

**ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING
(VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)**

BOA No. _____

Applicant and/or
Authorized Representative Kara Copeland & Elliott Hennington

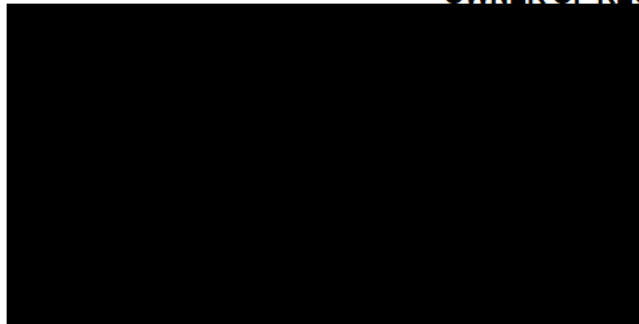
Mailing Address: _____

City/State/Zip Code: _____

Email: _____

Telephone Home _____ Business: _____ Fax No.: _____

OWNER OF RECORD OF SUBJECT PROPERTY



Business: _____ Fax No.: _____

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 439 Booker Avenue City: Scottdale State: GA Zip: 30079

District(s): 04 Land Lot(s): 53/54 Block: 22 Parcel: 18-047-22-007

District(s): _____ Land Lot(s): _____ Block: _____ Parcel: _____

District(s): _____ Land Lot(s): _____ Block: _____ Parcel: _____

Zoning Classification: _____ Commission District & Super District: _____

CIRCLE TYPE OF HEARING REQUESTED

- VARIANCE (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
- OFFICIALS APPEALS OF ADMINISTRATIVE DECISIONS.

TO BE COMPLETED BY PLANNING AND SUSTAINABILITY DEPARTMENT

Date Received: _____

Fee Paid: _____

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

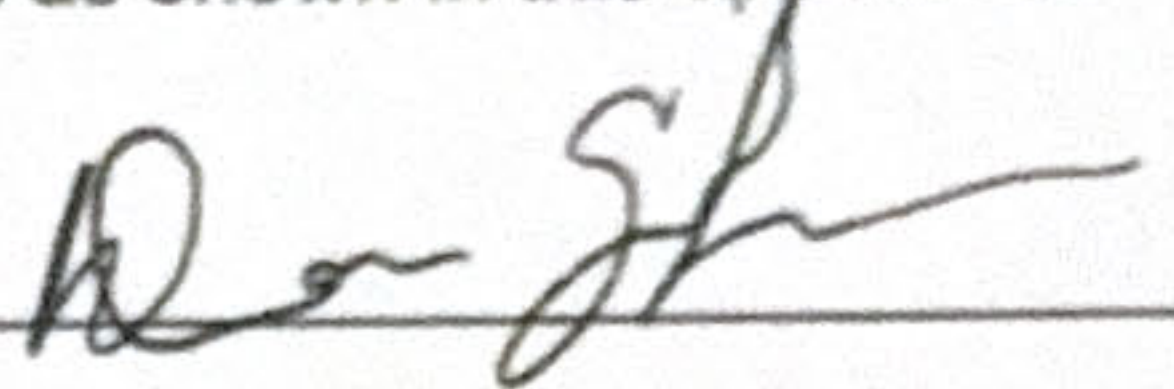
I hereby authorize the staff and members of the Zoning Board of Appeals
to inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning
Board of Appeals for the requests as shown in this application

DATE: 01/09/2025

Applicant/Agent:
Signature



TO WHOM IT MAY CONCERN:

(I)/ (WE) David Shanks, Lion Hardwood Floors LLC
(Name of Owners)

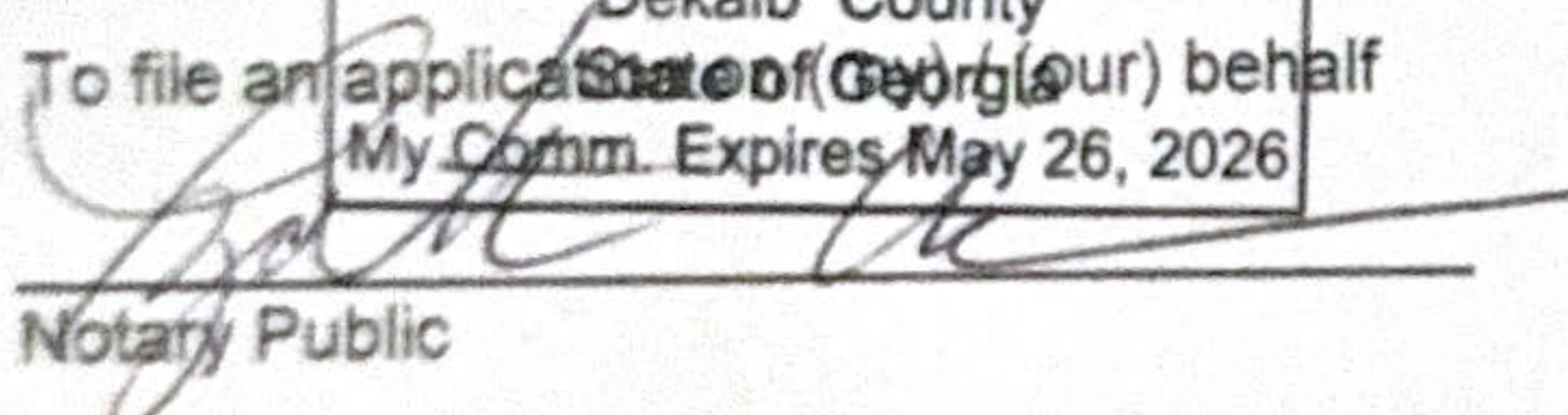
being (owner/owners) of the property described below or attached hereby delegate authority to:

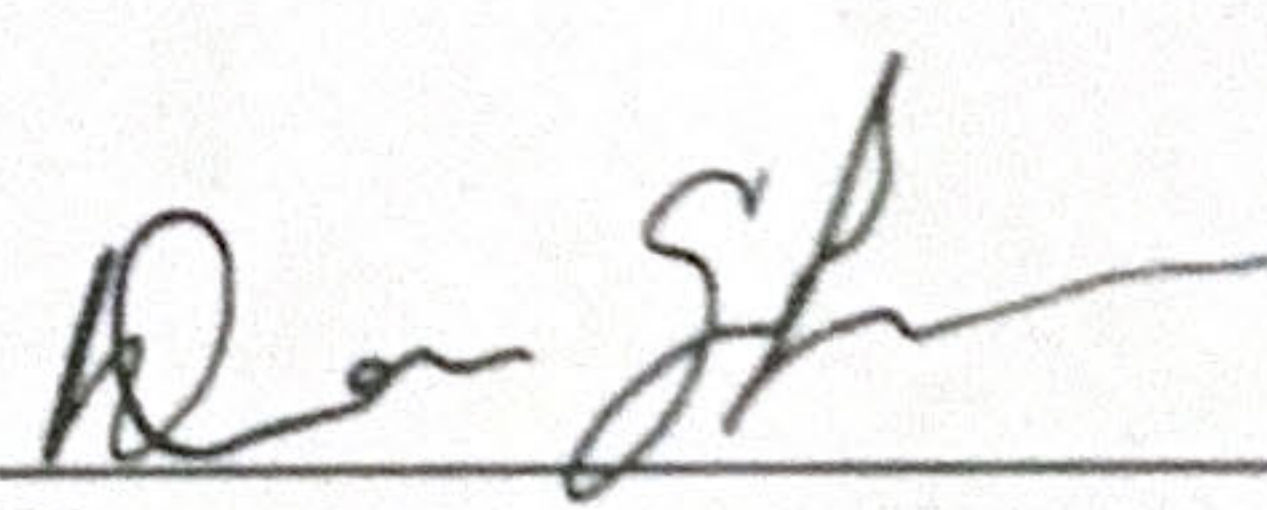
Kara Copeland & Elliott Hennington

(Name of Applicant or Representative)

