



Planning Commission (Sketch Plat) Hearing Date: June 24, 2026

STAFF ANALYSIS

CASE NO.:	P-Plat #1246985	Agenda # N1
Address:	5083 Biffle Road Stone Mountain, GA 30088	Commission District: 5 Super District: 7
Parcel ID(s):	16-028-01-167	
Request:	Major subdivision to construct 131 senior attached dwellings, 55 single-family attached dwellings, and 44 single-family detached dwellings.	
Property Owner(s):	Jld Hidden Hills Llc	
Applicant/Agent:	Planners + Engineers Collaborative/PEC+	
Acreeage:	Approx. 54.30 acres	
Existing Land Use:	Vacant	
Existing Zoning:	R-100/Hidden Hills Overlay Tier 5	
Adjacent Zoning:	North: R-100, MR-2/Hidden Hills Overlay Tier Residential and Tier 4 East: R-100/Hidden Hills Overlay Tier Residential South: R-100, MR-2/Hidden Hills Overlay Tier Residential and Tier 4 West: R-100, MR-2/Hidden Hills Overlay Tier Residential and Tier 4	
Character Area	Suburban (SUB)	
Comprehensive Plan:	<input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent	

SUBJECT PROPERTY & ZONING HISTORY

The subject property comprises a portion of the former Hidden Hills Golf Club and is the only known parcel that is designated as being within Tier 5 of the Greater Hidden Hills Overlay District. Per Section 3.37.5. (B)(5) of the *Zoning Ordinance*, “Tier 5 is a neighborhood mixed-use area which allows for increased density, increased building heights, and additional permitted uses within a mixed-use environment. The purpose of Tier 5 is to allow increased development in an area where it is needed while preserving/conserving property within Tiers 3 and 4.”

The subject property has been subject to several public hearings and administrative decisions. A comprehensive timeline of these is provided below.

P-Plat #1244609 (2021): The property was originally part of a larger parcel (original Tax Parcel 16-028-01-001), consisting of approximately 77.21 ± acres. The property was split between two Tiers in the Overlay – Tier 4 (Open Space Conservation) and Tier 5 (Mixed Use), as shown in an attached map, titled “Greater Hidden Hills Overlay District” and dated October 28, 2011. The intent of this Sketch Plat was to split off the portions of the property that were located in Tier 4 and additionally develop the portion in Tier 5 as a mixed-use development consisting of single-family attached dwellings, multifamily dwellings, and nonresidential uses. This application was approved by the Planning Commission on September 22, 2021. Two (2) Land Development/Disturbance Permits (LDP’s) were applied for in 2022 (#1245668 and #1245790) but never appear to have been issued by the County.

P-Plat #1246015 (2022-2024): A new Sketch Plat application was submitted in August 2022 with a site plan that was initially devoid of the improvements approved per P-Plat #1244609 – the intent as explained to Staff was simply to authorize the creation of properties designated as Tract 2 and 3 (what are now Tax Parcels 16-028-01-001 [5167 Biffle Road] and 16-028-01-168 [1908 Biffle Drive] to subsequently convey them for conservation purposes. Multiple County departments requested the improvements from P-Plat #1244609 be shown; however, it became apparent that no work had been completed (as the aforementioned LDP’s had never been issued). Per Section 14-98 of the *Land Development Code*, P-Plat #1244609 was determined by Staff to have expired, and a new Sketch Plat was required. On May 23, 2024, the Planning Commission approved this Sketch Plat application to simply authorize the creation of three (3) lots, with the understanding that a subsequent Sketch Plat application would be submitted for the resultant Tract 1 (the property currently subject to P-Plat #1246985).

SLUP-25-1247527 (2025): An application for a Special Land Use Permit (SLUP) to allow for senior housing in Tier 5 of the Hidden Hills Overlay District was approved by the Board of Commissioners on August 26, 2025, with ten (10) conditions.

A-25-1247786 (2025): A variance from Section 5.7.6. (J)(1) of the *Zoning Ordinance* to allow garages on single-family attached dwellings to face public streets was approved by the Zoning Board of Appeals (ZBA) on November 12, 2025.

#1247977 (2026): An application for a lot division was approved by the County on March 9, 2026. The approval and recordation of this lot division officially created Tracts 1-3 as proposed per P-Plat #1246015.

PROJECT DESCRIPTION

The applicant, Planners + Engineers Collaborative/PEC+, proposes a major subdivision of approximately 54.30 acres (comprising Tract 1 authorized by P-Plat #1246015 and created by the approval/recordation of #1247977) to create 230 lots, consisting of 131 senior attached dwellings, 55 single-family attached dwellings, and 44 single-family detached dwellings.

The senior attached units are proposed to be located in the north of the development site, flanked by standard single-family attached units located in the southwestern and central areas. Standard single-family detached dwellings are proposed in the back-half of the site; a system of walking trails is proposed between these units and floodplains/wetlands to the east. The overall development site will be served by a master amenity – a clubhouse, which per Condition #8 of SLUP-25-1247527, will be made available to the Hidden Hills Civic Association. Additional pocket parks are scattered throughout the development.

The entirety of the development site’s frontage on Biffle Road will be improved with sidewalks, street trees, and streetlights, with an additional 15-foot landscape buffer and perimeter fence screening the development. A large four-lane street with a central traffic circle acts as the main entrance into the development, although two other entrances are provided on Biffle Road at the northwestern and southwestern corners to meet the requirements of the *Land Development Code*.

Stormwater detention facilities are proposed in the northwestern, northeastern, and southeastern corners of the development site.

Sec. 14-96. - Standards for approval of Sketch Plats; approved Preliminary Plats.

(a) The Planning Commission shall not approve a Sketch Plat unless it is found that:

1) Provisions have been made for a water supply system that is sufficient in terms of quantity, dependability, and quality for purposes of health, emergency, and adequate fire protection for the subdivision proposed;

Water service is to be provided by DeKalb County.

2) If a public sewage system is proposed, adequate provision has been made for such a system and, if other methods of sewage disposal are proposed, that such systems will comply with federal, state, and local laws and regulations;

Sewer service is to be provided by DeKalb County.

3) Adequate areas have been allocated within a subdivision to meet the regulations in this chapter for the long-term collection, management, and treatment of stormwater;

Three stormwater detention facilities are in the northwestern, northeastern, and southeastern corners of the development site.

4) The proposed subdivision is designed to avoid areas of flood plains, watercourses, wetlands, exceptional or specimen trees or woodlands;

State waters, floodplains, and wetlands are present along the eastern edges of the development site. Properties created as a result of P-Plat #1246015 and #1247977 will be left in their natural state.

5) No platting of lots within the subdivision will create any non-conforming lots or increase the non-conformity of existing non-conforming lots on property within or adjacent to the subdivision;

Newly created lots are in compliance with applicable lot standards in Tier 5 of the Greater Hidden Hills Overlay District.

6) If the subdivision abuts a state designed highway, all applicable statutory provisions are followed, including the rules of Georgia Department of Transportation;

Not applicable.

7) The proposed subdivision meets all the requirements of this chapter, Chapter 27, the official comprehensive plan, the official thoroughfare map, and all other standards and regulations adopted by all boards, commissions, agencies, and officials of DeKalb County and all other applicable laws from other, relevant jurisdictions;

Yes.

8) A properly issued certificate of appropriateness, when the subdivision or portions thereof lie within a designated historic area that required such a certificate as may be required by state law or this Code; and

Not applicable.

9) Lot lines have been laid out so as to minimize crossing municipal or county boundaries;

All proposed lots are located in the unincorporated area of DeKalb County.

10) All requirements of section 14-89 and section 14-90 have been fulfilled.

Yes.

STAFF RECOMMENDATION: *Approval*

The proposal is consistent with the goals of the *DeKalb County 2050 Unified Plan* and is in compliance with all developmental standards of the *Zoning Ordinance*. All other regulatory reviews have been completed and approved (or conditionally approved). Therefore, the Planning and Sustainability Department recommends *Approval* of the submitted Sketch Plat application.

This drawing is the property of Planners and Engineers Collaborative and may not be copied, reprinted, or distributed in any form without the written consent of Planners and Engineers Collaborative.

J:\2020\2025\100\DeKalb\Concepts & Exhibits\Sketch Plat\2025_001 - Sketch Plat 10_Urban.dwg - J:\Howard - 08/20/2025 3:17 PM

SLUP-25-1247527 2025-0626

AN ORDINANCE TO GRANT A SPECIAL LAND USE PERMIT (SLUP) TO ALLOW SENIOR RESIDENTIAL HOUSING IN THE R-100 (RESIDENTIAL MEDIUM LOT-100) ZONING DISTRICT AND TIER 5 OF THE HIDDEN HILLS OVERLAY DISTRICT. THE PROPERTY IS LOCATED AT 5083 BIFFLE ROAD AND CONTAINS 54.355 ACRES FOR THE SLUP AND 77.21 ACRES OVERALL.

APPLICANT: Hailey Todd, PEC+
OWNER: JLD Hidden Hills, LLC

COMMISSION DISTRICTS: 5 & 7

WHEREAS, Hailey Todd, PEC+ has filed an application for a Special Land Use Permit for property located at 5083 Biffle Road, Stone Mountain, Georgia 30088, and more particularly described as follows:

All that tract or parcel of land and being in **District 16, Land Lot 028, Block 01, Parcel 001** of DeKalb County, Georgia, containing 54.355 acres for the Special Land Use Permit and a total of 77.21 acres; and,

WHEREAS, it appears to the Board of Commissioners that the application meets all of the criteria set forth in the DeKalb County Code, Chapter 27, Article VII, Division 4, Section 7.4, relating to the R-100 (Residential Medium Lot-100) zoning district.

THE BOARD OF COMMISSIONERS OF DEKALB COUNTY, GEORGIA, HEREBY ORDAINS:

Part 1: Pursuant to the authority of the DeKalb County Board of Commissioners to exercise powers of zoning, set forth in Section 27-1.1 and Section 27-7.4 of the DeKalb County Zoning Ordinance to grant a Special Land Use Permit (SLUP) to allow senior residential housing in the R-100 (Residential Medium Lot-100) Zoning District and Tier 5 of the Hidden Hills Overlay District. The property is located at 5083 Biffle Road, Stone Mountain, GA 30088, contains a total of 77.21 acres and is hereby approved, with conditions.

Part 2: That this amendment is approved conditionally, and under the provisions of Section 27-7.3.9 of the DeKalb County Zoning Ordinance, the Director of Development shall issue a permit for the development of the above-described Special Land Use, only in compliance with the conditions and/or site plan as herein attached to this ordinance.

Part 3: That all ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

SLUP-25-1247527 2025-0626

ADOPTED by the DeKalb County Board of Commissioners this _____ day of _____

2025.

Michelle Long-Spears
Presiding Officer
Board of Commissioners
DeKalb County, Georgia

ATTEST:

Barbara Sanders-Norwood, CCC
Clerk to the Board of Commissioners and
Chief Executive Officer
DeKalb County, Georgia

SLUP-25-1247527 2025-0626

REQUESTED BY APPLICANT:

Application of Hailey Todd, PEC+ for a Special Land Use Permit (SLUP) to allow senior residential housing in the R-100 (Residential Medium Lot-100) Zoning District and Tier 5 of the Hidden Hills Overlay District

PLANNING AND SUSTAINABILITY DEPARTMENT RECOMMENDATION:

Approval with Conditions. The applicant, Hailey Todd (PEC+) is proposing to construct a total of 230 dwelling units at a density of approximately 4.23 units per acre, of which 131 are senior housing units. The subject property in its current configuration comprises approximately 77.21 acres of land that was formerly used as part of the now-defunct Hidden Hills Golf Course. The property is located within a Suburban (SUB) Character Area per the *DeKalb County 2050 Unified Plan* and has an underlying zoning designation of R-100 (Residential Medium Lot-100).

In addition, the subject property spans across two tiers of the Greater Hidden Hills Overlay District: The extreme eastern and southern portions of the property are designated as being within Tier 4 of the Overlay. Section 27-3.37.5. of the *Zoning Ordinance* defines Tier 4 as "a conservation open space area comprised of properties which are of such size, configuration and topography which would cause undue impacts on adjoining properties if developed. The properties are to be used for active and passive recreation areas and associated accessory structures." The remaining 54.355 acres are designated as being within Tier 5 of the Overlay. Section 27-3.37.5. of the *Zoning Ordinance* defines Tier 5 as "a neighborhood mixed-use area which allows for increased density, increased building heights, and additional permitted uses within a mixed-use environment. The purpose of Tier 5 is to allow increased development in an area where it is needed while preserving/conserving property within Tiers 3 and 4."

