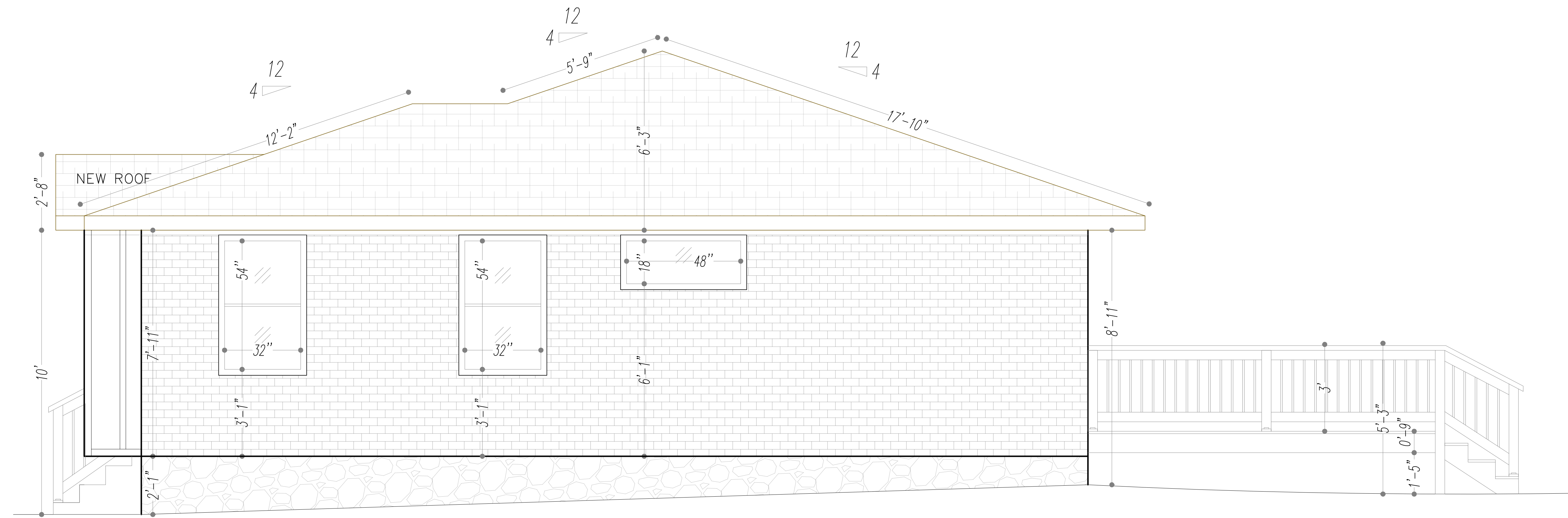
Property of

Windsor Development Group, LLC

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EXISTING RIGHT ELEVATION
SCALE 1/2" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE 1/2" = 1'-0"

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Property of
Windsor Development Group, LLC

PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,
Decatur GA, 30033**

SHEET TITLE:

**- EXISTING RIGHT
ELEVATION**
**- PROPOSED RIGHT
ELEVATION**

RELEASED FOR CONSTRUCTION

DRAWN BY:

LMLB

DATE::

April 27th, 2026

SCALE:

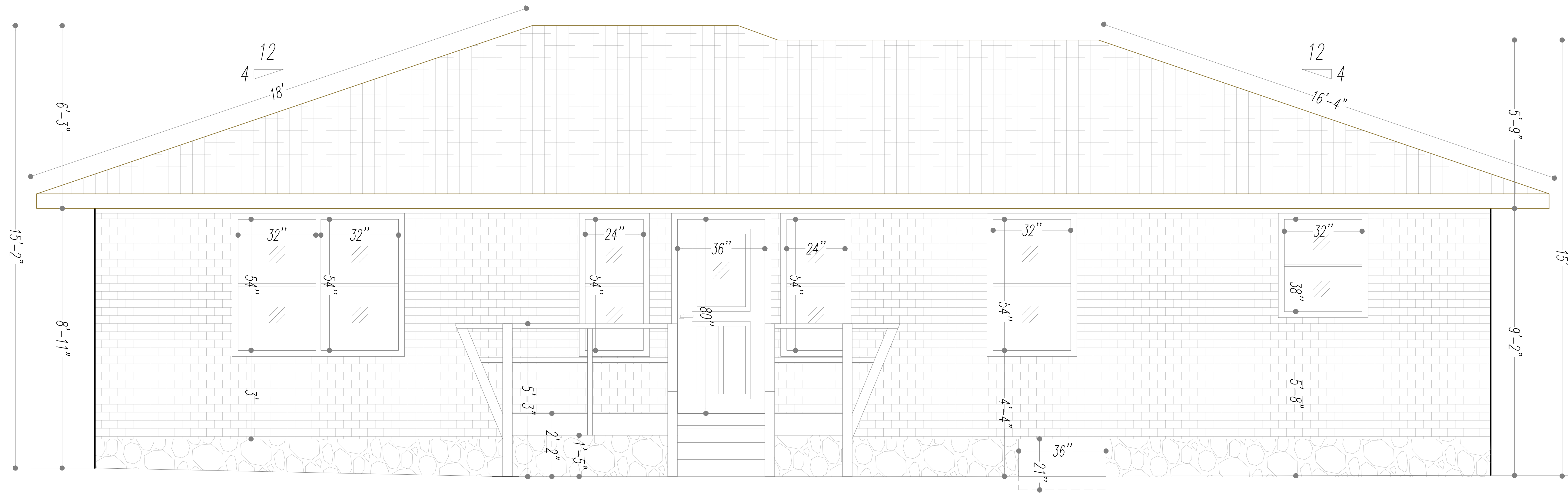
1/2" = 1'-0"