LIZATTE T. MARTIN
NOTARY PUBLIC
DeKalb County

To file an application on (our) behalf
My Comm. Expires May 26, 2026


Notary Public


Owner

Notary Public

Owner

Notary Public

Owner



DeKalb County
GEORGIA

2

ZONING BOARD OF APPEALS APPLICATION AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals
To inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 01/09/2025

Applicant
Signature

DATE: _____

Applicant
Signature

Dear Members of the Zoning Board,

Please consider our Letter of Intent in support of the requested variances from the applicable provisions of the DeKalb County Zoning Ordinance for the building standards section 27-3.36.10. The property is located at 439 Booker Avenue, Scottdale, Georgia 30079, which is a confirmed legal lot of record. The purpose of this request is to obtain relief from strict application of the ordinance due to unique site conditions that create an undue and unnecessary hardship. We have outlined specific requests below with explanations.

- Reduce front setbacks from 30 feet to 15 feet
- Reduce rear setbacks from 30 feet to 20 feet
- Reduce required street trees to none
- Reduce Landscape strip width from 5 feet to 1.5 feet
- Increase minimum lot coverage from 35% to 69%
- Reduce minimum parking space size to 232 square feet
- Reduce minimum floor area from 1000 square feet to 616 square feet

1. The Exceptional physical site Conditions - irregular lot size and shape

The property is affected by exceptional physical conditions due to its unique shape being 64 feet to 71 feet deep and 50 feet wide. There are no current issues with slope or flooding, nor are there any trees located on the site. These conditions are inherent to the property and were not created by the owner or applicant. As a result, strict application of the zoning requirements would make it increasingly more difficult to build and enjoy ownership rights and privileges commonly enjoyed by other property owners within the same neighborhood.

2. Minimum Variance Necessary

The variance requested represents the minimum relief necessary to allow reasonable use of the property. It does not exceed what is required to address the hardship created by the site's physical constraints and does not constitute a special privilege inconsistent with the limitations placed on other properties within the same zoning district.

3. No Detriment to Public Welfare or Surrounding Properties

Granting the requested variance will not be materially detrimental to the public welfare, nor will it adversely affect neighboring lots, properties, or improvements within the zoning district. In fact it will add high-value and affordable options to the area. The proposed use and development will remain compatible with the surrounding area and will comply with all other applicable regulations and standards.

4. Undue and Unnecessary Hardship

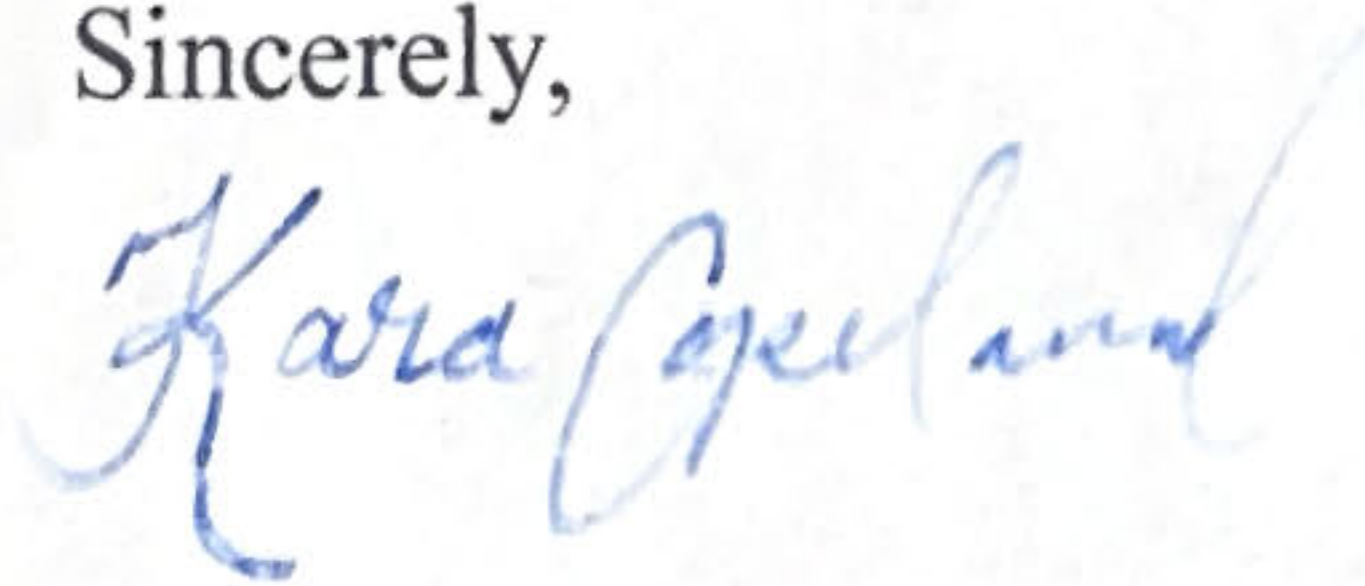
A literal interpretation and strict application of the zoning ordinance would impose an undue and unnecessary hardship on the property owner, preventing reasonable and practical use of the property. The hardship arises from the unique characteristics of the land rather than any actions taken by the owner. This constitutes an undue and unnecessary issue that includes the lot sizes, shapes, and separation that predate the current zoning ordinance.

5. Alignment with The Spirit of law - The proposed variance would be consistent with the Dekalb County Zoning Ordinance and Comprehensive Plan text.

The Overlay area of Scottdale is designated as Traditional Neighborhood land use in the 2050 Dekalb County Comprehensive Master Plan. We are proposing a new construction single family residential property which will have no adverse effects on the Master plan. It will create more housing diversity and affordability options to the neighborhood. Approval of this variance will support appropriate land use while maintaining the character and integrity of the community.

For these reasons, we respectfully request approval of the variance as submitted. Thank you for your time, consideration, and service to DeKalb County. We are committed to working collaboratively to ensure our proposed changes align with the goals and future intent of Dekalb County. Please do not hesitate to contact us should you require additional information.