On September 22, 2021, the DeKalb County Planning Commission approved a Sketch Plat (P-Plat #1244609) authorizing the subdivision of 77.21 acres for the purpose of constructing 228 single-family attached (townhome) dwellings, 240 multifamily dwellings, and approximately 225,000 square feet of non-residential office space. Per Section 14-98 of the *Land Development Code*, P-Plat #1244609 expired on September 22, 2023. On May 22, 2024, the DeKalb County Planning Commission approved a Sketch Plat (P-Plat #1246015) authorizing the subdivision of 77.21 acres into three (3) parcels solely for the purpose of conveying two of the three resultant lots to a new owner for conservation. These lots would align with the current boundaries of Tier 4 on the subject property, as shown in the map titled "Greater Hidden Hills Overlay District" dated October 28, 2011.

At the time of this analysis, P-Plat #1246015 has not expired; however, a Final Plat officially creating these three (3) distinct lots has yet to have been recorded by the County. An additional Sketch Plat application is currently under review at the time of this analysis and is associated with the subject Special Land Use Permit (SLUP) request, which focuses on the remaining 54.355 acres that would comprise Tier 5 of the Overlay. This Sketch Plat application (P-Plat #1246985) calls for up to 230 dwellings at a density of approximately 4.23 units per acre - a significant reduction from the original proposal in 2021 (468 units at a density of 9.61 units per acre, if using the 54.355-acre figure). Of the 230 dwellings proposed, 44 units would be conventional single-family detached dwellings and 186 would be single-family attached (townhome) dwellings. Of the 186 attached dwellings, 131 are proposed to be senior units. Tier 5 of the Overlay only authorizes *senior housing* with a SLUP, hence the subject application request (the proposed use also satisfies the mixed-use requirement of Tier 5 of the Overlay). As indicated by a graphic titled "Hidden Hills Master Plan" presented by the applicant at Community Council, the proposed 131 senior housing units would be located in the northwestern section of the development site. The units are proposed to be single-story and ADA accessible and appear to meet the supplemental requirements for senior housing developments as specified in Section 27-4.2.26. of the *Zoning Ordinance*.

The proposed use would be integrated into the larger proposed "Terra Bella" development as envisioned in P-Plat #1246985 and would share amenities, including a proposed clubhouse that would be made available to the Hidden Hills Civic Association; connections would be made to existing trails within the Hidden Hills neighborhood and new connections would be proposed to open space areas along the eastern "lakeside" portion of the development site (see "McKinley Homes Development Agreement with Hidden Hills Civic Association", attached to this analysis). The proposed senior housing supports the intent of the Suburban (SUB) Character Area per the *DeKalb County 2050 Unified Plan*, as it would "increase housing choice and income diversity without significantly altering established

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neighborhood development patterns". The proposed senior housing and additional units that would be associated with P-Plat #1246985 would be developed at a density that is similar to other developments within the Overlay.

The overall development promotes connectivity and provides walking trails and ADA-compliant pathways throughout. From a land use perspective, the proposed use of senior housing would not be in conflict with the intent of Tier 5 of the Overlay and appears to meet the supplemental criteria of Section 27-4.2.46. (Senior housing: independent and assisted living, nursing, and continuing care) and the criteria for a SLUP in Section 27-7.4.6. of the *Zoning Ordinance*. Therefore, upon review of Section 27-4.2.46 and 27-7.4.6 of the *Zoning Ordinance*, the Planning and Sustainability Department recommends **"Approval, with the following substitute conditions"**:

- Senior housing units shall be constructed and located in general conformance to the conceptual plans titled "Hidden Hills Master Plan" by Planners and Engineers Collaborative.
- Facades of senior housing units shall be in general conformance with renderings titled "Product Samples" by Planners and Engineers Collaborative and shall also be in conformance with the Greater Hidden Hills Overlay District Design Guidelines, Section 27-3.37., Section 27-4.2.46. (E), and Section 27-5.7.6. of the Zoning Ordinance.
- The developer shall construct and maintain a six (6)-foot-wide or greater hardscape (asphalt or cement), ADA-accessible path along the lakeside of the development (roughly 1,570 feet or one-third mile) as depicted on the Sketch Plat. It must be kept in a clean, walkable, and orderly condition and remain open to the public from sunrise to sunset. The path must be clearly shown on all surveys and site plans submitted by the developer. It must be completed by the time 50% of the 130 senior housing units (65 units) are issued a Certificate of Occupancy (CO).
- Public amenities. Should the developer construct any of the following amenities - dog park, public trail, gazebo, pavilion, pollinator garden, etc., on the lakeside of the development - these amenities shall be available for public use from sunrise to sunset, with the final amenities to be determined during the land disturbance permitting process.
- McKinley Homes shall provide and install two signs indicating public access to the path at the east and west ends of the golf cart path near Biffle Road. The signs must comply with the Greater Hidden Hills Overlay District Design Guidelines and Section 27-3.41.9 of the Zoning Ordinance.
- If the senior portion of the development consists of rental units, then they shall be rented under one management company and not individual home leases.
- The proposed clubhouse amenity shall be completed by the time 50% of the 130 senior housing units (65 units) are issued a Certificate of Occupancy (CO).
- The clubhouse amenity shall be made available to the Hidden Hills Civic Association for 12 regularly scheduled meetings, as described in the Development Agreement.
- A traffic impact study shall be completed prior to Zoning approval of a Sketch Plat, as required per Section 27-5.3.4. of the *Zoning Ordinance*.
- Approval of this SLUP by the Board of Commissioners has no bearing on the requirements for other regulatory approvals under the authority of the Planning Commission, the Zoning Board of Appeals, or other entity whose decision should be based on the merits of the application under review by each entity. Approval of this SLUP shall not be used in lieu of an approved Sketch/Preliminary Plat, Land Development Permit (LDP), building permit, or any other County permit nor shall be considered a guarantee of approval of any permit.

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PLANNING COMMISSION RECOMMENDATION:

(July 8, 2025) Full Cycle Deferral 8-0-1. Commissioner West moved, Commissioner Cooper seconded for a Full-Cycle Deferral to the September 2025 zoning agenda to allow the applicant time to work with Staff and the Hidden Hills Neighborhood Association to draft additional conditions. Commissioner Costello abstained due to a conflict of interest.

BOARD OF COMMISSIONERS FINAL ACTION:

August 26, 2025, Approved with Staff's substitute ten (10) conditions.



Planning & Sustainability Department

Current Planning Zoning Division

**DeKalb County Zoning Board of Appeals
November 12, 2025 Meeting
Decision Letter**

Government Services Center
178 Sams Street
Decatur, GA 30030

Lorraine Cochran-Johnson
Chief Executive Officer

Juliana A. Njoku
Director

Commission District 05 Super District 07

Application #: N4. A-25-1247786 **Parcel ID(s):** 16 028 01 001

Applicant: Hailey Todd, PEC+
350 Research Center, Suite 200
Norcross, GA 30082
Owner: JLD Hidden Hills LLC
840 Edgewood Road S, Suite 220
Jacksonville, FL 32205

Project Name: 5083 Biffle Road
Residential Construction **Location:** 5083 Biffle Road, Stone Mountain, GA 30088

Request: Variance from Section 27-5.7.6.(J) (1) of the DeKalb County Zoning Ordinance to allow garages to face public streets as part of a residential development in the R-100 (Residential Medium Lot-100) and Hidden Hills Tier 5 overlay districts.

THIS IS TO ADVISE YOU THAT THE ZONING BOARD OF APPEALS AT ITS REGULARLY SCHEDULED PUBLIC HEARING ON WEDNESDAY, NOVEMBER 12, 2025, REACHED THE FOLLOWING DECISION ON THE ABOVE-REFERENCED APPLICATION:

ZBOA ACTION: John Tolbert moved, Eric Hubbard seconded for approval with the following conditions: (1) case number, approval date, type of variance and condition(s) of approval listed on site plan. Motion carried 6-0-0.

CONDITION: The following information must be included on any Site Plan submitted for Permitting:
Case Number: N4. A-25-1247786
Approval Date: 11-12-2025
Type of Variance: The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval. Allow garages to face public streets as part of a residential development. Include this information on submitted Site Plan.

Only persons aggrieved by a final decision of the Zoning Board of Appeals may seek review of such decision by petitioning the Superior Court of DeKalb County by writ of mandamus, setting forth plainly the alleged errors. Such petition shall be filed within thirty (30) days after the final decision of the Zoning Board of Appeals is rendered.

DATE SUBMITTED WEDNESDAY, DECEMBER 3, 2025

P: (770) 451-2741 F: (770) 451-3915

WWW.PEC.PLUS



Planners & Engineers Collaborative+

LAND PLANNING + LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING
ARBORISTS + SURVEYING & CONSTRUCTION + WATER RESOURCES

350 RESEARCH COURT STE 200
PEACHTREE CORNERS, GA 30092

PROJECT

**TERRA BELLA
AKA HIDDEN HILLS AT
BIFFLE ROAD**

A MASTER PLANNED RESIDENTIAL
DEVELOPMENT

AT

5083 BIFFLE ROAD
STONE MOUNTAIN, GA 30088

DEKALB COUNTY JURISDICTION

FOR **MCKINLEY HOMES**
655 ENGINEERING DRIVE, SUITE 208
PEACHTREE CORNERS, GA 30092
470-268-4202

DEKALB AP # 1246985
SLUP-25-1247527

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	05/08/2026	JH	COUNTY COMMENTS

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.

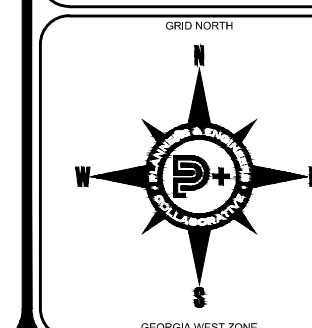


05/08/2026

GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION # 0000059389 EXP. 10/31/2027

**SLUP ZONING
CONDITIONS &
VARIANCE APPROVAL**

SCALE: N/A
DATE: 05/03/2024
PROJECT: 20251.00A



Z1

SHEET

SITE DATA

Table with 2 columns: Category and Value. Includes CURRENT ZONING (R-100), PROPOSED TRACT ZONING (M1-HIDDEN HILLS TIER 5), REQUIRED MIN. BUILDING SETBACKS, and CURRENT ZONING OF R-100 TO REMAIN ON TRACTS 2 AND 3.

SURVEYOR:

GUNNIN LAND SURVEYING, LLC
141 RAILROAD STREET, SUITE 116
CANTON, GEORGIA 30114
PHONE: 678.880.7502

OWNER:

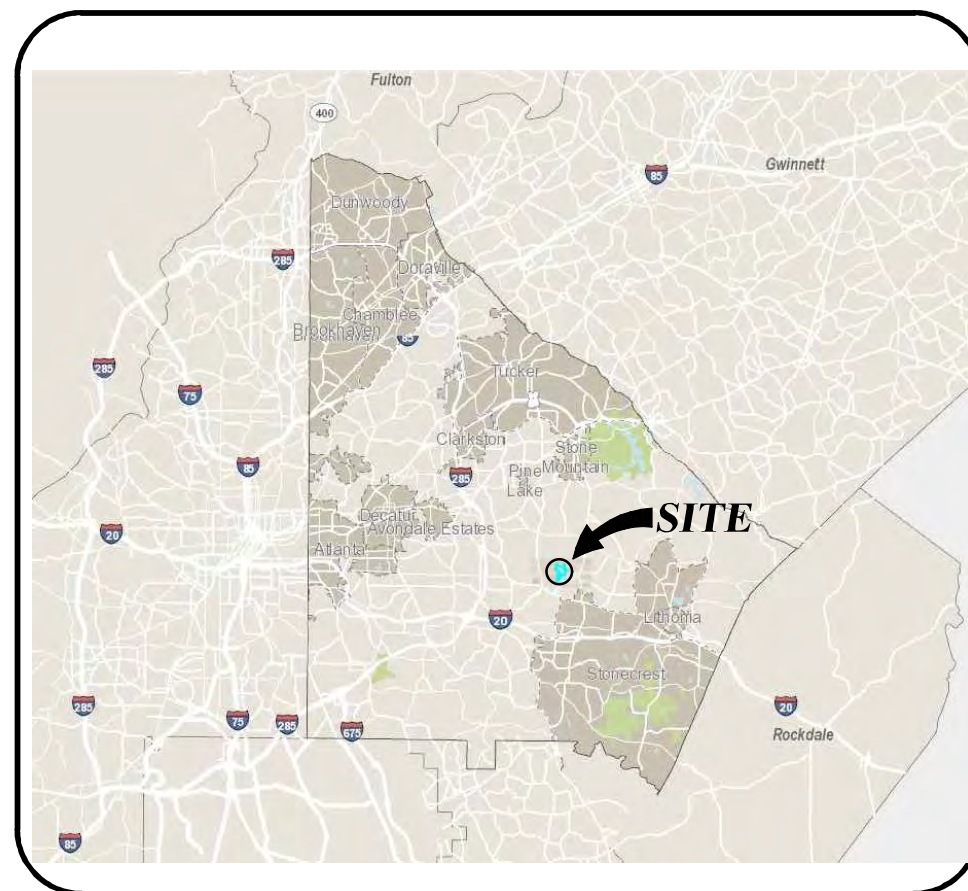
JLD HIDDEN HILLS LLC
840 EDGEWOOD RD S STE 220
JACKSONVILLE, FL 32205

DEVELOPER:

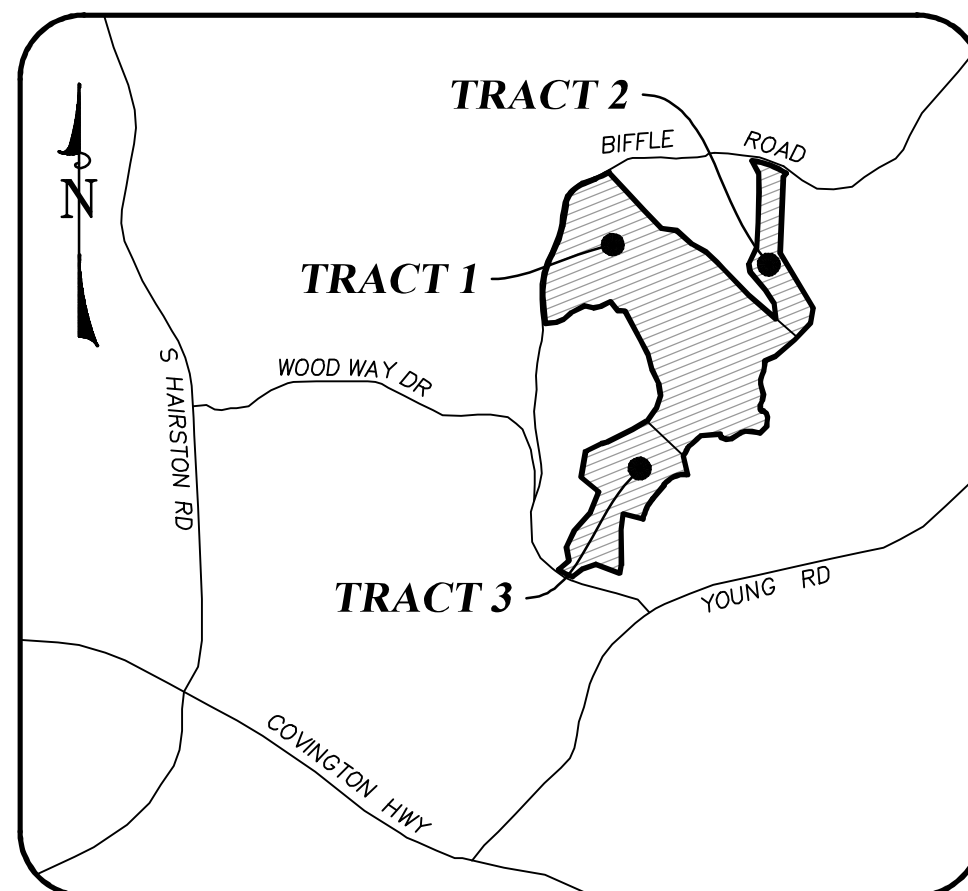
JLD HIDDEN HILLS LLC
840 EDGEWOOD RD S STE 220
JACKSONVILLE, FL 32205

SHEET INDEX:

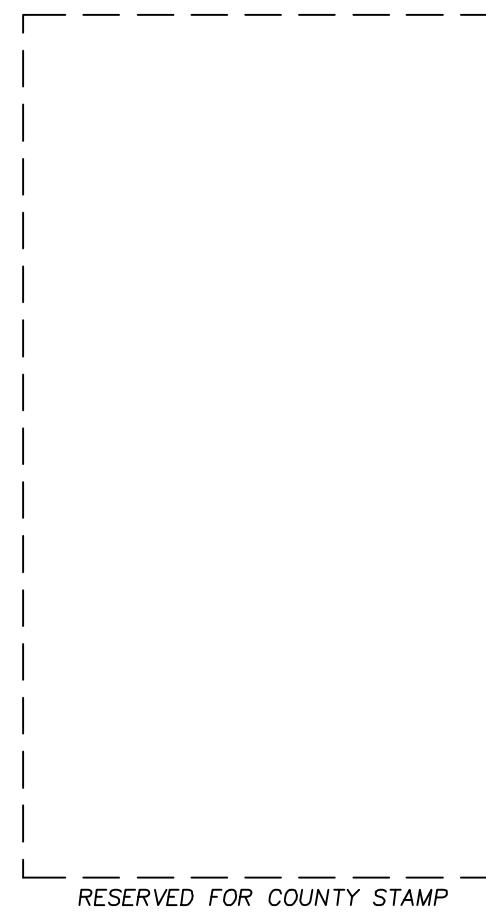
- 1- COVER
2- EXISTING CONDITIONS
3- EXISTING CONDITIONS (CONT.)
4- SITE PLAN
5- SITE PLAN (CONT.)



COUNTY MAP (NOT TO SCALE)



VICINITY/PARCEL MAP (NOT TO SCALE)



RESERVED FOR PLAT FILING

CLOSURE STATEMENT

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS AN ANGULAR ERROR OF 1 SECOND PER ANGLE POINT AND A PRECISION RATIO OF 1 IN 84,833. IT HAS BEEN ADJUSTED USING THE COMPASS RULE.

THE DATA SHOWN ON THIS PLAT HAS A CLOSURE PRECISION RATIO OF THE FOLLOWING:

- 1 IN 2,261,552 (OVERALL)
1 IN 783,903 (TRACT 1)
1 IN 479,846 (TRACT 2)
1 IN 312,320 (TRACT 3)

GENERAL NOTES

EQUIPMENT USED TO OBTAIN THESE MEASUREMENTS WAS A TRIMBLE S5 TOTAL STATION.

BEARINGS ARE CALCULATED FROM ANGLES TURNED FROM A SINGLE GRID BASELINE.

THE DATUM FOR THIS SITE WAS ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEMS AND BASED ON POSITIONAL VALUES FOR THE VIRTUAL REFERENCE STATION NETWORK DEVELOPED BY GPS SOLUTIONS. THE HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983(HARN)-STATE PLANE COORDINATE SYSTEM OF GEORGIA-WEST ZONE. THE VERTICAL REFERENCE FRAME IS NORTH AMERICAN VERTICAL DATUM OF 1988. ANY DIRECTIONS OR DIMENSIONS SHOWN ARE A RECTANGULAR, GROUND LEVEL PROJECTION OF THE STATE PLANE COORDINATE SYSTEM.

CONTOURS SHOWN ARE APPROXIMATE PER DEKALB COUNTY LIDAR FLOWN IN 2010 AND STORED WITH THE USGS (TILE 580 & 614). CONTOUR INTERVAL IS 2'.

DATE OF FIELD WORK COMPLETION: 03/17/22

ALL IRON PINS SET ARE 1/2" REBARS CAPPED WITH "GUNNIN LSF 1033" UNLESS OTHERWISE NOTED.

BY GRAPHIC PLOTTING ONLY, PORTIONS OF THIS SITE ARE SHOWN TO BE WITHIN THE LIMITS OF A 100 YR. FLOOD HAZARD AREA, LABELED AS ZONE AE, AS PER F.I.R.M. DEKALB COUNTY, GEORGIA AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 13089C01564, DATED 5/16/2013.

THE SURVEY AND PLAT SHOWN HEREON IS NOT INTENDED FOR USE OR RELIANCE BY ANY PARTIES OR ENTITIES NOT SPECIFICALLY LISTED IN THE TITLE. UNAUTHORIZED THIRD PARTIES SHALL INDEMNIFY AND HOLD GUNNIN LAND SURVEYING, LLC HARMLESS AGAINST ANY AND ALL LIABILITY FOR ANY LOSS ARISING OUT OF, OR RELATED TO, RELIANCE BY ANY THIRD PARTY ON ANY WORK PERFORMED THEREUNDER, OR THE CONTENTS OF THE SURVEY.

ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS. UNDERGROUND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY. THE INFORMATION SHOWN ON THIS DRAWING CONCERNING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE OWNER, ARCHITECT, CONTRACTOR AND THEIR AGENTS ARE RESPONSIBLE FOR MAKING THEIR OWN DETERMINATIONS AS TO THE ACTUAL SIZE, TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. INTERIOR EXISTING IMPROVEMENTS NOT SHOWN AS PART OF THIS PLAT.

CURRENT SITE ADDRESS IS LISTED AS:
5083 BIFFLE ROAD
STONE MOUNTAIN, GA 30088

THE CURRENT PARCEL IDENTIFICATION NUMBER IS 16 028 01 001.

TRACT 1 = 54.355± ACRES
TRACT 2 = 8.011 ACRES
TRACT 3 = 14.886± ACRES
TOTAL AREA = 77.252± ACRES

TRACT 1 AREA OUTSIDE 100-YR FLOOD PLAIN = 44.727± AC. (82%)
TRACT 2 AREA OUTSIDE 100-YR FLOOD PLAIN = 7.214± AC. (90%)
TRACT 3 AREA OUTSIDE 100-YR FLOOD PLAIN = 7.596± AC. (51%)
TOTAL AREA OUTSIDE 100-YR FLOOD PLAIN = 59.537± AC.

ABBREVIATIONS

Table listing abbreviations for various survey features like ACCESS EASEMENT, BACK OF CURB, BENCHMARK, BUILDING SETBACK LINE, CURB AND GUTTER, CENTERLINE, CHAIN LINK FENCE, CONCRETE MOWER FOUND, CONCRETE, CRIMPED TOP PIPE, DEED BOOK, DRAINAGE EASEMENT, EXISTING, EDGE OF PAVEMENT, FENCE, LAND LOT LINE, OPEN TOP PIPE, PLAT BOOK, PAGE, POINT OF BEGINNING, POINT OF COMMENCEMENT, PROPOSED, RIGHT OF WAY, SANITARY SEWER, SANITARY SEWER EASEMENT, PROPERTY LINE, SANITARY SEWER MANHOLE, CURB INLET, DROP INLET, DOUBLE WING CATCH BASIN, FLARED END SECTION, HEADWALL, JUNCTION BOX, TELEPHONE MANHOLE, TELEPHONE PEDESTAL, FIRE HYDRANT, IRRIGATION CONTROL VALVE, WATER MANHOLE, WATER METER, WATER VALVE, WATER MAIN.

SYMBOL LEGEND

Table showing symbols for features like 1/2" REBAR FOUND, 1/2" REBAR SET, RIGHT-OF-WAY MONUMENT, ADJOINING LOT NUMBER, LAND LOT NUMBER, BOLLARD, SIGN, CABLE TV BOX, CABLE TV MANHOLE, CABLE TV PEDESTAL, ELECTRIC BOX, ELECTRIC METER, ELECTRIC PEDESTAL, GUY WIRE AND ANCHOR, LIGHT POLE (LP), POWER POLE (PP), TRANSFORMER, SANITARY SEWER CLEAN OUT, SANITARY SEWER MANHOLE, DOUBLE WING CATCH BASIN, SINGLE WING CATCH BASIN, CURB INLET, DROP INLET, FLARED END SECTION, HEADWALL, JUNCTION BOX, WEIR INLET, TELEPHONE BOX, TELEPHONE MANHOLE, TELEPHONE PEDESTAL, FIRE HYDRANT, IRRIGATION CONTROL VALVE, WATER MANHOLE, WATER METER, WATER VALVE, WATER MAIN.

- (A) 25' STATE UNDISTURBED STREAM BUFFER
(B) 75' COUNTY UNDISTURBED STREAM BUFFER

LINE TYPE LEGEND

Table showing line types for ADJOINING PROPERTY LINE, RIGHT-OF-WAY CENTERLINE, CREEK CENTERLINE, LAND LOT LINE, METAL FENCE, WIRE FENCE, WOOD FENCE, GUARDRAIL, RAILROAD TRACK, OVERHEAD UTILITY LINE, UNDERGROUND UTILITY LINE, UNDERGROUND CABLE TV LINE, UNDERGROUND ELECTRIC LINE, UNDERGROUND FIBER OPTIC LINE, UNDERGROUND GAS PIPE, UNDERGROUND SANITARY SEWER PIPE, UNDERGROUND STORM SEWER PIPE, UNDERGROUND STREET LIGHTING LINE, UNDERGROUND TELEPHONE LINE.