SHEET:

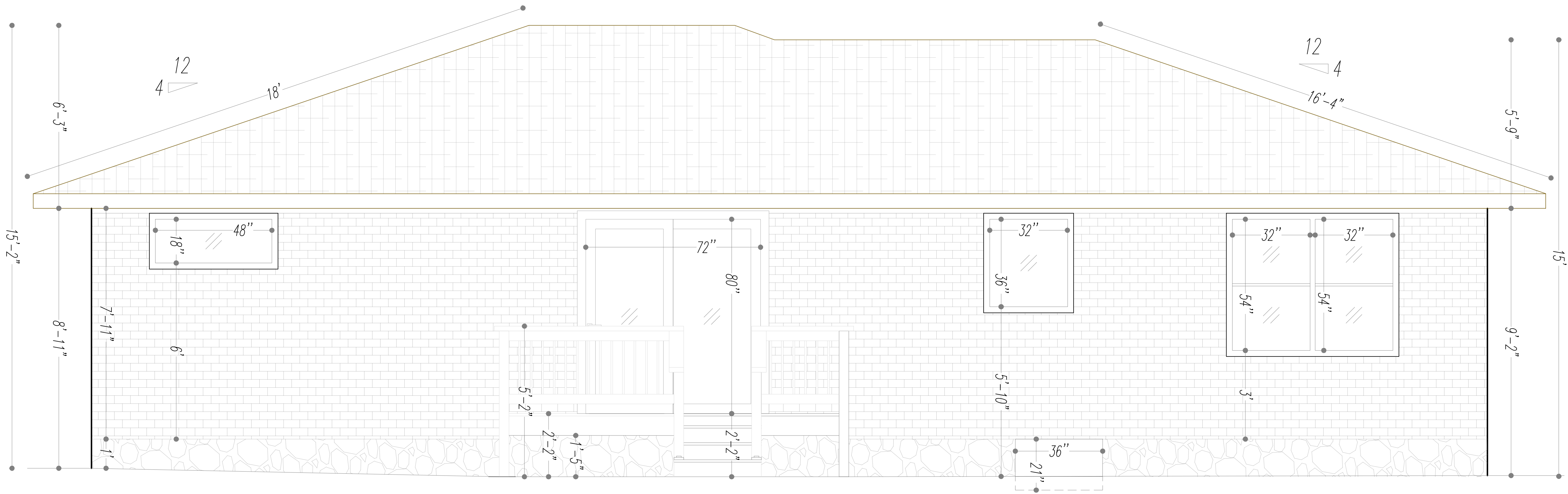
A-7.0



A-8.0



EXISTING BACK ELEVATION
SCALE 1/2" = 1'-0"



PROPOSED BACK ELEVATION
SCALE 1/2" = 1'-0"

PROJECT NAME & ADDRESS:

1766 McKenzie Dr,
Decatur GA, 30033

SHEET TITLE:

- EXISTING BACK
ELEVATION
- PROPOSED BACK
ELEVATION

RELEASED FOR CONSTRUCTION

DRAWN BY:

LMLB

DATE::

April 27th, 2026

SCALE:

1/2" = 1'-0"

SHEET:

A-9.0

OSB Design LLC

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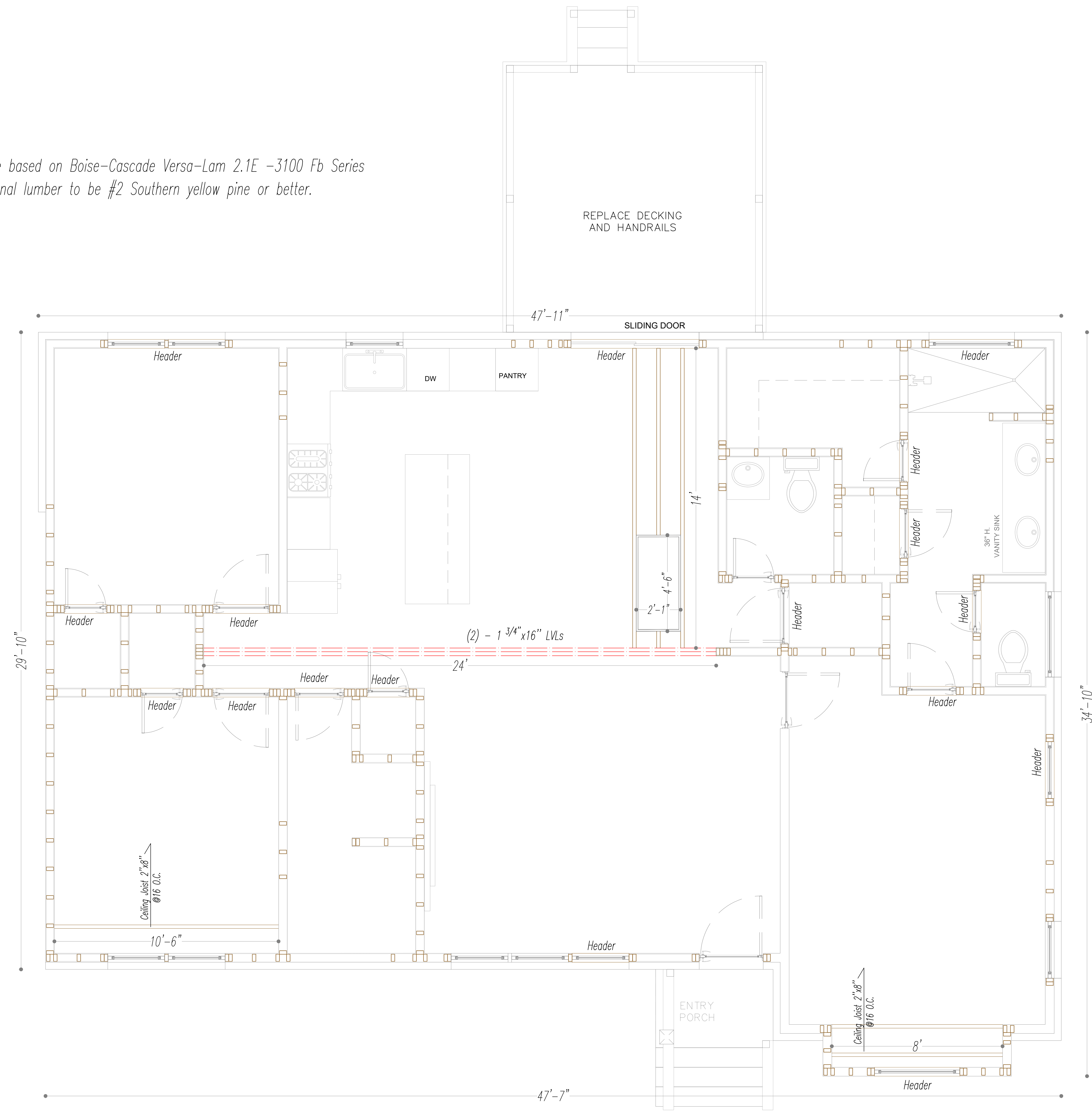
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Email: smosquera@3buildersgeorgia.com

Note:
1. All LVL's are based on Boise-Cascade Versa-Lam 2.1E -3100 Fb Series
2. All dimensional lumber to be #2 Southern yellow pine or better.



PROPOSED FRAMING PLAN
SCALE 1/2" = 1'-0"

Contact: Santiago Mosquera
ph: 770-508-4848
Email: smosquera@3buildersgeorgia.com

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Property of
Windsor Development Group, LLC

PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,
Decatur GA, 30033**

SHEET TITLE:

**PROPOSED
FRAMING PLAN**

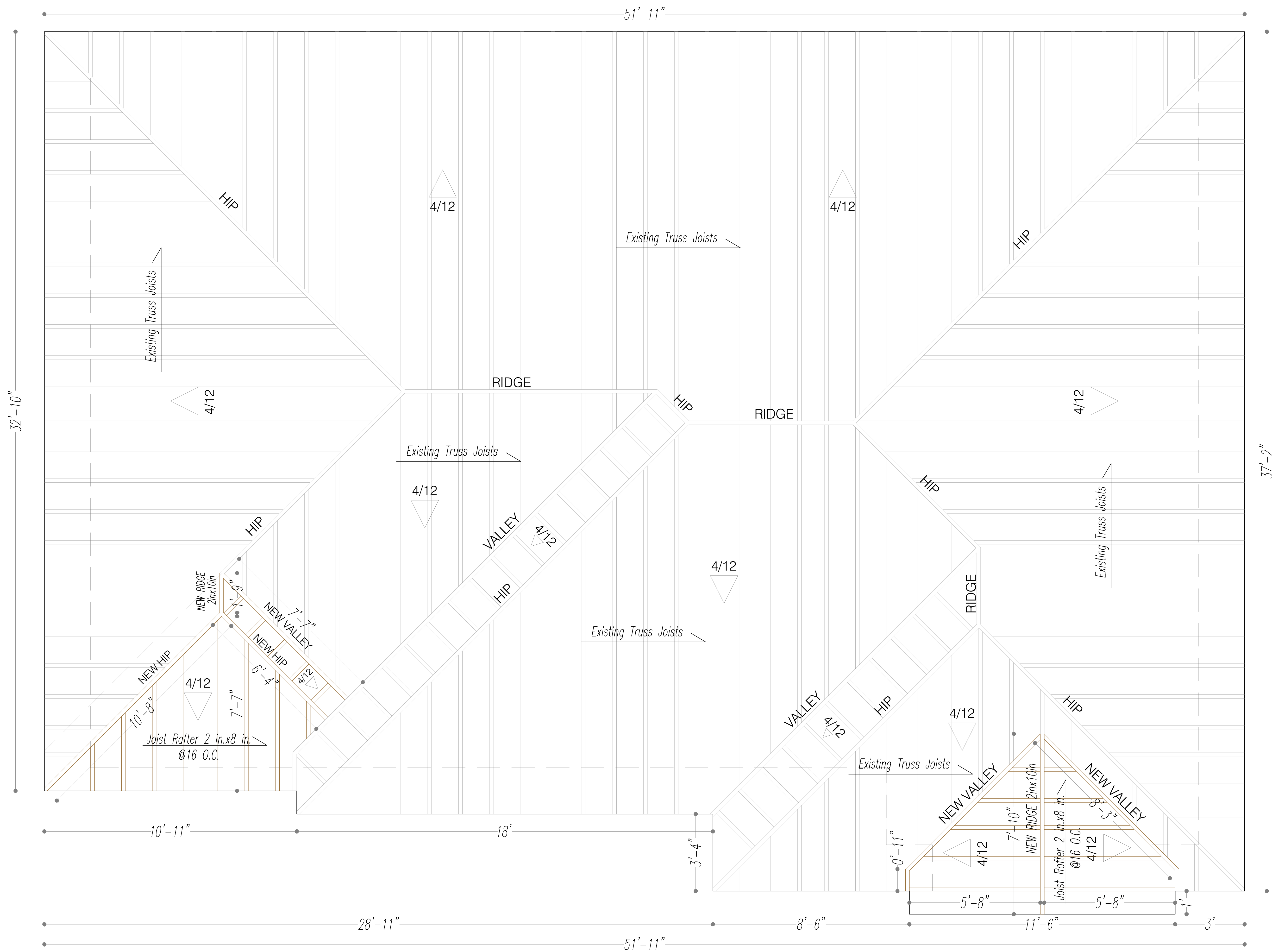
RELEASED FOR CONSTRUCTION

DRAWN BY:
LMLB

DATE:
April 27th, 2026

SCALE:
1/2" = 1'-0"

SHEET:
A-10.0



FRAMING ROOF PLAN
SCALE 3/8" = 1'-0"

PROJECT NAME & ADDRESS:

1766 McKenzie Dr,
Decatur GA, 30033

SHEET TITLE:

FRAMING ROOF
PLAN

RELEASED FOR CONSTRUCTION

DRAWN BY: LMLB	SHEET:
DATE: April 27th, 2026	A-11.0
SCALE: 1/2" = 1'-0"	

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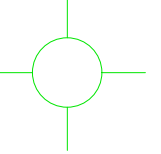
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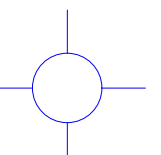
Property of
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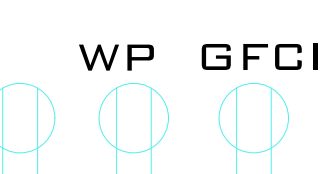
ELECTRICAL LEGEND

SWITCH

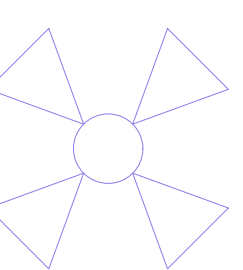
CEILING FIXTURE OUTLET

WALL MOUNT FIXTURE

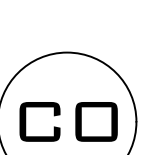
RECESSED DOWN LIGHT

110V RECEPTACLES: DUPLEX, WEATHER PROOF, GFCI

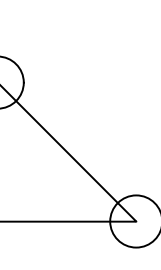
EXHAUST FAN

CEILING FAN

SMOKE DETECTOR

CO SMOKE DETECTOR

ELECTRICAL PANEL

FLOOD LIGHT



PROPOSED ELECTRICAL FLOOR PLAN
SCALE 1/2" = 1'-0"

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Property of
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PROJECT NAME & ADDRESS:
**1766 McKenzie Dr,
Decatur GA, 30033**

SHEET TITLE:
**PROPOSED
ELECTRICAL
FLOOR PLAN**

RELEASED FOR CONSTRUCTION.