Sincerely,



Kara Copeland

OWNER:
PARCEL 18 114 08 120
LAXMINARAYANAN KRISHNAN
MARDHANAN PUNYA
2543 ASBURY COURT
DECATUR, GA 30030
DB 32108, PG 434

RECORDING INFORMATION

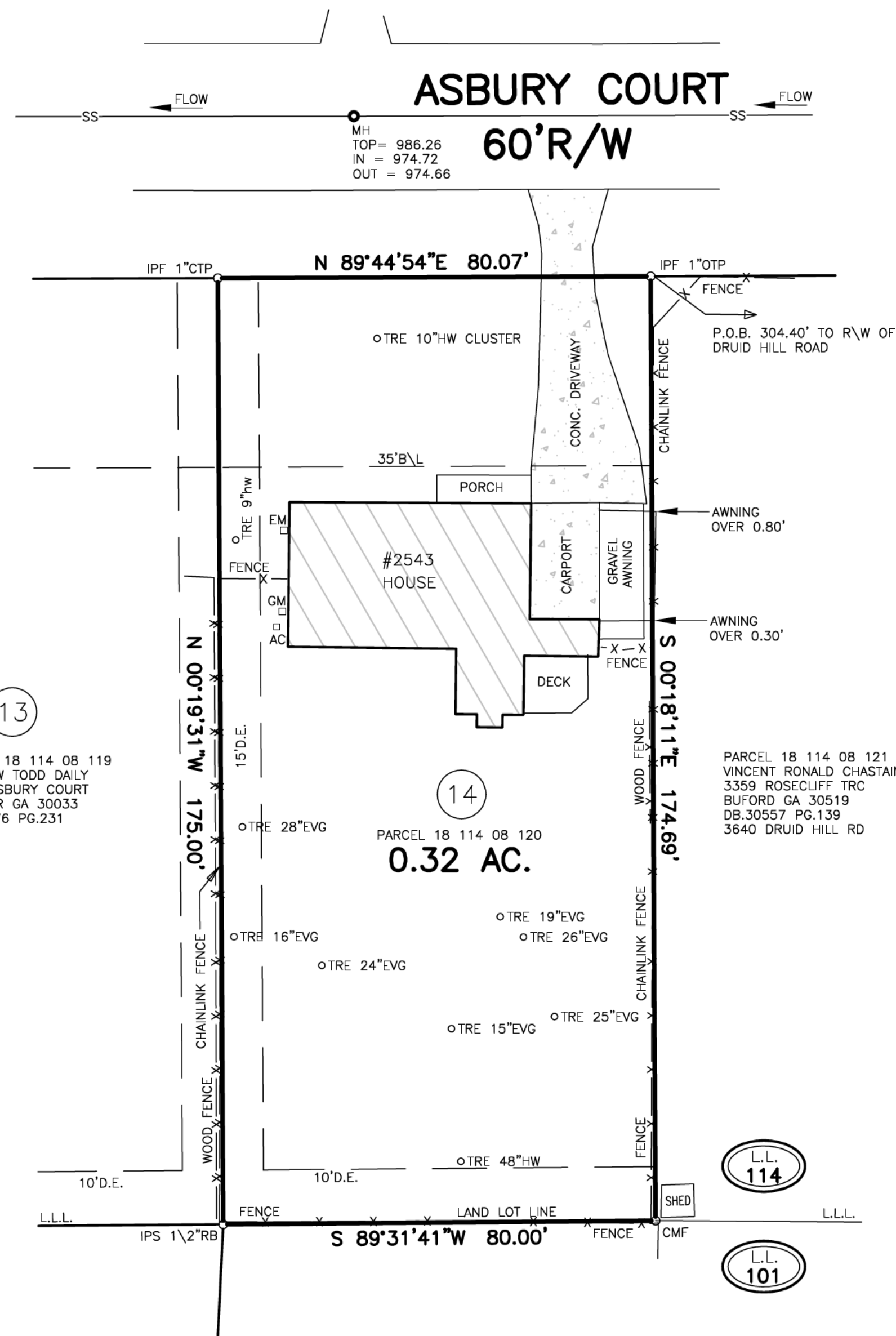
This Plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

James S. Hull, Jr.
James S. Hull, Jr. GA RLS 2876
PARCEL 18 114 08 120
DB.32108, PG.431



TEXT LEGEND

IPF	IRON PIN FOUND
IPS	IRON PIN SET
CMF	CONCRETE MONUMENT FOUND
CTP	CRIMP TOP PIPE
OTP	OPEN TOP PIPE
RB	REBAR
AC	AIR CONDITIONER
CONC	CONCRETE
DE	DRAINAGE EASEMENT
EM	ELECTRIC METER
EVG	EVERGREEN
GM	GAS METER
HW	HARD WOOD
LL	LAND LOT
LLL	LAND LOT LINE
MH	MANHOLE
P	OVERHEAD POWER
PP	POWER POLE
SS	SANITARY SEWER
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
B/L	BUILDING LINE
C/L	CENTERLINE
R/W	RIGHT-OF-WAY



UTILITY NOTE:
PATRICK & ASSOCIATES, INC. NOR THE LICENSED PROFESSIONAL ASSUME ANY LIABILITY FOR THE EXISTENCE, LOCATION, MATERIAL OR SIZE OF ANY UNDERGROUND UTILITY SHOWN ON THIS SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE, EXACT LOCATION, MATERIAL AND SIZE OF ANY UNDERGROUND UTILITY BEFORE BIDDING OR EXCAVATING ON THIS PROJECT.

A CARLSON BRX7 GPS UNIT WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A POSITIONAL TOLERANCE OF 0.04' FEET BASED ON REDUNDANT MEASUREMENTS AND HAS NOT BEEN ADJUSTED. ALL DISTANCES SHOWN HEREON ARE SURFACE DISTANCES. THE HORIZONTAL DATUM REFERENCED HEREON IS REFERENCED TO THE N.A.D.83, GEORGIA WEST ZONE STATE PLANE COORDINATE SYSTEM. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 150,166 FEET.

Note: The surveyor hereon has made no investigative or independent search for easements of record. Encumbrances, restrictive covenants, ownership title evidence or any other facts that a current title search may disclose.

Note: This plat was prepared for the exclusive use of the person, persons or entity named hereon. This plat does not extend to any person, persons or entity without the express recertification of the surveyor naming such person, persons or entity.

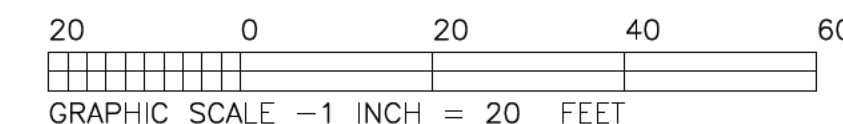
This property is in zone "X" a Federal Flood Area as indicated by F.I.A. Official Hazard Maps. Flood Map No. 13089C0058K, Dated: 08/15/2019.

RETRACEMENT SURVEY FOR:

**LAXMINARAYANAN KRISHNAN
MARDHANAN PUNYA**

LAND LOT 114 - 18TH DISTRICT
LOT 14 - UNIT II - LAUREL HILL S/D
DEKALB COUNTY, GEORGIA

DATE OF FIELD WORK: 1-5-2026
DATE OF PLAT PREPARATION: 1-6-2026
EQUIPMENT USED: CARLSON BRX7



SURVEYING & ENGINEERING
928 BLACKLAWN ROAD
CONYERS, GEORGIA 30094
PHONE: 770-483-9745

JOB NO. 25-459
DWG. NO. 37566

PROJECT DATA

PROPERTY DETAILS

TOTAL INTERIOR LIVABLE AREA: SEE ARCH. DRAWINGS
BEDROOMS: SEE ARCH. DRAWINGS
BATHROOMS: SEE ARCH. DRAWINGS
SINGLE FAMILY STORIES: SEE ARCH. DRAWINGS
LOT SIZE: 3484.8 SQFT
0.08 AC.

PROJECT CRITERIA

- A. OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R
B. TYPE OF CONSTRUCTION: NEW CONSTRUCTION
C. SPRINKLERED: YES
D. FIRE ALARM: YES
E. SEISMIC DESIGN CATEGORY: B
F. BUILDING PERMIT: TBD
G. ALL BUILDINGS DESCRIBED IN THESE PLANS SHAL BE CONSTRUCTED IN COMPLIANCE WITH THE FOLLOWING LISTED CODES.

SCOPE OF WORK

PROVIDE A CIVIL SITE PLAN TO FACILITATE THE NEW CONSTRUCTION OF THE PROPOSED RESIDENTIAL STRUCTURE.