LINE TABLE

Table with columns: LINE, BEARING, DISTANCE. Lists line segments L1 through L8 with their respective bearings and distances.

CURVE TABLE

Table with columns: CURVE, ARC LENGTH, RADIUS, CHORD BEARING, CHORD LENGTH. Lists curves C1 through C9 with their respective arc lengths, radii, chord bearings, and chord lengths.

COUNTY APPROVAL

THIS SKETCH PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE PLANNING COMMISSION OF DEKALB COUNTY, ON THIS ____ DAY OF ____, 2023.
(PURSEY) (BY DIRECTOR)
PLANNING COMMISSION CHAIRMAN
DEKALB COUNTY, GEORGIA

CERTIFICATE OF CONFORMITY

I, ZACHARY R. WEISEL, HEREBY CERTIFY THAT NO LOTS PLATTED WITHIN THIS SUBDIVISION ARE NON-CONFORMING OR WILL RESULT IN ANY NON-CONFORMING LOTS.

ZACHARY R. WEISEL, GA RLS NO. 3473
DATE 02.27.24

GUNNIN LAND SURVEYING, LLC
141 RAILROAD STREET, SUITE 116
CANTON, GA 30114

SURVEYOR'S CERTIFICATE (STATE OF GEORGIA)

AS REQUIRED BY SUBSECTION (b) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS. HEREON, SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

ZACHARY R. WEISEL, GA RLS NO. 3473
DATE 02.27.24

REVISION

DATE

SKETCH PLAT FOR:
HIDDEN HILLS AT BIFFLE ROAD
(16 028 01 001) - 5083 BIFFLE ROAD, STONE MOUNTAIN, GA 30088)
LOCATED IN LAND LOTS 27 AND 28
16th DISTRICT
DEKALB COUNTY, GEORGIA
FEBRUARY 27, 2024

ZACHARY R. WEISEL
www.gunninlandsurveying.com
678.880.7502
Georgia LSF 00033 - Gunnin Land Surveying, LLC



DRAWN BY: JZC
CHECKED BY: ZRW

PROJECT NO. 21088

SHEET 1 OF 5

RESERVED FOR PLAT FILING

RESERVED FOR COUNTY STAMP

SYMBOL LEGEND

- I.P.F. 1/2" REBAR FOUND
- I.P.S. 1/2" REBAR SET
- R.O.W. RIGHT-OF-WAY MONUMENT FOUND
- A.D. ADJOINING LOT NUMBER
- L.L. LAND LOT NUMBER
- BOLLARD
- SIGN
- CABLE TV BOX
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- ELECTRIC BOX
- ELECTRIC METER
- ELECTRIC PEDESTAL
- GUY WIRE AND ANCHOR
- LIGHT POLE (LP)
- POWER POLE (PP)
- TRANSFORMER
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- DOUBLE WING CATCH BASIN
- SINGLE WING CATCH BASIN
- CURB INLET
- DROP INLET
- FLARED END SECTION
- HEADWALL
- JUNCTION BOX
- NEAR INLET
- TELEPHONE BOX
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- WATER MANHOLE
- WATER METER
- WATER VALVE
- WATER VAULT

ABBREVIATIONS

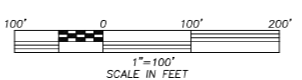
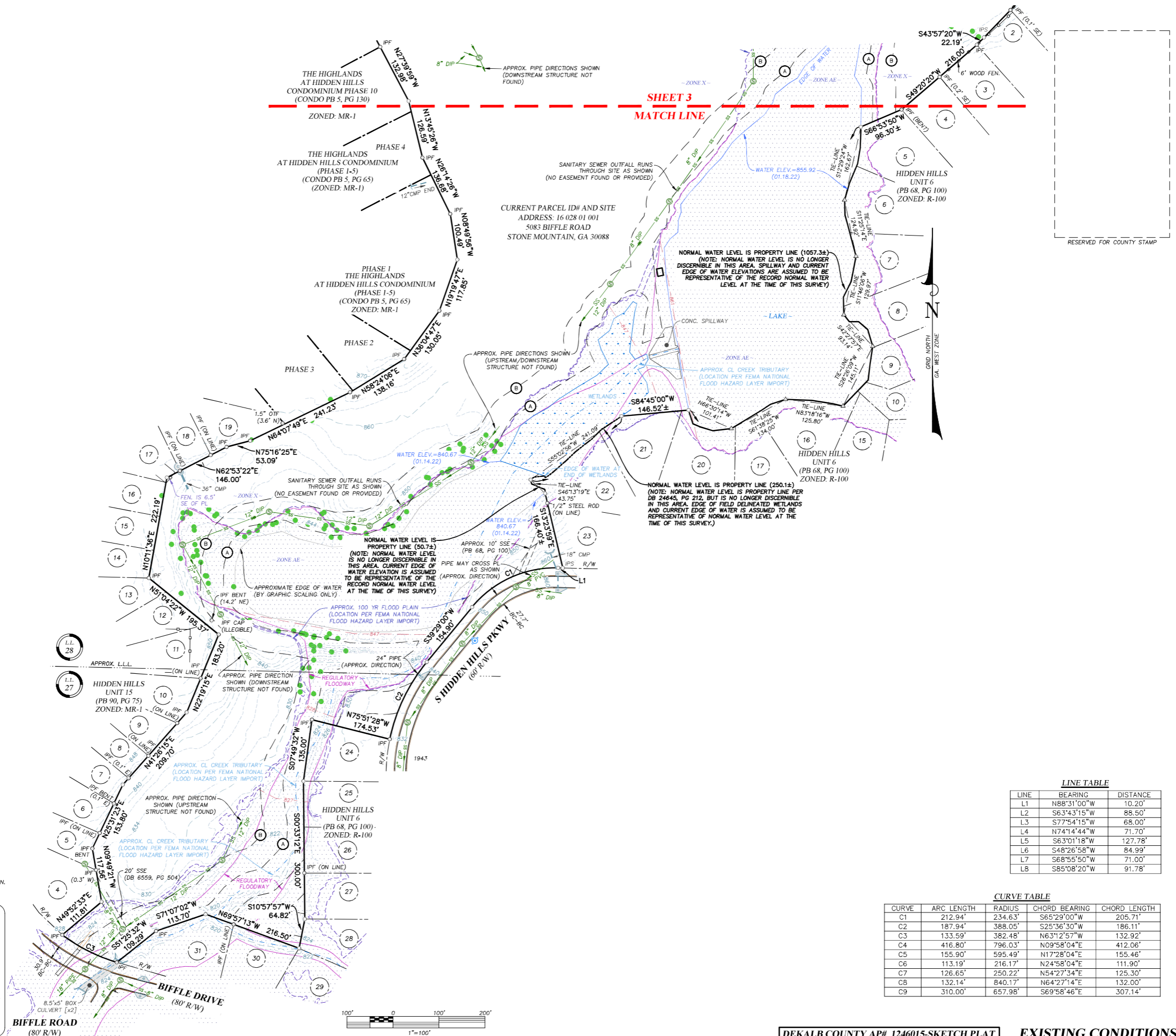
- A.E. ACCESS EASEMENT
- BC BACK OF CURB
- BM BENCHMARK
- BSL BUILDING SETBACK LINE
- C&G CURB AND GUTTER
- CL CENTERLINE
- C.L.F. CHAIN LINK FENCE
- C.M.F. CONCRETE MONUMENT FOUND
- CONC. CONCRETE
- CTP CRIMPED TOP PIPE
- DE DEED BOOK
- D.E. DRAINAGE EASEMENT
- EX EXISTING
- EP EDGE OF PAVEMENT
- FEN. FENCE
- LLL. LAND LOT LINE
- OTP OPEN TOP PIPE
- PB PLAT BOOK
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PROP. PROPOSED
- R/W RIGHT OF WAY
- SS SANITARY SEWER
- S.S.E. SANITARY SEWER EASEMENT
- P.L. PROPERTY LINE
- SSMH SANITARY SEWER MANHOLE
- CI CURB INLET
- DI DROP INLET
- DWCB DOUBLE WING CATCH BASIN
- FES FLARED END SECTION
- HW HEADWALL
- JB JUNCTION BOX
- OCS OUTLET CONTROL STRUCTURE
- SWCB SINGLE WING CATCH BASIN
- CMP CORRUGATED METAL PIPE
- DIP DUCTILE IRON PIPE
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE

- (A) 25' STATE UNDISTURBED STREAM BUFFER
- (B) 75' COUNTY UNDISTURBED STREAM BUFFER

*NOTE: APPROXIMATE CREEKS LOCATIONS AND BUFFERS ARE SHOWN FOR REFERENCE ONLY PER FEMA NATIONAL FLOOD HAZARD LAYER IMPORT. CREEKS (AND SUBSEQUENT BUFFERS) SHOULD BE FIELD VERIFIED PRIOR TO FUTURE DEVELOPMENT AND ARE SUBJECT TO STATE WATERS DETERMINATION.

LINE TYPE LEGEND

- ADJOINING PROPERTY LINE
- RIGHT-OF-WAY CENTERLINE
- CREEK CENTERLINE
- LAND LOT LINE
- METAL FENCE
- WIRE FENCE
- WOOD FENCE
- GUARDRAIL
- RAILROAD TRACK
- OVERHEAD UTILITY LINE
- UNDERGROUND CABLE TV LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND GAS PIPE
- UNDERGROUND SANITARY SEWER PIPE
- UNDERGROUND STORM SEWER PIPE
- UNDERGROUND STREET LIGHTING LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND TRAFFIC LINE
- UNDERGROUND WATER PIPE



SHEET 3
MATCH LINE

LINE TABLE

LINE	BEARING	DISTANCE
L1	N88°31'00"W	10.20'
L2	S63°43'15"W	88.50'
L3	S77°54'15"W	68.00'
L4	N74°14'44"W	71.70'
L5	S63°01'18"W	127.78'
L6	S48°26'58"W	84.99'
L7	S68°55'50"W	71.00'
L8	S85°08'20"W	91.78'

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	212.94'	234.63'	S65°29'00"W	205.71'
C2	187.94'	388.05'	S25°36'30"W	186.11'
C3	133.59'	382.48'	N63°12'57"W	132.92'
C4	416.80'	796.03'	N09°58'04"E	412.06'
C5	155.90'	595.49'	N17°28'04"E	155.46'
C6	113.19'	216.17'	N24°58'04"E	111.90'
C7	126.65'	250.22'	N54°27'34"E	125.30'
C8	132.14'	840.17'	N64°27'14"E	132.00'
C9	310.00'	657.98'	S69°58'46"E	307.14'

DEKALB COUNTY AP# 1246015-SKETCH PLAT

EXISTING CONDITIONS

REVISION

DATE

SKETCH PLAT FOR:
HIDDEN HILLS AT BIFFLE ROAD
 (16 028 01 001 - 5083 BIFFLE ROAD, STONE MOUNTAIN, GA 30088)
 LOCATED IN LAND LOTS 27 AND 28
 100 DISTRICT
 DEKALB COUNTY, GEORGIA
 FEBRUARY 27, 2024

G U N V E
S U R V E Y

www.gmsurvey.com
 141 Railroad Street, Suite 116
 Canton, Georgia 30114
 404.680.7502
 Georgia LSP #00031 - Georgia Land Surveyors, LLC