DRAWN BY:
LMLB

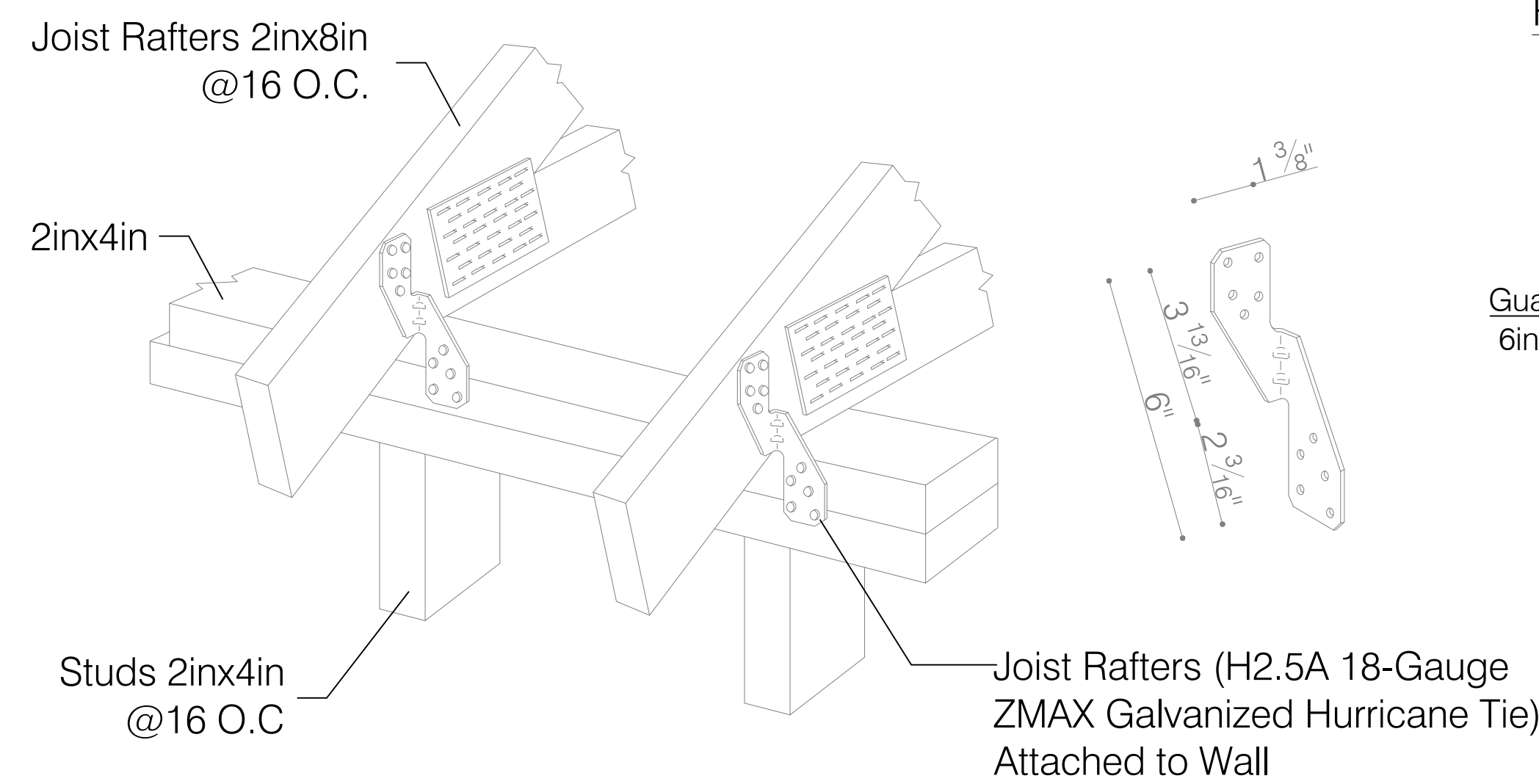
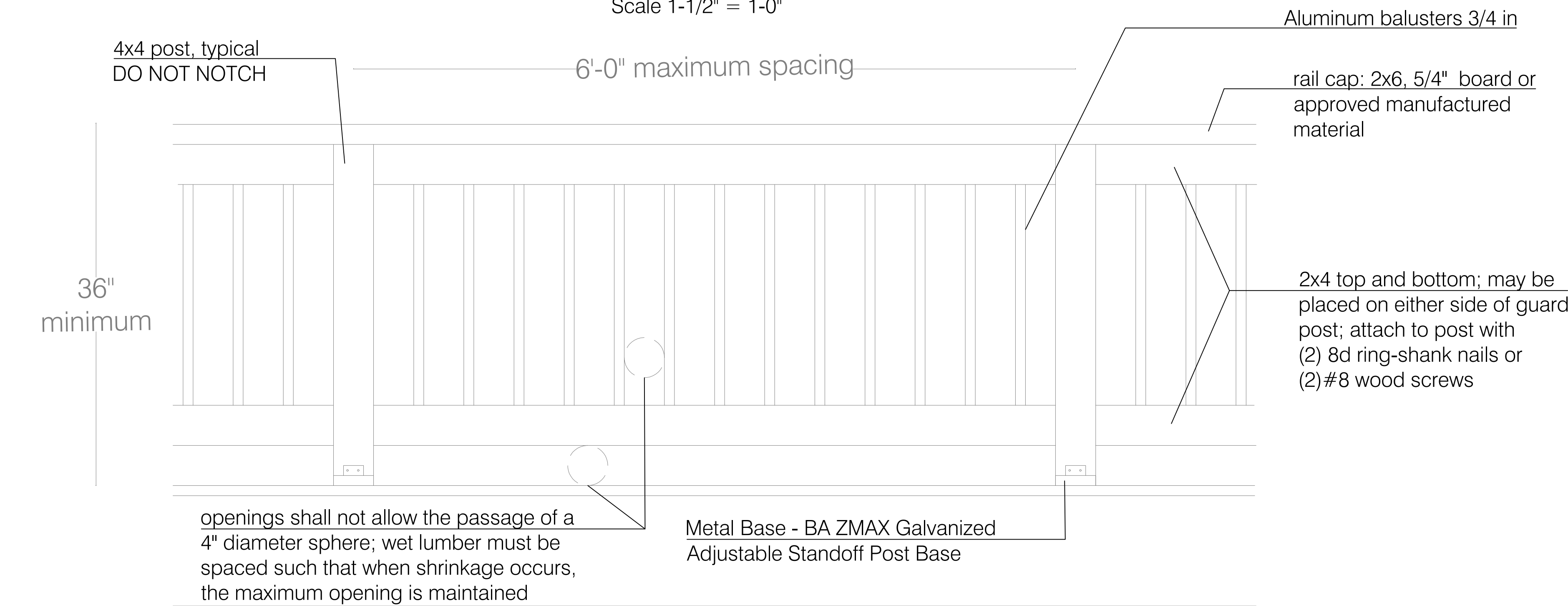
DATE:
April 27th, 2026

SCALE:
1/2" = 1'-0"