DRAWING INDEX

GENERAL DRAWINGS

SHEET NO. :
G - 001
G - 002

DESCRIPTION:
COVER SHEET
GENERAL NOTES, LEGENDS & ABBREVIATIONS

CIVIL DRAWINGS

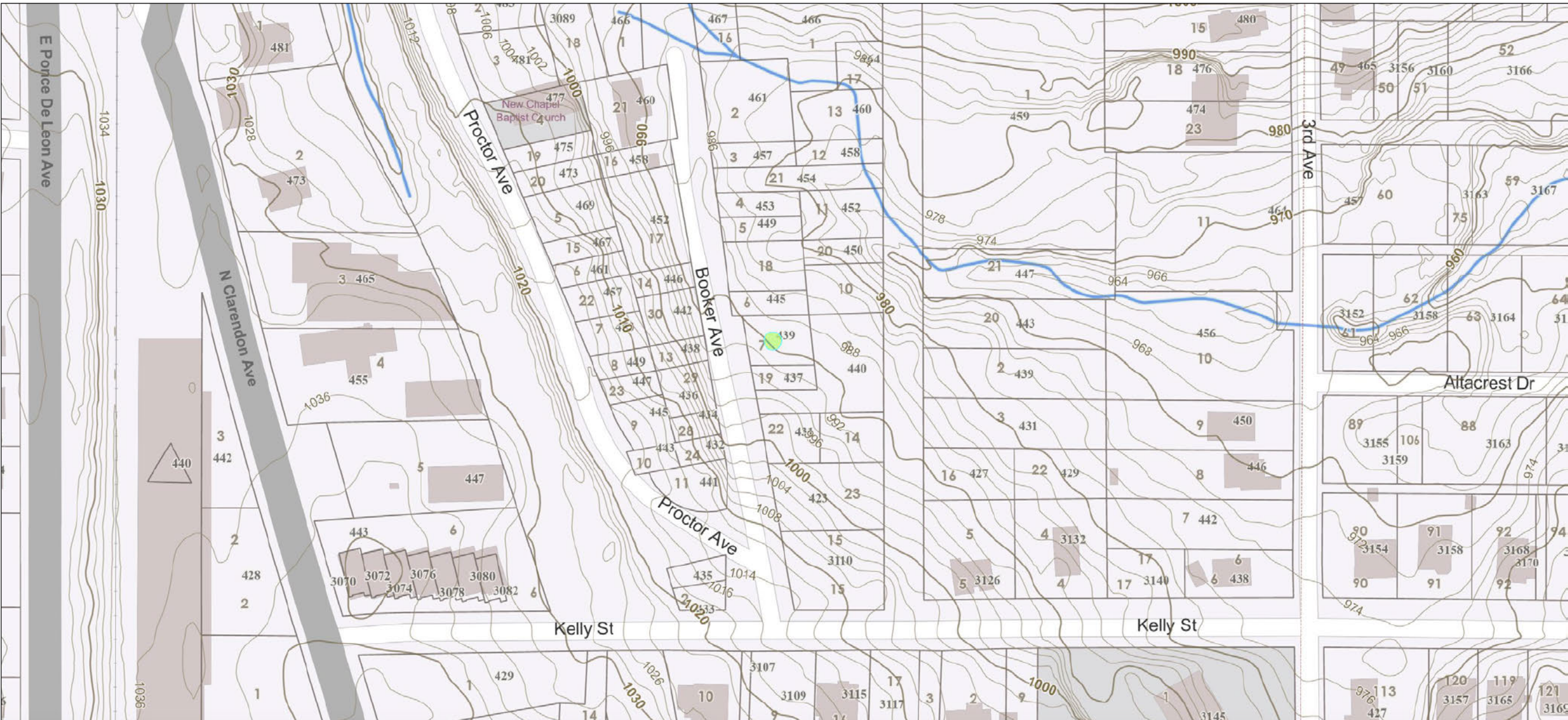
SHEET NO. :
C - 101
C - 102

DESCRIPTION:
CIVIL SITE PLAN (VARIANCES)
CIVIL SITE PLAN

NEW SINGLE FAMILY
HOME CONSTRUCTION

439 BOOKER AVE
SCOTTDALE, GA 30079

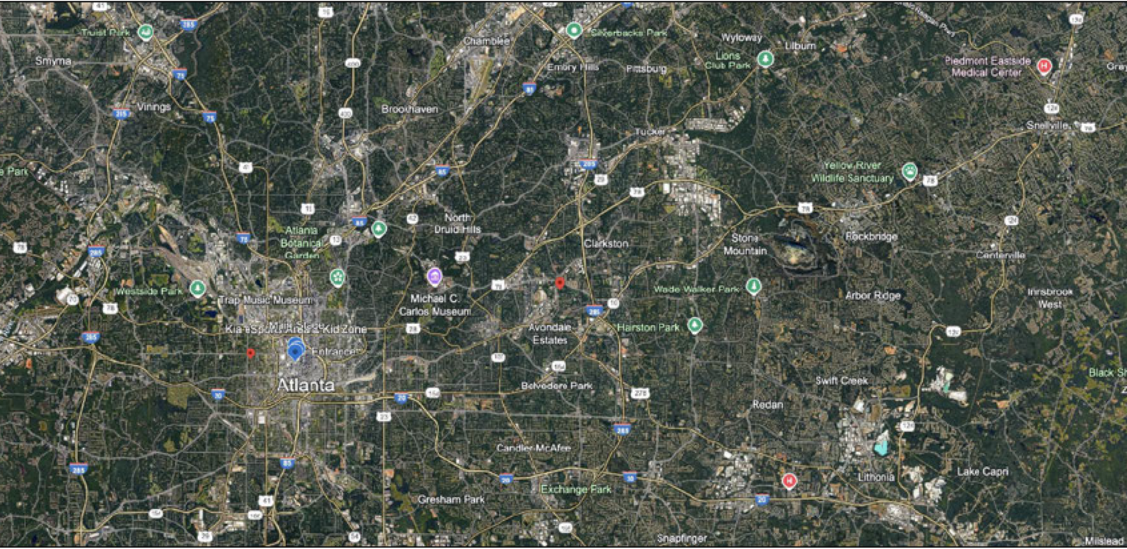
JOB NO. 25-019
JANUARY 09, 2025



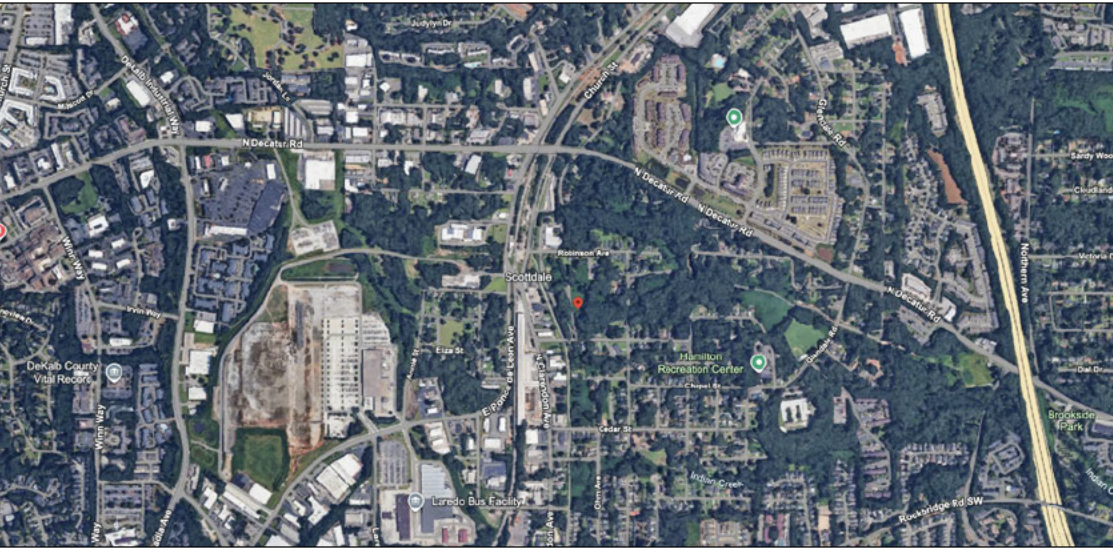
APPLICABLE CODES

- INTERNATIONAL BUILDING CODE (IBC)
2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE (IFC)
2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL PLUMBING CODE (IPC)
2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE (IMC)
2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FUEL GAS CODE (IFGC)
2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ELECTRICAL CODE (NEC)
2017 EDITION, WITH NO GEORGIA AMENDMENTS
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
LIFE SAFETY CODE 2018 EDITION WITH STATE AMENDMENTS (2020)

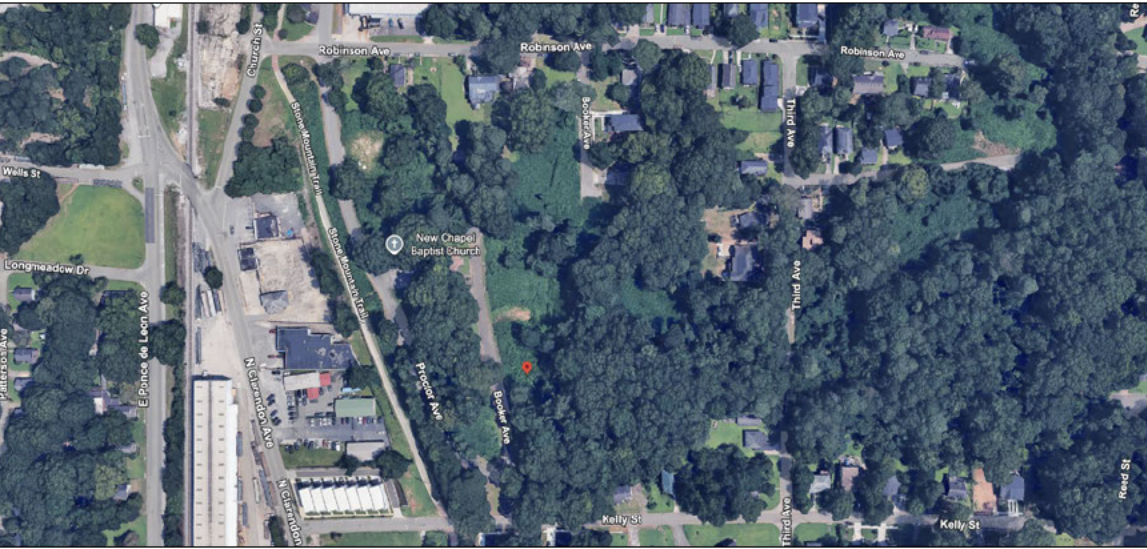
VICINITY MAP



LOCATION MAP



KEY MAP



PROJECT DIRECTORY

CLIENT:
KARA COPELAND
(404) 323 6166
KOPELANDANDCO@GMAIL.COM

ENGINEERING FIRM:
FOSTER ENGINEERING & DESIGN, LLC
(404) 844 6032
NICKLAUSFOSTER@FOSTERENGDESIGN.COM



CLIENT
KARA COPELAND
439 BOOKER AVE
SCOTTDAL, GA 30079
UNITED STATES

DATE
2026.01.02

REVISION	DESCRIPTION	DATE

PROJECT NAME
NEW CONSTRUCTION
AT
439 BOOKER AVE

SEAL

DRAWING
DESCRIPTION
COVER
SHEET

90% DESIGN - ISSUED FOR REVIEW

DESIGNED BY:	NP	SHEET
DRAFTED BY:	ZN	G-001
CHECKED BY:	GM	

GENERAL NOTES

1.0 GENERAL

- 1.1 MATERIALS AND CONSTRUCTION SHALL CONFORM TO DESIGN DRAWINGS, STANDARD DRAWINGS(INCLUDING GENERAL NOTES) AND PROJECT SPECIFICATIONS. IN CASE OF A CONFLICT BETWEEN THESE DOCUMENTS, THE ORDER OF AUTHORITY SHALL BE:
FIRST - DESIGN DOCUMENTS
SECOND - STANDARD DRAWINGS
THIRD - PROJECT SPECIFICATIONS