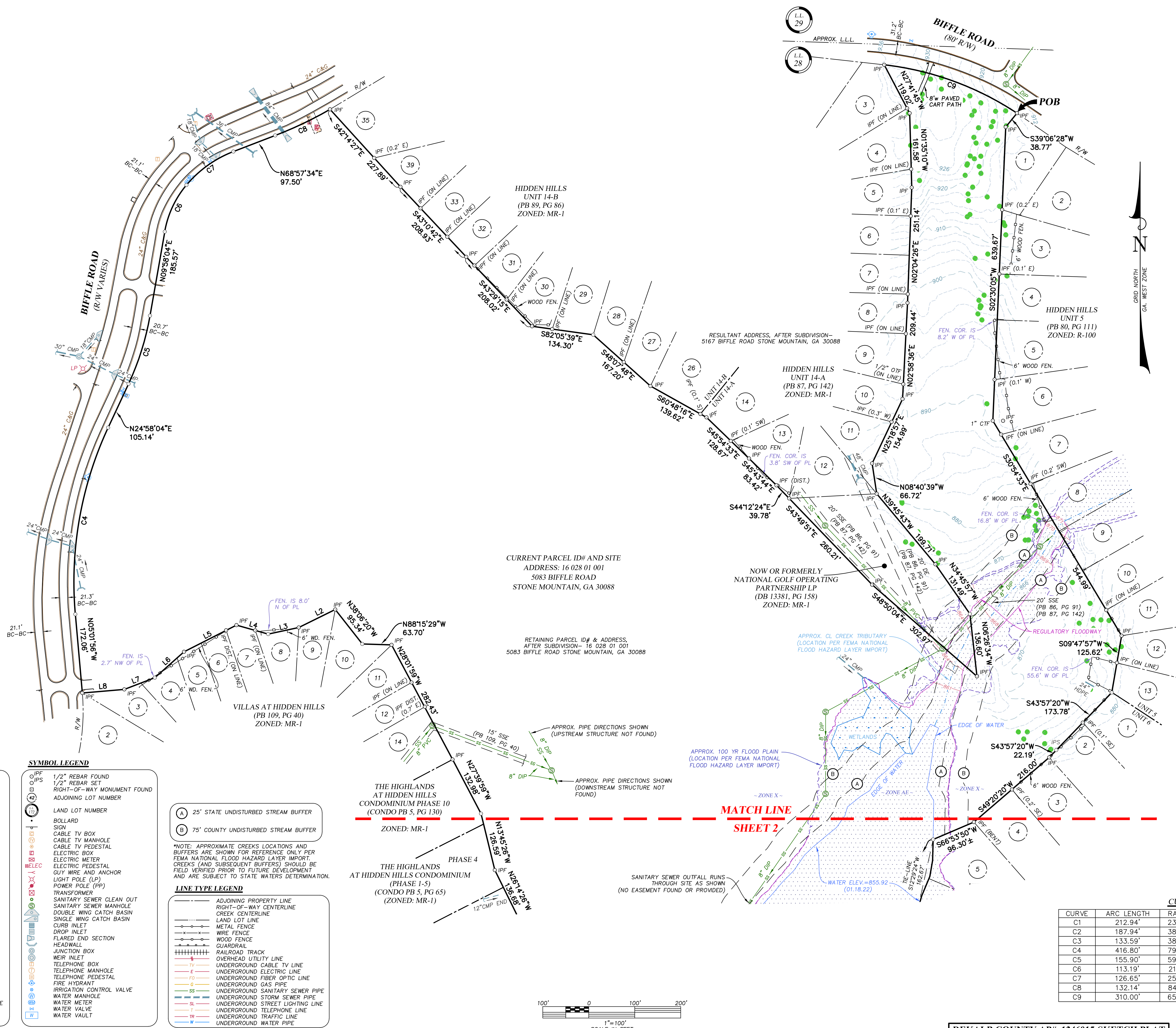
DRAWN BY: JZC
 CHECKED BY: ZRW

PROJECT NO 21088

SHEET	OF
2	5

RESERVED FOR PLAT FILING

RESERVED FOR COUNTY STAMP



ABBREVIATIONS

- A.E. ACCESS EASEMENT
- BC. BACK OF CURB
- BSL. BUILDING SETBACK LINE
- C&G. CURB AND GUTTER
- C.L. CENTERLINE
- C.L.F. CHAIN LINK FENCE
- CMF. CONCRETE MONUMENT FOUND
- CONC. CONCRETE
- CTP. CRIMPED TOP PIPE
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- L.L.L. LAND LOT LINE
- OTP. OPEN TOP PIPE
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- PS. PAGE
- POB. POINT OF BEGINNING
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- R/W. RIGHT OF WAY
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- DIP. DUCTILE IRON PIPE
- HDPE. HIGH DENSITY POLYETHYLENE PIPE
- PVC. POLYVINYL CHLORIDE PIPE
- PCP. REINFORCED CONCRETE PIPE

SYMBOL LEGEND

- IPF. 1/2" REBAR FOUND
- OPS. 1/2" REBAR SET
- RT. RIGHT-OF-WAY MONUMENT FOUND
- ADJ. ADJOINING LOT NUMBER
- LAND LOT NUMBER
- BOLLARD
- SIGN
- CABLE TV BOX
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- ELECTRIC BOX
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- (A) 25' STATE UNDISTURBED STREAM BUFFER
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LINE TYPE LEGEND

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LINE TABLE

LINE	BEARING	DISTANCE
L1	N88°31'00"W	10.20'
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CURVE TABLE

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
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REVISION

DATE

SKETCH PLAT FOR:
HIDDEN HILLS AT BIFFLE ROAD
 (16 028 01 001, 5083 BIFFLE ROAD, STONE MOUNTAIN, GA 30088)
 LOCATED IN LAND LOTS 27 AND 28
 16th DISTRICT
 DEKALB COUNTY, GEORGIA
 FEBRUARY 27, 2024

**Z I N Y
G U N V E
S U R V E Y**

www.guniversity.com
 141 Railroad Street, Suite 116
 Canton, Georgia 30114
 678.850.7502

Georgia LSP 00033 - Gunter Land Surveying, LLC



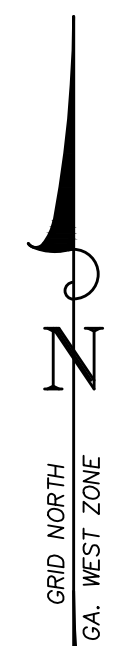
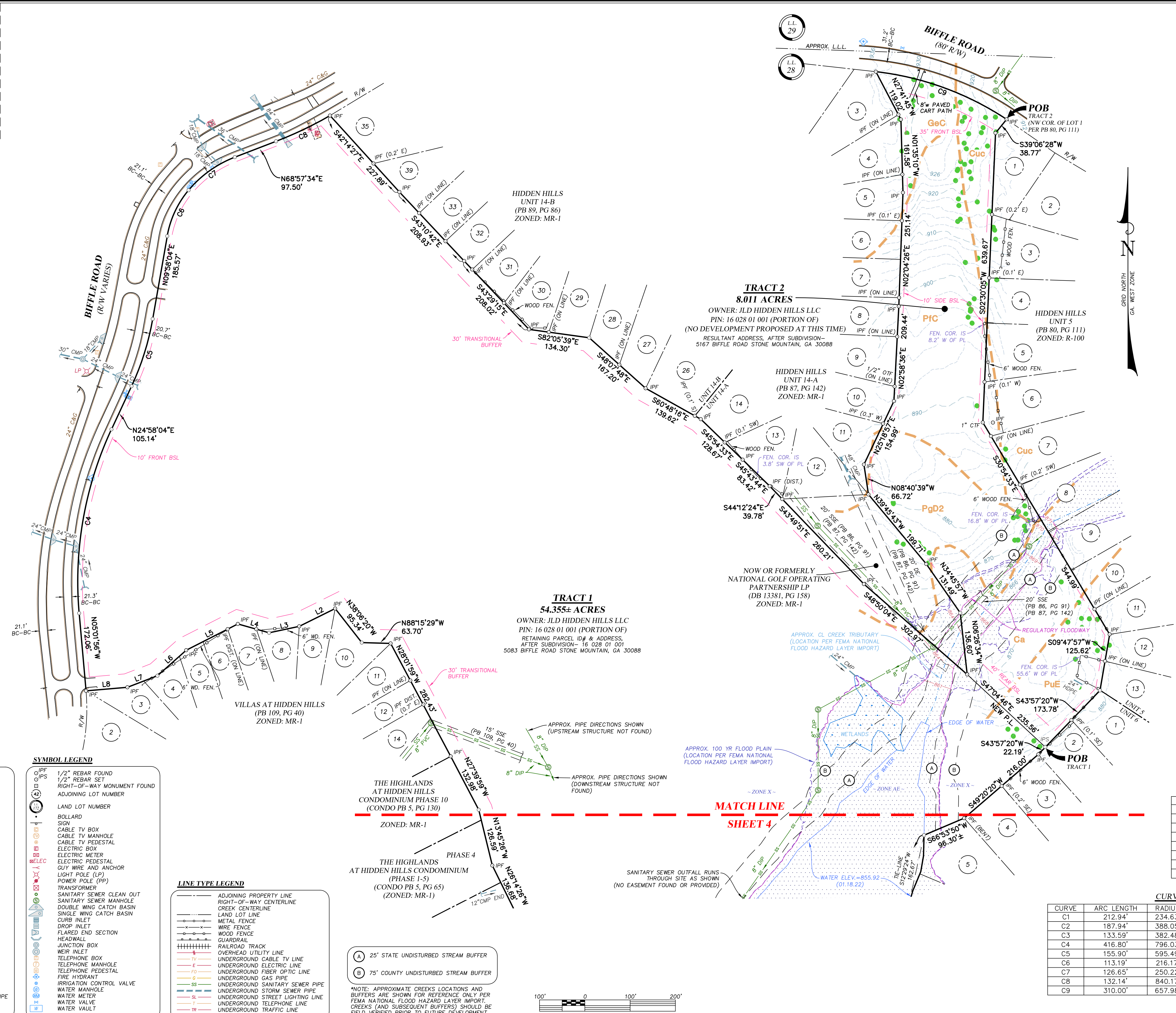
DRAWN BY: JZC
 CHECKED BY: ZRW

PROJECT NO. 21088

SHEET OF
3 5

RESERVED FOR PLAT FILING

RESERVED FOR COUNTY STAMP



ABBREVIATIONS

- A.E. ACCESS EASEMENT
- BC BACK OF CURB
- BM BENCHMARK
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- C&G CURBS AND GUTTER
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SYMBOL LEGEND

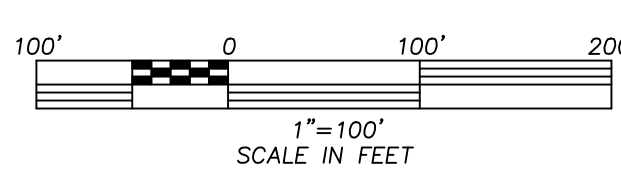
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- (A) 25' STATE UNDISTURBED STREAM BUFFER
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REVISION

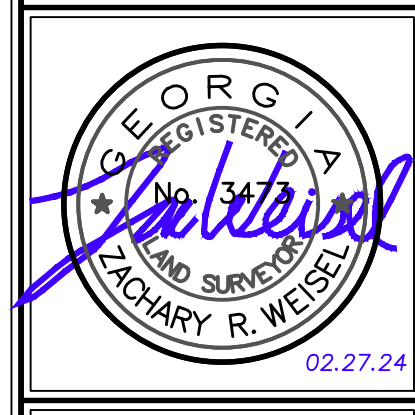
NO.	DATE	DESCRIPTION

SKETCH PLAT FOR:
HIDDEN HILLS AT BIFFLE ROAD
 (16 028 01 001 - 5083 BIFFLE ROAD, STONE MOUNTAIN, GA 30088)
 LOCATED IN LAND LOTS 27 AND 28
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Georgia LSP 00033 - Gunter Land Surveying, LLC



DRAWN BY: JZC
 CHECKED BY: ZRW

PROJECT NO. 21088

SHEET 5 OF 5

DEKALB COUNTY AP# 1246015-SKETCH PLAT

SITE PLAN

THIS SKETCH PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE PLANNING COMMISSION OF DEKALB COUNTY, ON THIS _____ DAY OF _____ 20__.

BY: _____ (BY DIRECTOR)
PLANNING COMMISSION CHAIRMAN
DEKALB COUNTY, GEORGIA

UTILITY NOTES:

- 1. WATER MAIN TO BE PUBLIC 8-INCH D.I.P. LINE WITH A 5' ACCESS AND UTILITY EASEMENT ON MAIN ROADS, 20"-24" EASEMENT ON ALLEYS, AND 20"-24" UTILITY EASEMENT FOR ACCESS AND MAINTENANCE (WATER PROVIDED BY DEKALB COUNTY).
- 2. SANITARY SEWER SYSTEM (SEWER PROVIDED BY DEKALB COUNTY) TO BE PUBLIC 8-INCH D.I.P. LINE WITH A 5' ACCESS AND UTILITY EASEMENT ON MAIN ROADS, 24"-30" EASEMENT ON ALLEYS, AND 20"-24" SANITARY SEWER EASEMENT FOR ACCESS AND MAINTENANCE.
- 3. SANITARY SEWER MAIN SHALL BE 8" D.I.P. @ 1% (MIN) WITH 4" COVER.
- 4. ALL SANITARY SEWER LINES INSTALLED WITHIN THE ROADWAY SHALL BE DIP.
- 5. EACH ADDRESS WILL HAVE SEPARATE SANITARY SEWER LATERAL.
- 6. EACH ADDRESS WILL HAVE SEPARATE 3/4" WATER METER.
- 7. DEKALB COUNTY SANITATION WILL BE RESPONSIBLE FOR HANDLING NON-HAZARDOUS HOUSEHOLD WASTE, YARD DEBRIS, AND RECYCLABLE MATERIAL.
- 8. DRAINAGE IMPROVEMENTS SHALL ACCOMMODATE POTENTIAL RUNOFF FROM THE ENTIRE UPSTREAM DRAINAGE AREA AND SHALL BE DESIGNED TO PREVENT INCREASED DOWNSTREAM FLOODING AS REQUIRED PER THE COUNTY STORMWATER MANAGEMENT REQUIREMENTS. STORMWATER QUALITY MANAGEMENT FACILITIES SHALL BE ADEQUATE AS REQUIRED BY THE DEKALB COUNTY CODES. DEKALB COUNTY MAY REQUIRE THE USE OF CONTROL MEASURES SUCH AS RETENTION OR DETENTION, AND OR THE CONSTRUCTION OF OFF-SITE DRAINAGE IMPROVEMENTS TO MITIGATE THE IMPACTS OF THE PROPOSED DEVELOPMENTS.
- 9. RECORDED OFF-SITE SEWER EASEMENT REQUIRED PRIOR TO ISSUANCE OF DEVELOPMENT PERMIT.