SHEET:
A-12.0

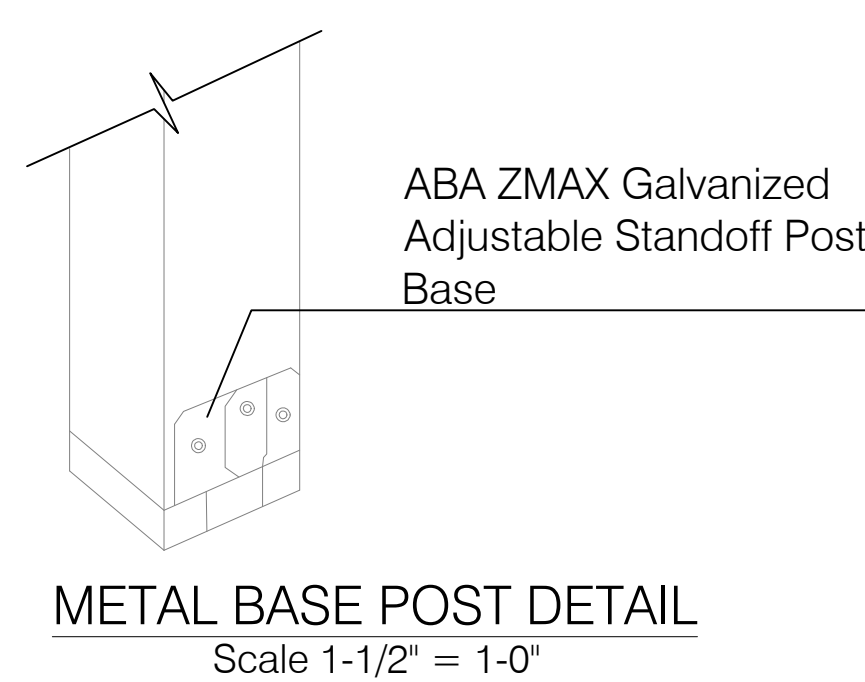
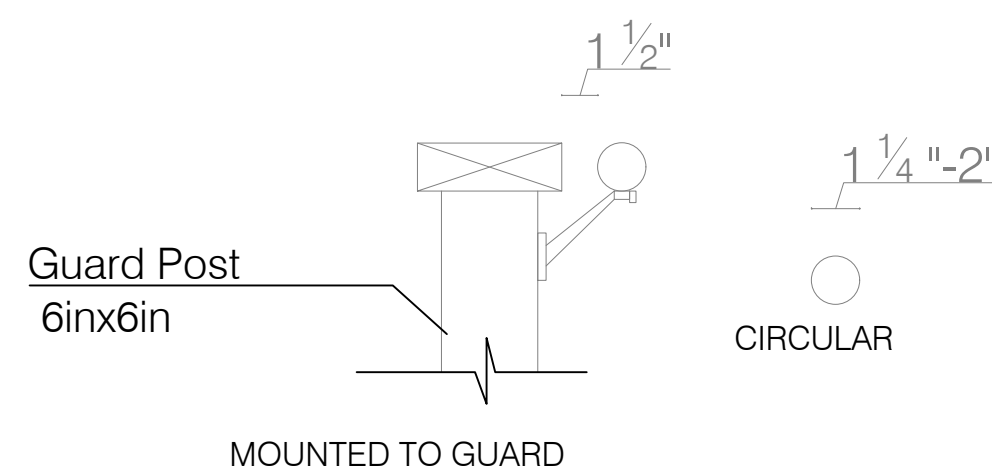
TYPICAL GUARD DETAIL

Scale 1-1/2" = 1-0"