- 1.2 CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318) UNLESS NOTES OTHERWISE.
- 1.3 SITE PREPARATION AND EARTHWORK SHOULD BE IN ACCORDANCE TO LOCAL AUTHORITIES, AS WELL AS RECOMMENDED MEANS AND METHODS OF CONTRACTOR.

2.0 ELEVATIONS & DIMENSIONS

- 2.1 ALL DIMENSIONS, DIAMETERS, AND SPACINGS ON DESIGN AND STANDARD DRAWINGS ARE IN U.S. CUSTOMARY UNITS.
- 2.2 ALL ELEVATIONS DEPICT THE EXISTING FORM OF THE STRUCTURE AND SHALL BE CONFIRMED IN THE FIELD.

3.0 MATERIALS

- 3.1 CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI, UNLESS NOTED OTHERWISE.
- 3.2 REBAR SHALL CONFORM TO ASTM A615. REINFORCING STEEL SHALL NOT BE HEATED, STRAIGHTENED, OR RE-BENT WITHOUT THE APPROVAL OF THE DESIGN ENGINEER.
- 3.3 COLD BENDING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318.
- 3.4 ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064, $F_y=70ksi$

4.0 CONCRETE COVER

- 4.1 THE SPECIFIED CONCRETE COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS.
- A. CONCRETE EXPOSED TO EARTH 3" MIN.
- B. CONCRETE EXPOSED TO WEATHER 2" MIN.

5.0 CONCRETE SURFACE FINISHES

- 5.1 UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS, CONCRETE SURFACES SHALL BE FINISHED AS FOLLOWS:
- A. FORMED SURFACES NOT VIEW DO NOT REQUIRE A FINISHED SURFACE BUT SHALL BE FREE OF VOIDS, HONEYCOMBING, ETC.
- B. FORMED SURFACES EXPOSED TO VIEW SHALL HAVE A SMOOTH, HARD, UNIFORM TEXTURE. FORM MATERIALS WITH RAISED GRAIN, TORN SURFACES, WORN EDGES, PATCHES, DENTS OR OTHER DEFECTS SHALL NOT BE USED.

6.0 JOINTS

- 6.1 JOINT MATERIALS
-JOINT SEALANT SHALL BE A TWO-COMPONENT POLYSULFIDE JOINT SEALANT. SEALANT MATERIAL SHALL BE FLEXIBLE TO ACCOMODATE CONCRETE EXPANSION AND CONTRACTION. SEALANT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
-UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS, WATERSTOPS SHALL BE ADEKA MC-2005T HYDROPHILIC WATERSTOPS BY ADEKA ULTRA SEAL, OR APPROVED EQUAL.
- 6.2 ISOLATION JOINTS SHALL BE LOCATED AS SHOWN ON THE DESIGN DRAWINGS.