SKETCH PLAT NOTES:

- 1. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY GUNNIN LAND SURVEYING DATED 02-27-2024.
- 2. I HAVE EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR DEKALB COUNTY, GEORGIA AND INCORPORATED AREAS COMMUNITY PANEL NUMBER 1300000000, PANEL 05, OF 201, EFFECTIVE DATE MAY 16, 2013 AND THE PROPERTY FALLS WITHIN A DESIGNATED FLOODWAY AND FLOOD ZONE "VE".
- 3. SITE IS LOCATED IN THE 16TH DISTRICT, LAND LOT 27 AND 28 IN DEKALB COUNTY, GEORGIA WITHIN THE COUNTY OF DEKALB. THE PROPOSED SITE PLAN IS A MASTER PLANNED MIXED USE DEVELOPMENT CONSISTING OF 131 ATTACHED SENIOR UNITS, 55 FRONT ENTRY TOWNHOMES AND 44 DETACHED SINGLE FAMILY LOTS WITH A 3,000 SF CLUBHOUSE AND AMENITY AREA WITH EXTENSIVE WALKING TRAILS AND ENHANCED OPEN SPACE, POCKET PARKS THROUGHOUT THE DEVELOPMENT, SUPPORTING INFRASTRUCTURE INCLUDING THREE STORMWATER DETENTION PONDS WHICH WILL BE INTEGRATED INTO THE SITE'S ENHANCED OPEN SPACE AREAS.
- 4. THE EXISTING PARCEL NUMBER IS 16 028 01 001
- 5. THE PROPOSED SUBDIVISION WILL BE SUBJECT TO PRIVATE COVENANTS AND A HOMEOWNERS ASSOCIATION WILL BE ESTABLISHED.
- 6. THERE ARE STATE WATERS LOCATED ON SITE.
- 7. THERE ARE WETLANDS LOCATED ON SITE.
- 8. THERE IS NO KNOWN EXISTING INERT WASTE BURY PITS ON THE SITE.
- 9. THERE ARE NO NATURAL, ARCHAEOLOGICAL, OR HISTORIC RESOURCES LOCATED ON THE SITE ACCORDING TO GNRHRS MAPPER.
- 10. THE RECEIVING WATERS IS SNAPPING CREEK & BARBASHELA CREEK.
- 11. ELECTRIC SERVICES SHALL BE INSTALLED UNDERGROUND.
- 12. MINIMUM STORM PIPE SIZE WITHIN PUBLIC EASEMENT SHALL BE 18 INCHES.
- 13. THE LOWEST FINISHED FLOOR ELEVATION (FFE) OF ANY PROPOSED HOME OR BUILDING SHALL BE A MINIMUM OF 3 FEET ABOVE THE 100-YEAR DETENTION POND STORAGE ELEVATION AND/OR BILET PONDING ELEVATION.
- 14. THE HOME OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE INFRASTRUCTURE OUTSIDE PUBLIC RIGHT OF WAY.
- 15. THE HOMEOWNERS ASSOCIATION SHALL SUBMIT ANNUAL REPORT OF INSPECTIONS AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES TO DEKALB COUNTY ROADS AND DRAINAGE DIVISION (ATTN: STORMWATER MANAGER).
- 16. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES ON SITE.
- 17. ALL SINGLE-FAMILY RESIDENTIAL LOTS ON THIS PLAN ARE INCLUDED IN A SPECIAL TAXING DISTRICT FOR FUNDING THE MAINTENANCE OF PARKING PROVIDED IN THE DEVELOPMENT.
- 18. SPEED LIMIT ON BIFFLE ROAD IS 25 MPH.
- 19. NO PRIOR SUBDIVISIONS HAVE BEEN LOCATED ON SITE.
- 20. A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GA. E.P.D.
- 21. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS REQUIREMENTS REGARDING WETLANDS.
- 22. PAYMENT OF INSTALLATION OF STREET AND PEDESTRIAN LIGHTING ALONG PUBLIC FRONTAGE IS REQUIRED DURING L.P.
- 23. SKETCH PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THE STORM DRAINAGE OR SANITARY SEWER SYSTEM. NO CONSTRUCTION SHALL BEGIN UNTIL CONSTRUCTION PLANS ARE APPROVED AND DEVELOPMENT PERMIT IS OBTAINED.
- 24. STORMWATER MANAGEMENT FACILITIES AND BMP'S ARE CONCEPTUAL IN DESIGN AND MAY NEED TO BE MODIFIED AT TIME OF L.P.
- 25. PROPOSED PUBLIC ROADS WILL INCLUDE STORM WATER PIPES, SANITARY, WATER PIPES, AND INFRASTRUCTURE.
- 26. THERE ARE SLUP-25-1247527 ZONING CONDITIONS ON THE PROPERTY (SEE SHEET 21).
- 27. SKETCH PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THE PROPOSED LOCATION OF FIRE HYDRANTS AND FIRE APPARATUS ACCESS ROADS. NO CONSTRUCTION SHALL BEGIN UNTIL THE LAND DEVELOPMENT PERMIT HAS BEEN APPROVED AND OBTAINED.
- 28. STREET AND PEDESTRIAN LIGHTING TO BE PROVIDED DURING L.P. SUBMITTAL.
- 29. APPROVED VARIANCE CASE # N.A. A-25-1247786, APPROVAL DATE 11-12-2025 TO ALLOW GARAGES TO FACE PUBLIC STREETS AS PART OF A RESIDENTIAL DEVELOPMENT.
- 30. DEVELOPERS AND PROPERTY OWNERS ASSOCIATIONS SHALL ENSURE ACCESS TO ALL PRIVATE STREETS BY EMERGENCY AND LAW ENFORCEMENT VEHICLES AND SHALL ENSURE THAT PRIVATE STREETS ARE CONSTRUCTED TO ALLOW ACCESS BY ALL EMERGENCY VEHICLES AND LAW ENFORCEMENT VEHICLES.

ZONING NOTES:

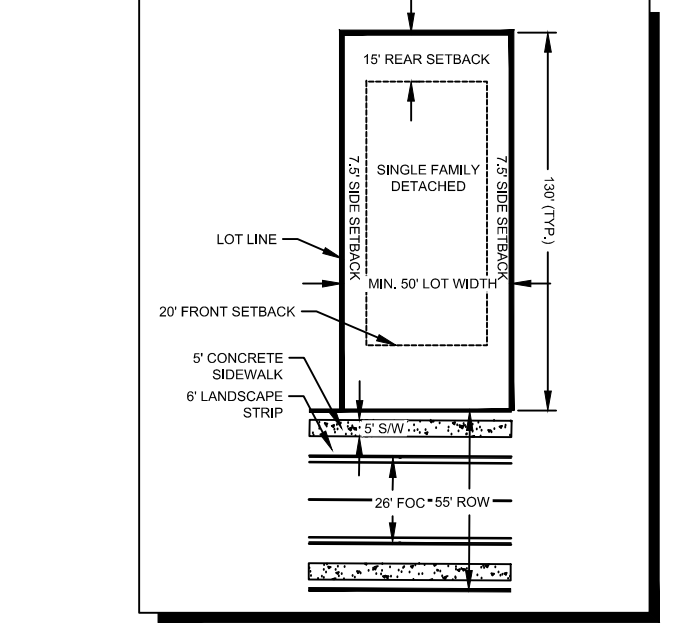
- 1. ALL APPROVED CONDITIONS SHALL BE NOTED ON THE SKETCH PLAT AND FINAL PLAN.
- 2. THE FINAL PLAN SHALL HAVE THE INDIVIDUAL UNITS AS DEPICTED ON SKETCH PLAT IN GENERAL LAYOUT ADDRESSED PER THE DEKALB COUNTY GIS DEPARTMENT AND PLATTED AS TAX PARCELS.
- 3. THE MINIMUM GROSS UNIT SIZE SHALL BE STATED ON PLAN AND THE TAX PARCEL DIMENSIONS NOTED.
- 4. A MANDATORY HOMEOWNERS ASSOCIATION SHALL BE REQUIRED FOR MAINTENANCE OF AREAS OUTSIDE OF RIGHT OF WAY.
- 5. ALL EASEMENTS SHALL BE PROVIDED SUBJECT TO THE REQUIREMENTS OF DEKALB COUNTY.
- 6. DRIVEWAYS SERVING INDIVIDUAL UNITS SHALL HAVE A MINIMUM LENGTH OF 20 FEET FROM FACE OF GARAGE TO BACK OF SIDEWALK ON FRONT LOADED UNITS, AND 20 FEET FROM FACE OF GARAGE TO BACK OF CURB ON REAR LOADED UNITS.
- 7. INDIVIDUAL WATER METERS SHALL BE PROVIDED TO EACH FEE SIMPLE LOT PER THE REQUIREMENTS OF THE DEKALB COUNTY WATERBURY DEPARTMENT. PROVIDE NECESSARY SEWER EASEMENTS. SEWER MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- 8. ONLY THE BUILDING FOOTPRINT SHALL BE CONSIDERED AS A LOT. ALL OTHER AREAS SHALL BE CONSIDERED COMMON AREA.
- 9. VEHICLES MAY NOT PARK IN ALLEYS DURING WEEKDAYS.
- 10. ALL RESIDENCES SHALL HAVE HOUSE NUMBERS ON THE ALLEY SIDE OF THE RESIDENCE.
- 11. ALLEY ADDRESSED TO BE ASSIGNED OFF ALLEYS.
- 12. ALL OTHER CONDITIONS, CODE AND DISTRICT REQUIREMENTS SHALL APPLY ACCORDINGLY.

LAND DEVELOPMENT NOTES:

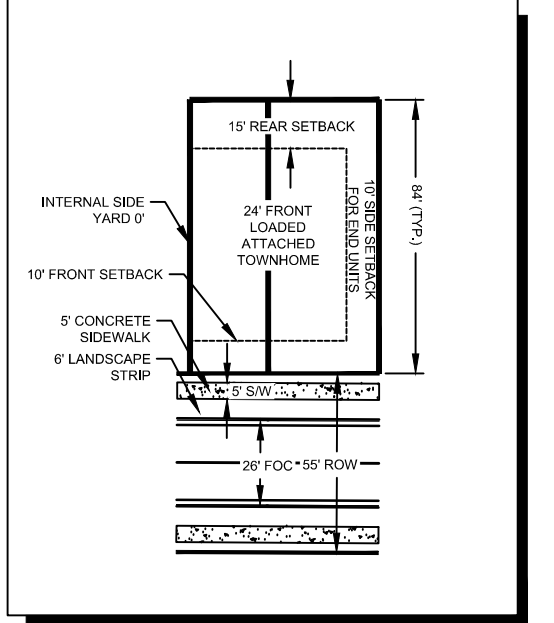
- 1. RRV AND INFILTRATION SHALL BE PROVIDED IN BIOTENTION PONDS, BIOSWALES, AND DRY WELLS FOR PRETREATMENT PRIOR TO ENTERING STORMWATER DETENTION PONDS.
- 2. A 6' LANDSCAPE STRIP AND 5' SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF PUBLIC ROADS INTERIOR TO SITE.