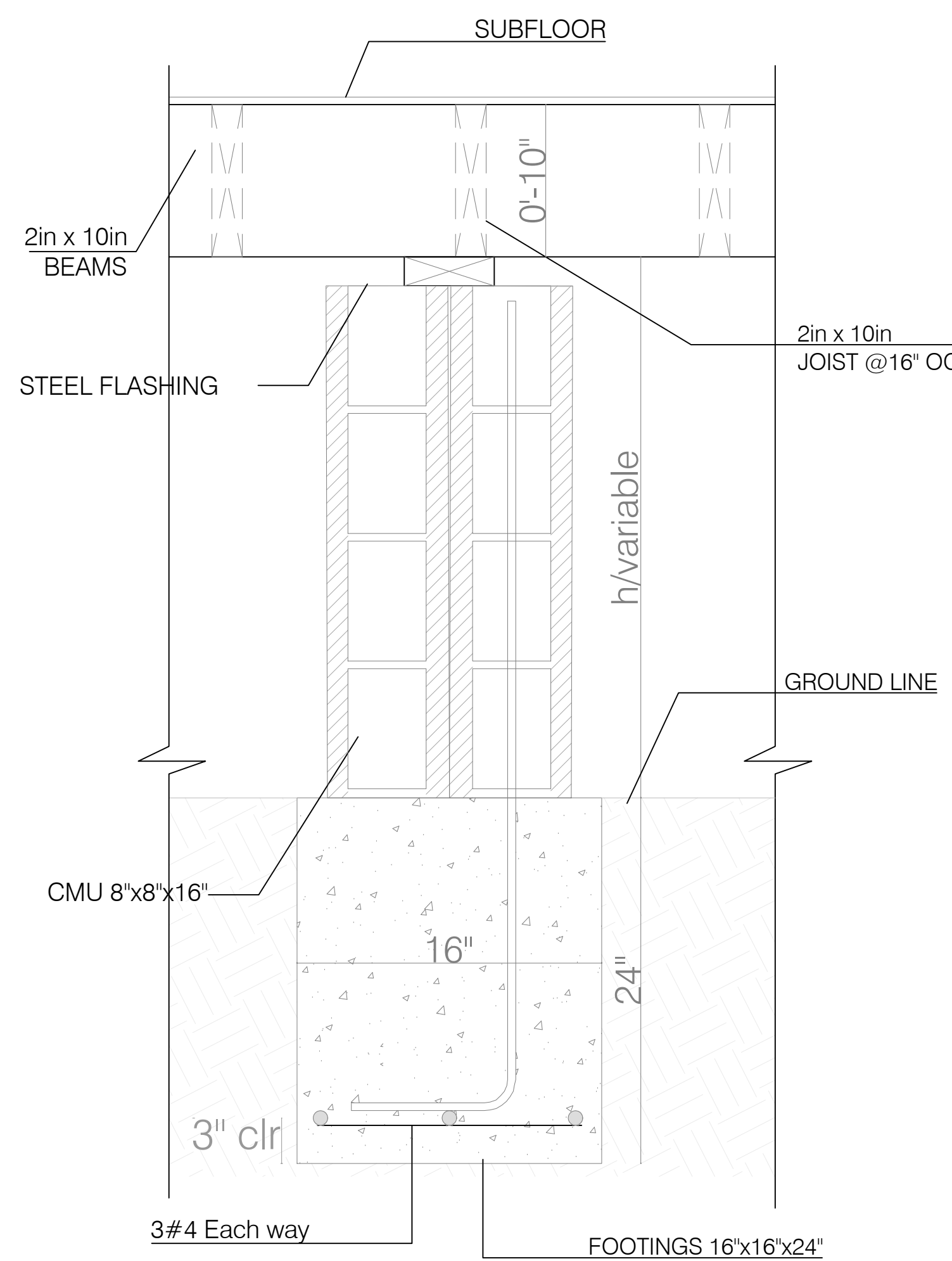
DETAIL 1
Scale 2" = 1-0"

HANDRAIL REQUIREMENTS
Scale 1-1/2" = 1-0"

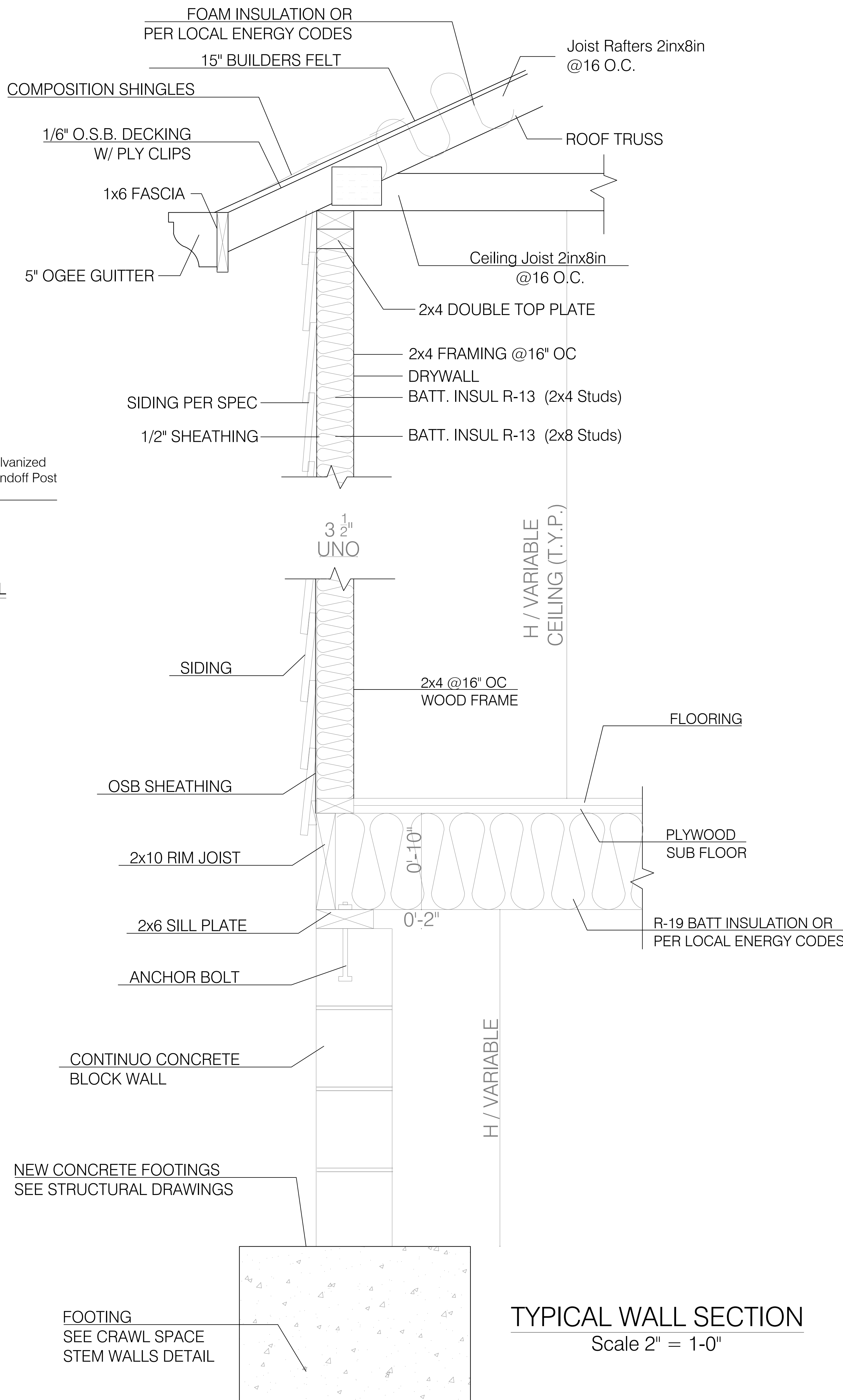


Note:

1. Concrete to be 3.000 PSI (Min)
2. Reinforcing to be grade 60 ASTM A615
3. Minumun allowable Soil bearing pressure to be 2.000 PSF

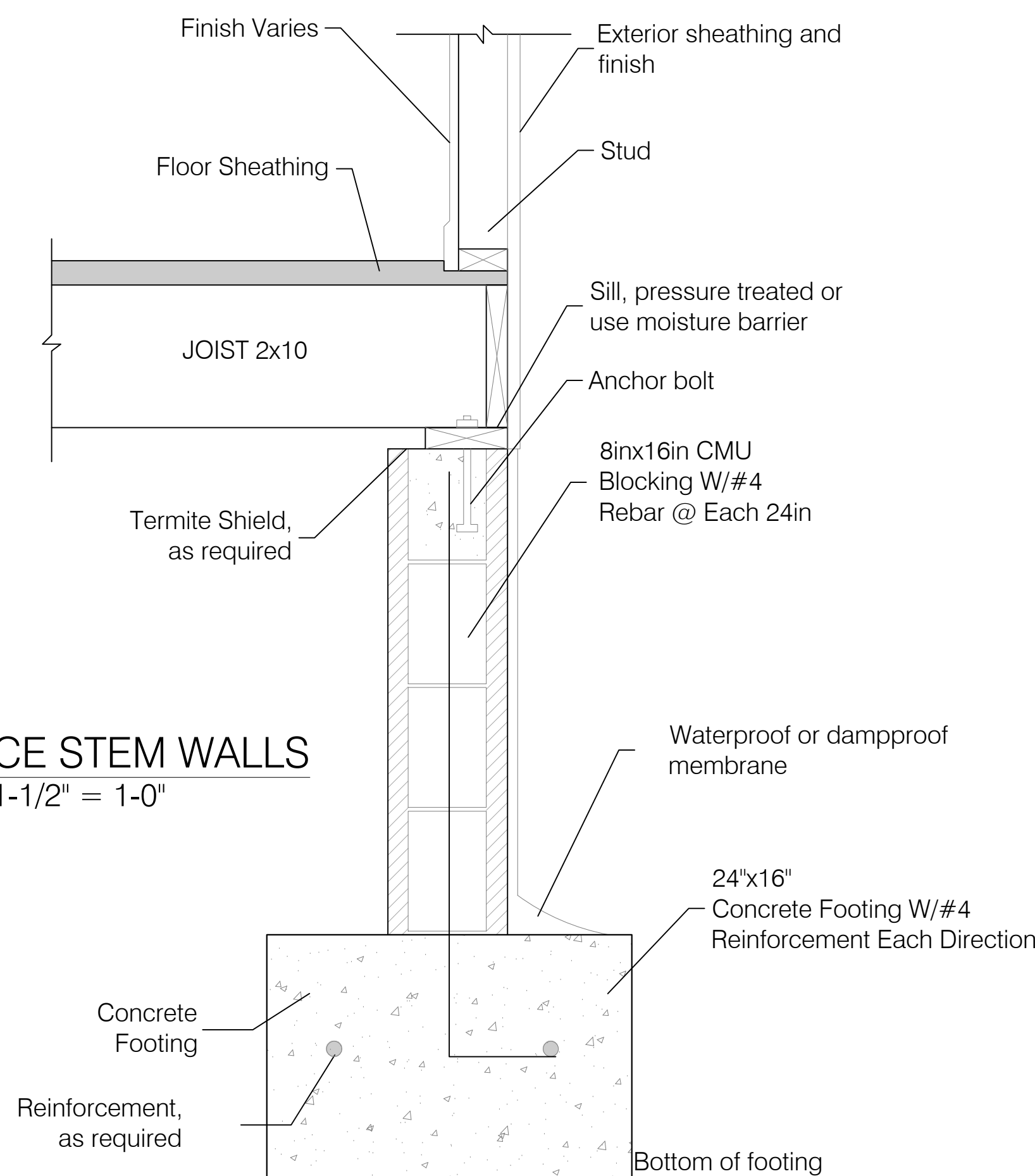


PIER DETAILS
Scale 1-1/2" = 1-0"



TYPICAL WALL SECTION
Scale 2" = 1-0"

CRAWL SPACE STEM WALLS
Scale 1-1/2" = 1-0"



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PROJECT NAME & ADDRESS:

1766 McKenzie Dr,
Decatur GA, 30033

SHEET TITLE:

DETAILS

RELEASED FOR CONSTRUCTION

DRAWN BY:

LMLB

DATE:

April 27th, 2026

SCALE:

INDICATED

SHEET:

A-13.0

Contact: Santiago Mosquera
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