7.0 MISCELLANEOUS

- 7.1 ALL EMBEDDED ITEMS SHALL BE PROPERLY POSITIONED AND SECURELY HELD IN PLACE PRIOR TO PLACING CONCRETE.
- 7.2 FORGING EMBEDDED ITEMS INTO WET CONCRETE IS STRICTLY PROHIBITED.

8.0 CODE INFORMATION

- 8.1 SEE G-001 FOR APPLICABLE CODES.

LEGEND

BL		DENOTES BUILDING LINE
PL		DENOTES PROPERTY LINE
R/W		DENOTES RIGHT-OF-WAY
CL		DENOTES CENTERLINE
BC		DENOTES BACK OF CURB
G		DENOTES GUTTER
EP		DENOTES EDGE OF PAVING
TW		DENOTES TOP OF WALL
BW		DENOTES BOTTOM OF WALL
X	X	DENOTES FENCE
RCP		DENOTES REINFORCED CONCRETE PIPE
CMP		DENOTES CORRUGATED METAL PIPE
PP		DENOTES POWER POLE
LP		DENOTES LIGHT POLE
GW		DENOTES GUY WIRE
P	P	DENOTES POWER LINE
PM		DENOTES POWER METER
PB		DENOTES POWER BOX
FO		DENOTES FIBER OPTIC
A/C		DENOTES AIR CONDITION
TB		DENOTES TELEPHONE BOX
GM		DENOTES GAS METER
GV		DENOTES GAS VALVE
GLM		DENOTES GAS LINE MARKER
WM		DENOTES WATER METER
WV		DENOTES WATER VALVE
FH		DENOTES FIRE HYDRANT
MW		DENOTES MONITORING WELL
HW		DENOTES HEADWALL
JB		DENOTES JUNCTION BOX
DI		DENOTES DROP INLET
S	S	DENOTES SANITARY SEWER LINE
SSMH		DENOTES SANITARY SEWER MANHOLE
CO		DENOTES CLEAN OUT
P.O.B.		DENOTES POINT OF BEGINNING
P.O.C.		DENOTES POINT OF COMMENCEMENT
		DENOTES SECTION CALLOUT

ABBREVIATIONS:

AC	ACRE	REQD	REQUIRED
ALT	ALTERNATE	SECT	SECTION
ABT	ABOUT	SF	SQUARE FEET
ADDL	ADDITIONAL	SPEC	SPECIFICATION
APPROX	APPROXIMATELY	SQ	SQUARE
BLDG	BUILDING	STD	STANDARD
BM	BEAM	STL	STEEL
BRG	BEARING	TOC	TOP OF CONCRETE
CMU	CONCRETE MASONRY UNIT	VERT	VERTICAL
CONC	CONCRETE	WWR	WELDED WIRE REINFORCEMENT
DIM	DIMENSION		
DWG	DRAWING		
EL	ELEVATION		
ELEV	ELEVATION		
ENG	ENGINEERED		
EXIST	EXISTING		
FDN	FOUNDATION		
FF	FINISHED FLOOR		
FLR	FLOOR		
FTG	FOOTING		
GALV	GALVANIZED		
HORZ	HORIZONTAL		
HR	HAND RAIL		
LOC	LOCATION		
MAX	MAXIMUM		
MECH	MECHANICAL		
MIN	MINIMUM		
NTS	NOT TO SCALE		
NO	NUMBER		
OC	ON CENTER		
OD	OUTSIDE DIAMETER		
OPNG	OPENING		
POS	POINT OF SUPPORT		
PT	PRESSURE TREATED		
QTY	QUANTITY		
R	RADIUS		
REF	REFERENCE		



CLIENT

KARA COPELAND

439 BOOKER AVE
SCOTSDALE, GA 30079
UNITED STATES

DATE

2026.01.02

REVISION	DESCRIPTION	DATE

PROJECT NAME

NEW CONSTRUCTION
AT
439 BOOKER AVE

SEAL

DRAWING
DESCRIPTION

GENERAL NOTES,
LEGENDS &
ABBREVIATIONS



FLOODPLAIN NOTES:

1. THIS SITE IS NOT LOCATED WITHIN A FEMA-DESIGNATED FLOOD HAZARD AREA AS DEFINED BY THE FLOOD INSURANCE RATE MAP (FIRM) FOR DEKALB COUNTY, GEORGIA, PANEL NUMBER 13089COOG7K, DATED EFF. 8/15/2019.
2. IF APPLICABLE, ALL DEVELOPMENT WITHIN THE FLOODPLAIN SHALL COMPLY WITH FEMA REGULATIONS AND DEKALB COUNTY FLOODPLAIN MANAGEMENT REQUIREMENTS.

STORMWATER & DRAINAGE NOTES:

1. SITE DRAINAGE SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTIES.
2. ALL STORMWATER RUNOFF SHALL BE MANAGED IN ACCORDANCE WITH DEKALB COUNTY AND CITY OF SCOTTTDALE REQUIREMENTS.
3. EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED UNLESS OTHERWISE APPROVED.

TREE & ENVIRONMENTAL NOTES:

1. TREE PROTECTION AND REMOVAL SHALL COMPLY WITH CITY OF SCOTTTDALE AND DEKALB COUNTY ORDINANCES.
2. NO TREE REMOVAL SHALL OCCUR OUTSIDE APPROVED AREAS WITHOUT PRIOR AUTHORIZATION.

FIRE & ACCESS NOTES:

1. FIRE ACCESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION
2. FIRE LANES, HYDRANTS, AND EMERGENCY ACCESS SHALL COMPLY WITH CITY OF SCOTTTDALE FIRE DEPARTMENT REQUIREMENTS.

ZONING NOTES:

ZONING: R-75
CLASS: R3
LAND USE: TN
OVERLAY DISTRICT: SCOTTTDALE OVERLAY DISTRICT
TIER: 2
SETBACKS: FRONT - 30 FEET
SIDE - 7.5 FEET
REAR - 30 FEET
MINIMUM OFFSTREET PARKING - 2 SPACES
MINIMUM LOT SIZE - 5000 S.F.
MINIMUM LOT WIDTH - 50 FEET
MINIMUM HOUSE SIZE - 1000 S.F.
MAXIMUM BUILDING HEIGHT - 32 FEET
MAXIMUM LOT COVERAGE - 35%
LANDSCAPE STRIP - 5 FEET MIN.
SIDEWALK - MINIMUM 4 FEET FROM CURB
FRONT YARD TREES - 3.5" TREE EVERY 30 FEET MIN.

$R_v = 0.05 + 0.009(55.6) = 0.5504$
 $WQ_v = ((1.2)(0.5504)(3859)) \div 12 = 212$
TOTAL STORAGE REQUIRED = 212 CF
INFILTRATION TRENCH TO BE UTILIZED
GRAVEL VOIDS: 212/0.4 = 530 CF
TRENCH DIMENSIONS: 8' d x 6' w x 13' L
GRAVEL VOLUME: 624 CF
TOTAL STORAGE PROPOSED: 212.6 CF

ALL RUNOFF FROM ROOF DRAINS SHALL BE DIRECTED TO THE WATER QUALITY BMP

OVER FLOW FROM THE WATER QUALITY BMP SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES

NO GRADED SLOPES SHALL EXCEED 3H:1V ON ALL DISTURBED AREAS.