ZONING NOTES:

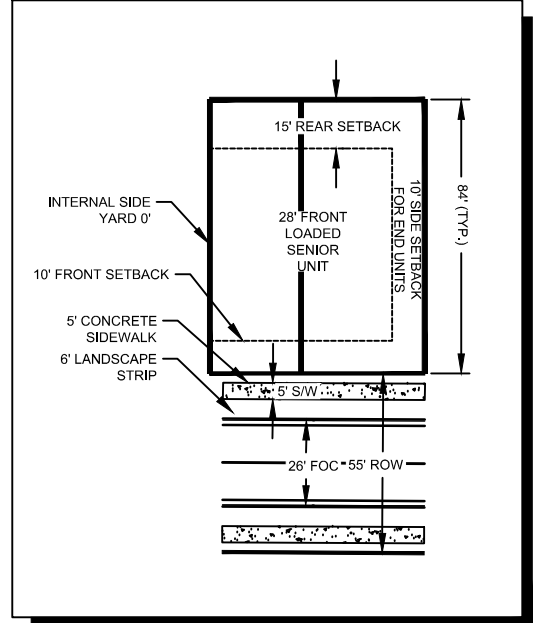
- 1. A COMMUNITY RECREATIONAL CENTER, CLUBHOUSE AND/OR FITNESS/HEALTH CENTER TO BE PROVIDED FOR OVERALL DEVELOPMENT WITHIN MASTER AMENITY AREA, PER SEC. 3.37.17.A OF THE GREATER HIDDEN HILLS OVERLAY.
- 2. 30 FOOT TRANSITIONAL BUFFER TO BE PROVIDED AROUND PERIMETER OF SITE PER SEC. 3.37.22 OF THE GREATER HIDDEN HILLS OVERLAY. BUFFER TO SERVE AS INTERPARCEL CONNECTION POINTS ONCE SITE IS DEVELOPED. LOCATIONS TO BE DETERMINED AND APPROVED BY DEKALB COUNTY PLANNING DIRECTOR.
- 3. 39.3 % OPEN SPACE PROVIDED THROUGHOUT SITE. OPEN SPACE AREAS TO BE AT GRADE AND DIRECTLY ACCESSIBLE FROM A PUBLIC SIDEWALK AND BUILDING ENTRANCES. OPEN SPACE AREAS TO PROVIDE CONNECTIVITY TO ANY EXISTING OR PLANNED NEARBY PUBLIC AMENITY INCLUDING, BUT NOT LIMITED TO, TRAIL NETWORKS, GREENSPACE OR PARK FACILITIES PER SEC. 3.37.23 OF THE GREATER HIDDEN HILLS OVERLAY.
- 4. SENIOR DEVELOPED FLOOR AREA SHALL COUNT TOWARDS 30% COMMERCIAL FAR SQUARE FOOTAGE.



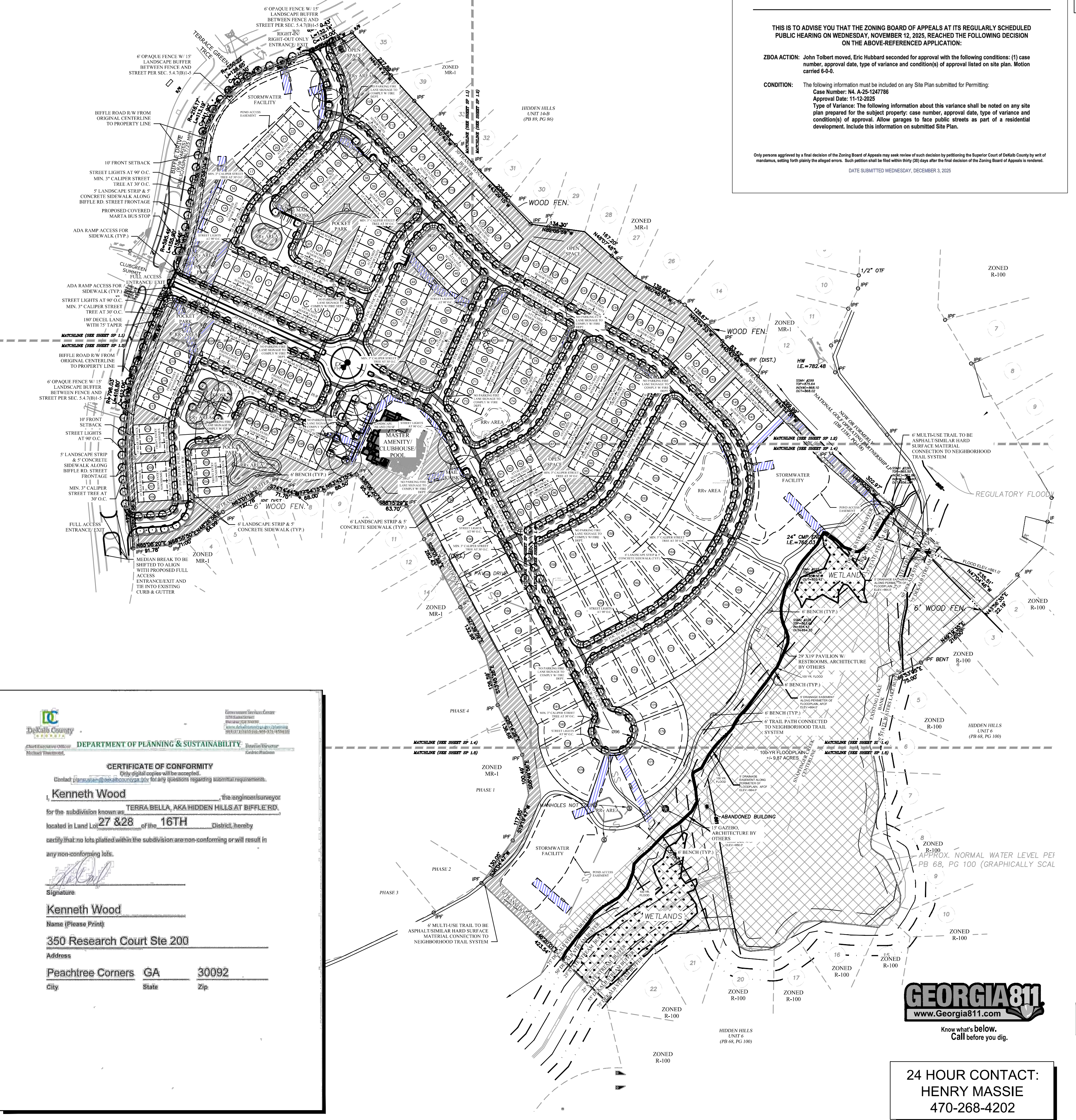
DETACHED SINGLE FAMILY TYPICAL LAYOUT NTS



24' X 54' ATTACHED FRONT LOADED TOWNHOME TYPICAL LAYOUT NTS

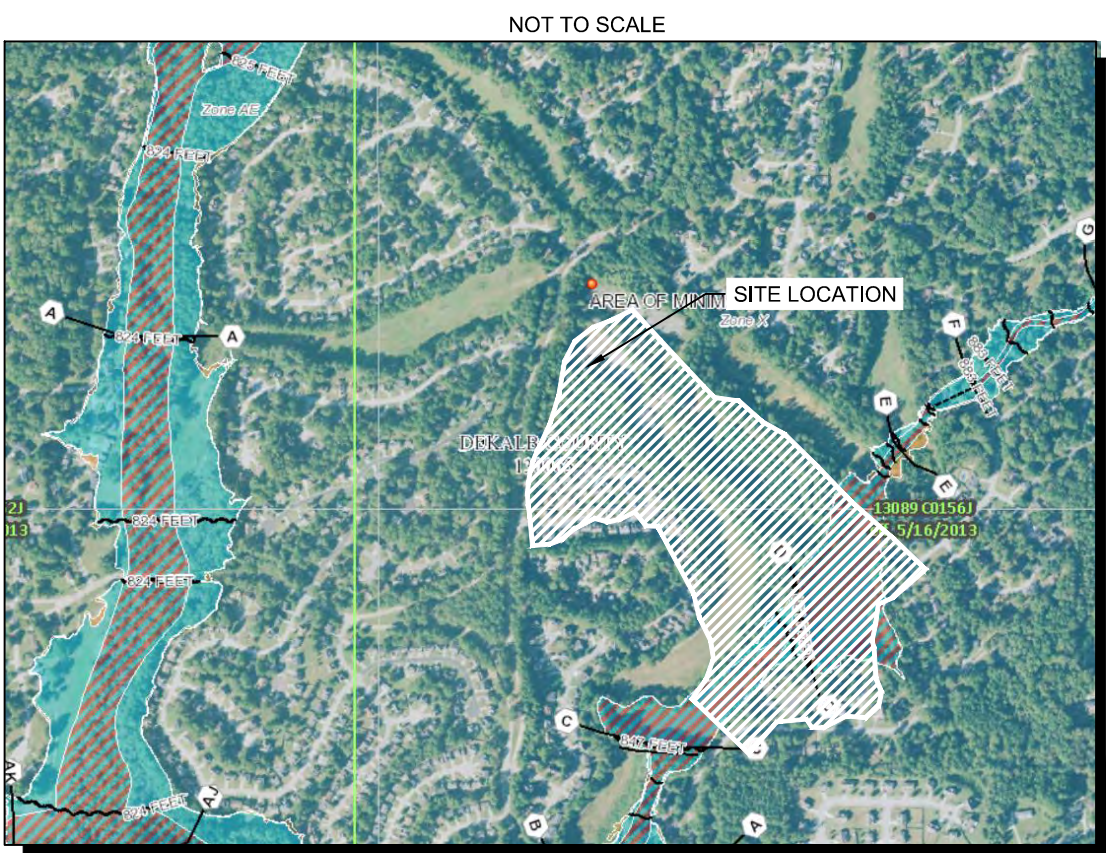
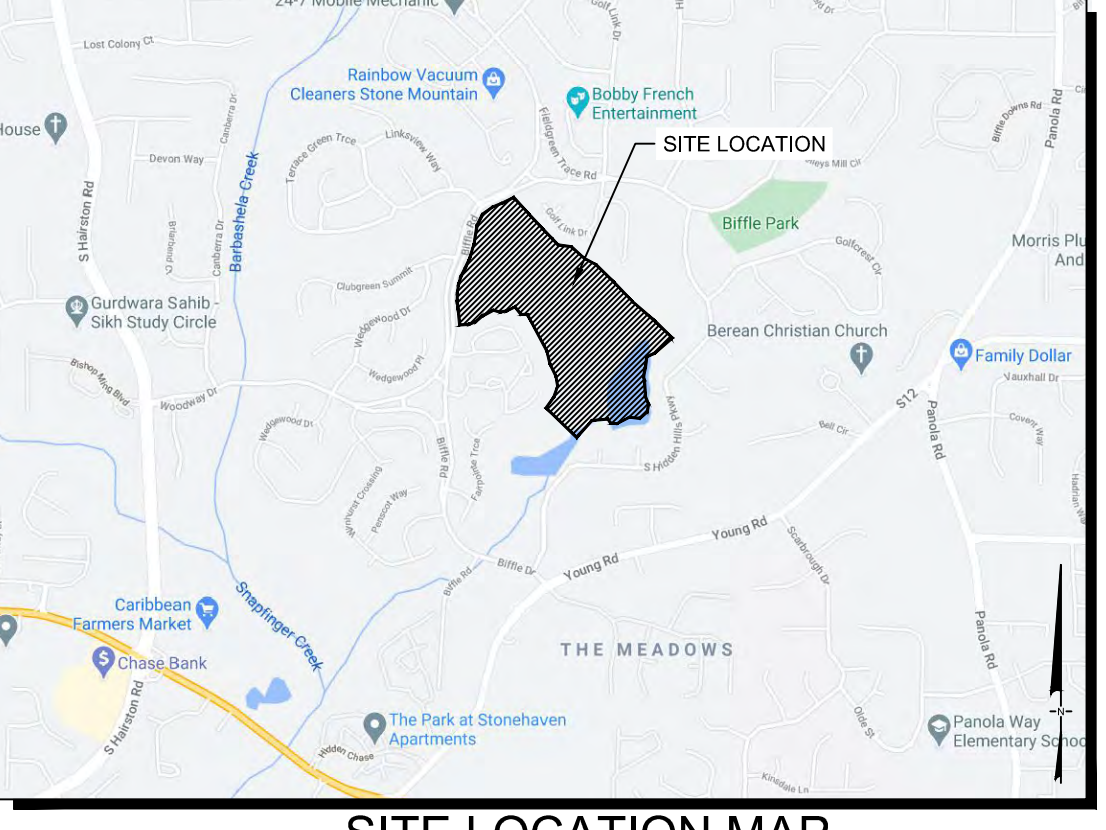