Ds1 Ds2 Ds3 Ds4

DISTURBED AREA = 3859 SQFT
0.089 ACRES

CUT/FILL VOLUMES:

FILL VOLUME = 28 CU YARDS
CUT VOLUME = 28 CU YARDS
-SITE TO BE BALANCED
-QUANTITIES ARE APPROXIMATE

CIVIL SITE PLAN (VARIANCES)

SCALE: 1:100

FLOOR AREA:

FIRST LEVEL = 616 SQFT
SECOND LEVEL = 879 SQFT
THIRD LEVEL = 879 SQFT
TOTAL = 2374 SQFT

LOT AREA:
3484.8 SQFT
0.08 AC.

NO EXISTING TREES ON SITE

AREA DOES NOT INCLUDE AREA TO BE DEDICATED FOR SIDEWALK INSTALLATION.

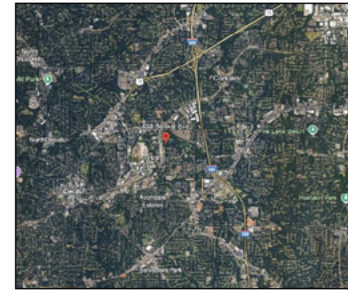
24-HOUR CONTACT:

KARA COPELAND
(404) 323 6166
KOPELANDANDCO@GMAIL.COM

OWNER:

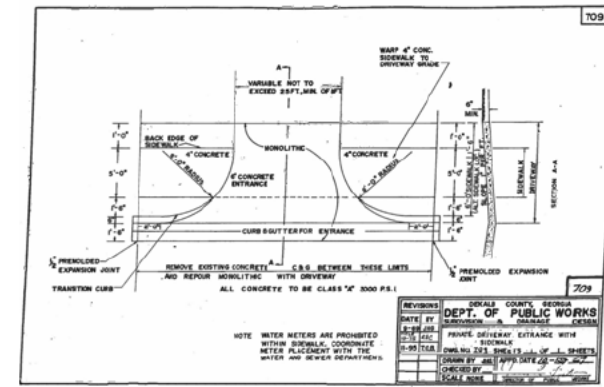
LION HARDWOOD FLOORS LLC
(646) 371 5964
INFO@DEVLINEDEVELOPMENT.COM

VICINITY MAP

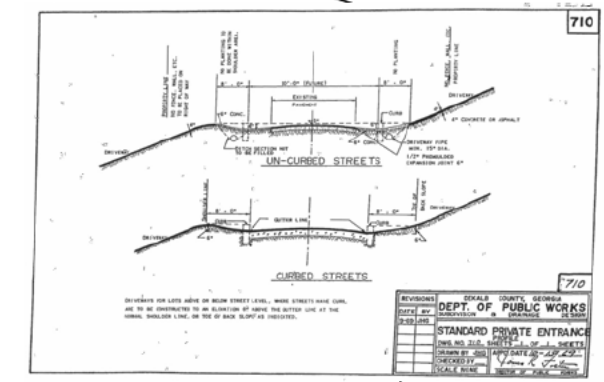


IMPERVIOUS COVERAGE CALCULATIONS		
DESCRIPTION	AREA (sqft)	AREA (acres)
TOTAL LOT AREA	4356	0.100
FRONT LOT AREA	821	0.019
A. DRIVEWAY	191	0.004
B. SIDEWALK	300	0.007
C. APRON	75	0.002
D. FOOTPRINT	878	0.020
TOTAL LOT COVERAGE	1544	0.355
FRONT LOT COVERAGE	68.54%	
TOTAL IMPERVIOUS AREA	566	0.013
IMPERVIOUS COVERAGE W/O B. & C.	23.26%	
IMPERVIOUS COVERAGE W/ B. & C.	68.54%	

PRIVATE DRIVEWAY ENTRANCE WITH SIDEWALK



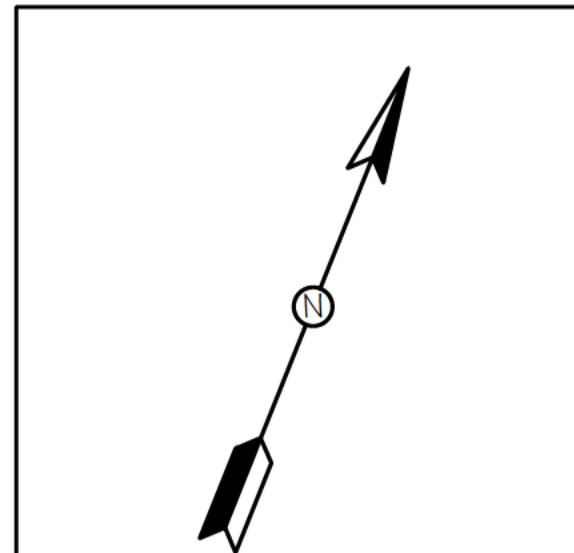
STANDARD PRIVATE ENTRANCE



VARIANCE REQUESTS:

1. REDUCE FRONT SETBACK FROM 30 FEET TO 15 FEET
2. REDUCE REAR SETBACK FROM 30 FEET TO 20 FEET
3. INCREASE MINIMUM LOT COVERAGE FROM 35% TO 69%
4. REDUCE REQUIRED STREET TREES NONE
5. REDUCE LANDSCAPE STRIP WIDTH FROM 5 FEET TO 1.5 FEET
6. REDUCE MINIMUM PARKING SPACE SIZE TO 232 SQFT
7. REDUCE MINIMUM FLOOR AREA FROM 1000 SF TO 616 SF.

100' 50' 0' 100' 200'
SCALE IN FEET



GENERAL SHEET NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPROVED SITE PLAN, APPLICABLE ORDINANCES OF THE CITY OF SCOTTTDALE, AND THE REQUIREMENTS OF DEKALB COUNTY, GEORGIA.
2. ALL WORK SHALL COMPLY WITH THE CURRENT ADOPTED EDITIONS OF THE INTERNATIONAL BUILDING CODE, INTERNATIONAL ZONING CODE, INTERNATIONAL FIRE CODE, AND ALL OTHER APPLICABLE STATE AND LOCAL CODES, AS AMENDED.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN PROFESSIONAL BEFORE PROCEEDING WITH WORK.
4. PROPERTY LINES, EASEMENTS, RIGHTS OF WAY, AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORDS AND SURVEYS. FIELD VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. NO WORK SHALL COMMENCE UNTIL ALL REQUIRED PERMITS HAVE BEEN OBTAINED FROM THE CITY OF SCOTTTDALE AND DEKALB COUNTY.
6. ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL CONTACT GEORGIA 811 PRIOR TO ANY EXCAVATION.
7. ANY DAMAGE TO EXISTING UTILITIES, SIDEWALKS, CURBS, PAVEMENT, OR ADJACENT PROPERTIES RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
8. ALL DISTURBED AREAS SHALL BE STABILIZED AND RESTORED UPON COMPLETION OF CONSTRUCTION.
9. CONSTRUCTION ACCESS, MATERIAL STAGING, DUMPSTER PLACEMENT, AND LAYDOWN AREAS SHALL BE COORDINATED TO MINIMIZE IMPACTS TO ADJACENT PROPERTIES AND PUBLIC RIGHTS OF WAY.
10. ALL REQUIRED INSPECTIONS SHALL BE SCHEDULED AND APPROVED BY THE CITY OF SCOTTTDALE AND DEKALB COUNTY PRIOR TO CONCEALMENT OF WORK.



CLIENT
KARA COPELAND
439 BOOKER AVE
SCOTTTDALE, GA 30079
UNITED STATES

DATE
2026.01.02

REVISION	DESCRIPTION	DATE

PROJECT NAME
NEW CONSTRUCTION
AT
439 BOOKER AVE

SEAL

DRAWING DESCRIPTION
CIVIL SITE PLAN
(VARIANCES)

DESIGNED BY: NF SHEET
DRAFTED BY: ZH
CHECKED BY: GM C-101

90% DESIGN - ISSUED FOR REVIEW

FLOODPLAIN NOTES:

1. THIS SITE IS NOT LOCATED WITHIN A FEMA-DESIGNATED FLOOD HAZARD AREA AS DEFINED BY THE FLOOD INSURANCE RATE MAP (FIRM) FOR DEKALB COUNTY, GEORGIA, PANEL NUMBER 13089COOG7K, DATED EFF. 8/15/2019.
2. IF APPLICABLE, ALL DEVELOPMENT WITHIN THE FLOODPLAIN SHALL COMPLY WITH FEMA REGULATIONS AND DEKALB COUNTY FLOODPLAIN MANAGEMENT REQUIREMENTS.

STORMWATER & DRAINAGE NOTES:

1. SITE DRAINAGE SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTIES.
2. ALL STORMWATER RUNOFF SHALL BE MANAGED IN ACCORDANCE WITH DEKALB COUNTY AND CITY OF SCOTTTDALE REQUIREMENTS.
3. EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED UNLESS OTHERWISE APPROVED.

TREE & ENVIRONMENTAL NOTES:

1. TREE PROTECTION AND REMOVAL SHALL COMPLY WITH CITY OF SCOTTTDALE AND DEKALB COUNTY ORDINANCES.
2. NO TREE REMOVAL SHALL OCCUR OUTSIDE APPROVED AREAS WITHOUT PRIOR AUTHORIZATION.

FIRE & ACCESS NOTES:

1. FIRE ACCESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION
2. FIRE LANES, HYDRANTS, AND EMERGENCY ACCESS SHALL COMPLY WITH CITY OF SCOTTTDALE FIRE DEPARTMENT REQUIREMENTS.

ZONING NOTES:

ZONING: R-75
CLASS: R3
LAND USE: TN
OVERLAY DISTRICT: SCOTTTDALE OVERLAY DISTRICT
TIER: 2
SETBACKS: FRONT - 30 FEET
SIDE - 7.5 FEET
REAR - 30 FEET
MINIMUM OFFSTREET PARKING - 2 SPACES
MINIMUM LOT SIZE - 5000 S.F.
MINIMUM LOT WIDTH - 50 FEET
MINIMUM HOUSE SIZE - 1000 S.F.
MAXIMUM BUILDING HEIGHT - 32 FEET
MAXIMUM LOT COVERAGE - 35%
LANDSCAPE STRIP - 5 FEET MIN.
SIDEWALK - MINIMUM 4 FEET FROM CURB
FRONT YARD TREES - 3.5" TREE EVERY 30 FEET MIN.

$R_v = 0.05 + 0.009(55.6) = 0.5504$
 $WQ_v = ((1.2)(0.5504)(3859)) \div 12 = 212$
TOTAL STORAGE REQUIRED = 212 CF
INFILTRATION TRENCH TO BE UTILIZED
GRAVEL VOIDS: 212/0.4 = 530 CF
TRENCH DIMENSIONS: 8' d x 6' w x 13' L
GRAVEL VOLUME: 624 CF
TOTAL STORAGE PROPOSED: 212.6 CF

ALL RUNOFF FROM ROOF DRAINS SHALL BE DIRECTED TO THE WATER QUALITY BMP

OVER FLOW FROM THE WATER QUALITY BMP SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES

NO GRADED SLOPES SHALL EXCEED 3H:1V ON ALL DISTURBED AREAS.

Ds1 Ds2 Ds3 Ds4

DISTURBED AREA = 3859 SQFT
0.089 ACRES

CUT/FILL VOLUMES:

FILL VOLUME = 28 CU YARDS
CUT VOLUME = 28 CU YARDS
-SITE TO BE BALANCED
-QUANTITIES ARE APPROXIMATE

001 CIVIL SITE PLAN
SCALE: 1:100

FLOOR AREA:

FIRST LEVEL = 616 SQFT
SECOND LEVEL = 879 SQFT
THIRD LEVEL = 879 SQFT
TOTAL = 2374 SQFT

LOT AREA:
3484.8 SQFT
0.08 AC.

NO EXISTING TREES ON SITE

AREA DOES NOT INCLUDE AREA TO BE DEDICATED FOR SIDEWALK INSTALLATION.

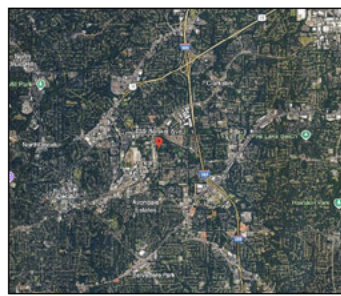
24-HOUR CONTACT:

KARA COPELAND
(404) 323 6166
KOPELANDANDCO@GMAIL.COM

OWNER:

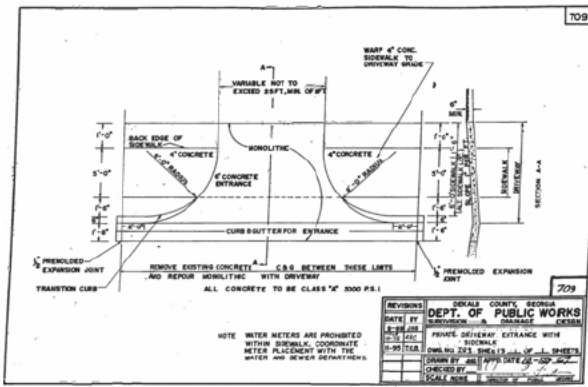
LION HARDWOOD FLOORS LLC
(646) 371 5964
INFO@DEVLINDEVELOPMENT.COM

VICINITY MAP

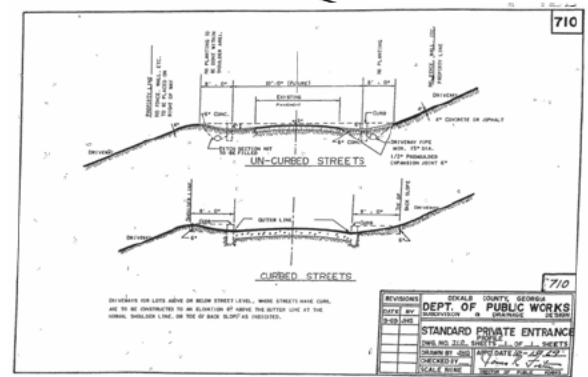


IMPERVIOUS COVERAGE CALCULATIONS		
DESCRIPTION	AREA (sqft)	AREA (acres)
TOTAL LOT AREA	4356	0.100
FRONT LOT AREA	821	0.019
A. DRIVEWAY	191	0.004
B. SIDEWALK	300	0.007
C. APRON	75	0.002
D. FOOTPRINT	878	0.020
TOTAL LOT COVERAGE	1544	0.354
FRONT LOT COVERAGE	685	0.016
TOTAL IMPERVIOUS AREA	566	0.013
IMPERVIOUS COVERAGE W/O B. & C.	236	0.005
IMPERVIOUS COVERAGE W/ B. & C.	685	0.016

PRIVATE DRIVEWAY
ENTRANCE WITH SIDEWALK



STANDARD PRIVATE ENTRANCE



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FOSTER
ENGINEERING
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