28' X 54' ATTACHED FRONT LOADED TOWNHOME TYPICAL LAYOUT NTS



DEKALB COUNTY DEPARTMENT OF PLANNING & SUSTAINABILITY
CERTIFICATE OF CONFORMITY
I, Kenneth Wood, the engineer/surveyor for the subdivision known as TERRA BELLA, AKA HIDDEN HILLS AT BIFFLE RD. located in Land Lot 27 & 28 of the 16TH District, hereby certify that no lots platted within the subdivision are non-conforming or will result in any non-conforming lots.
Signature: Kenneth Wood
Name (Please Print): Kenneth Wood
Address: 350 Research Court Ste 200
City: Peachtree Corners GA 30092

Planning & Sustainability Department
Current Planning Zoning Division
DeKalb County Zoning Board of Appeals
November 12, 2025 Meeting
Decision Letter
Commission District 05 Super District 07
Application #: NA-A-25-1247786 Parcel ID(s): 16 028 01 001
Applicant: Hayley Todd, PE+ 350 Research Center, Suite 200 Norcross, GA 30092
Owner: JLD Hidden Hills LLC 840 Edgewood Road S, Suite 220 Jacksonville, FL 32209
Project Name: 5083 Biffle Road Residential Construction Location: 5083 Biffle Road, Stone Mountain, GA 30088
Request: Variance from Section 27-5.7.8.(1) of the DeKalb County Zoning Ordinance to allow garages to face public streets as part of a residential development in the R-100 (Residential Medium Lot-100) and Hidden Hills Tier 5 overlay district.
THIS IS TO ADVISE YOU THAT THE ZONING BOARD OF APPEALS AT ITS REGULARLY SCHEDULED PUBLIC HEARING ON WEDNESDAY, NOVEMBER 12, 2025, REACHED THE FOLLOWING DECISION ON THE ABOVE-REFERENCED APPLICATION:
ZBOA ACTION: John Tolbert moved, Eric Hubbard seconded for approval with the following conditions: (1) case number, approval date, type of variance and condition(s) of approval listed on site plan. Motion carried 6-4-3.
CONDITION: The following information must be included on any Site Plan submitted for Permitting: Case Number: NA-A-25-1247786 Approval Date: 11-12-2025 Type of Variance: The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval. Allow garages to face public streets as part of a residential development. Include this information on submitted Site Plan.
DATE SUBMITTED: WEDNESDAY, DECEMBER 3, 2025



SITE DATA:

SITE AREA	±54.355 ACRES
ZONING	R100
EXISTING ZONING	MU-HIDDEN HILLS TIER 5
PROPOSED ZONING	DEKALB COUNTY, GEORGIA
ZONING JURISDICTION	
SETBACK REQUIREMENTS	
FRONT SETBACK	MIN. 10 FEET MAX. 25 FEET
SIDE SETBACK (INTERIOR)	MIN. 15 FEET BETWEEN BLDGS. 2-STORY OR LESS MIN. 20 FEET BETWEEN BLDGS. GREATER THAN 2-STORIES
REAR SETBACK	15 FEET
MAX. BUILDING HEIGHT	75 FEET/ 5 STORIES
TRANSITIONAL BUFFER	30 FEET
DEVELOPMENT STANDARDS	
ATTACHED SENIOR UNITS PROVIDED	131 UNITS (1-STORY)
DETACHED SINGLE FAMILY LOTS PROVIDED	44 LOTS (2-STORY)
TOWNHOME COMMUNITY FACILITY & CLUBHOUSE	3,000 SF
24' X 54' FRONT ENTRY TOWNHOMES PROVIDED	55 UNITS (2-STORY)
TOTAL RESIDENTIAL UNITS PROVIDED	230 UNITS
TOTAL SITE DENSITY PROVIDED	4.23 UPA
MAX. SITE DENSITY ALLOWED	12.24 UPA
OPEN SPACE CALCULATIONS	
MIN. OPEN SPACE REQUIRED	10.87 ACRES (20% OF TOTAL SITE AREA)
TOTAL OPEN SPACE PROVIDED	21.38 ACRES (39.3% OF TOTAL SITE AREA)
ENHANCED OPEN SPACE REQUIRED	5.43 ACRES (50% OF TOTAL OPEN SPACE REQ.)
ENHANCED OPEN SPACE PROVIDED	7.09 ACRES (65.2% OF TOTAL OPEN SPACE REQ.)
FAR CALCULATIONS	
DETACHED SINGLE FAMILY SF PROVIDED	88,000 SF (27.1% OF TOTAL FAR)
TOWNHOME SQUARE FOOTAGE	96,250 SF (29.6% OF TOTAL FAR)
TOTAL RESIDENTIAL SQUARE FOOTAGE	184,250 SF (56.7% OF TOTAL FAR)
TOTAL ATTACHED SENIOR SF PROVIDED (COMMERCIAL)	140,550 SF (43.3% OF TOTAL FAR)
PARKING REQUIREMENTS	
SENIOR PARKING REQUIRED	262 SPACES (2 SP/ DWELLING UNIT)
SENIOR PARKING PROVIDED	393 SPACES (2 GARAGE +1 DRIVEWAY SP.)
TOWNHOME PARKING REQUIRED	110 SPACES (2 SP/ DWELLING UNIT)
TOWNHOME PARKING PROVIDED	220 SPACES (2 GARAGE + 2 DRIVEWAY SP.)
DETACHED SINGLE FAMILY PARKING REQUIRED	88 SPACES (2 SP/ DWELLING UNIT)
DETACHED SINGLE FAMILY PARKING PROVIDED	176 SPACES (2 GARAGE + 2 DRIVEWAY SP.)

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GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 34395
KENNETH W. WOOD
06/09/2026
GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 0000059389 EXP. 10/31/2027

SKETCH PLAT SITE PLAN
SCALE: 1" = 150'
DATE: 05/03/2024
PROJECT: 20251.00A
SHEET: SP1.0

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350 RESEARCH COURT STE 200
PEACHTREE CORNERS, GA 30092
PROJECT
TERRA BELLA
AKA HIDDEN HILLS AT BIFFLE ROAD
A MASTER PLANNED RESIDENTIAL DEVELOPMENT
AT
5083 BIFFLE ROAD
STONE MOUNTAIN, GA 30088
DEKALB COUNTY JURISDICTION
FOR MCKINLEY HOMES
655 ENGINEERING DRIVE, SUITE 208
PEACHTREE CORNERS, GA 30092
470-268-4202
DEKALB AP # 1246985
SLUP-25-1247527

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	05/08/2026	JH	COUNTY COMMENTS
-2	06/15/2026	JH	COUNTY COMMENTS

REVISIONS

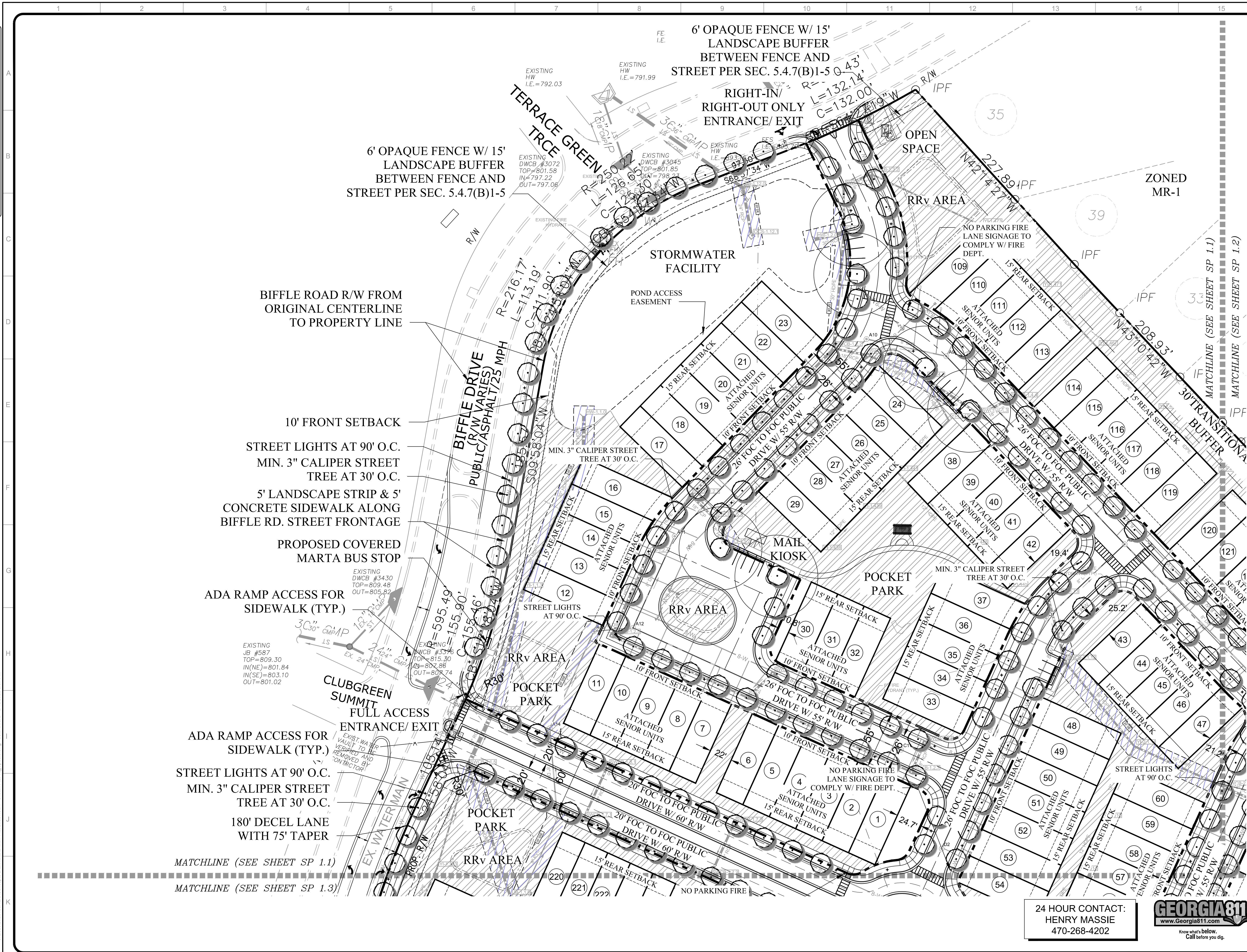
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24 HOUR CONTACT:
HENRY MASSIE
470-268-4202

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6' OPAQUE FENCE W/ 15' LANDSCAPE BUFFER BETWEEN FENCE AND STREET PER SEC. 5.4.7(B)1-5

6' OPAQUE FENCE W/ 15' LANDSCAPE BUFFER BETWEEN FENCE AND STREET PER SEC. 5.4.7(B)1-5
RIGHT-IN/
RIGHT-OUT ONLY
ENTRANCE/ EXIT

BIFFLE ROAD R/W FROM ORIGINAL CENTERLINE TO PROPERTY LINE

10' FRONT SETBACK
STREET LIGHTS AT 90' O.C.
MIN. 3" CALIPER STREET TREE AT 30' O.C.
5' LANDSCAPE STRIP & 5' CONCRETE SIDEWALK ALONG BIFFLE RD. STREET FRONTAGE
PROPOSED COVERED MARTA BUS STOP

ADA RAMP ACCESS FOR SIDEWALK (TYP.)

ADA RAMP ACCESS FOR SIDEWALK (TYP.)
STREET LIGHTS AT 90' O.C.
MIN. 3" CALIPER STREET TREE AT 30' O.C.
180' DECEL LANE WITH 75' TAPER

MATCHLINE (SEE SHEET SP 1.1)
MATCHLINE (SEE SHEET SP 1.3)

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PROJECT

**TERRA BELLA
AKA HIDDEN HILLS AT
BIFFLE ROAD**

A MASTER PLANNED RESIDENTIAL DEVELOPMENT

AT
5083 BIFFLE ROAD
STONE MOUNTAIN, GA 30088

DEKALB COUNTY JURISDICTION

FOR

MCKINLEY HOMES
655 ENGINEERING DRIVE, SUITE 208
PEACHTREE CORNERS, GA 30092
470-268-4202

DEKALB AP # 1246985
SLUP-25-1247527

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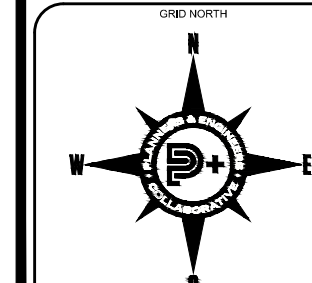


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CERTIFICATION # 0000059389 EXP. 10/31/2027

**40-SCALE
SKETCH PLAT**



SCALE: 1" = 40'
DATE: 05/03/2024
PROJECT: 20251.00A



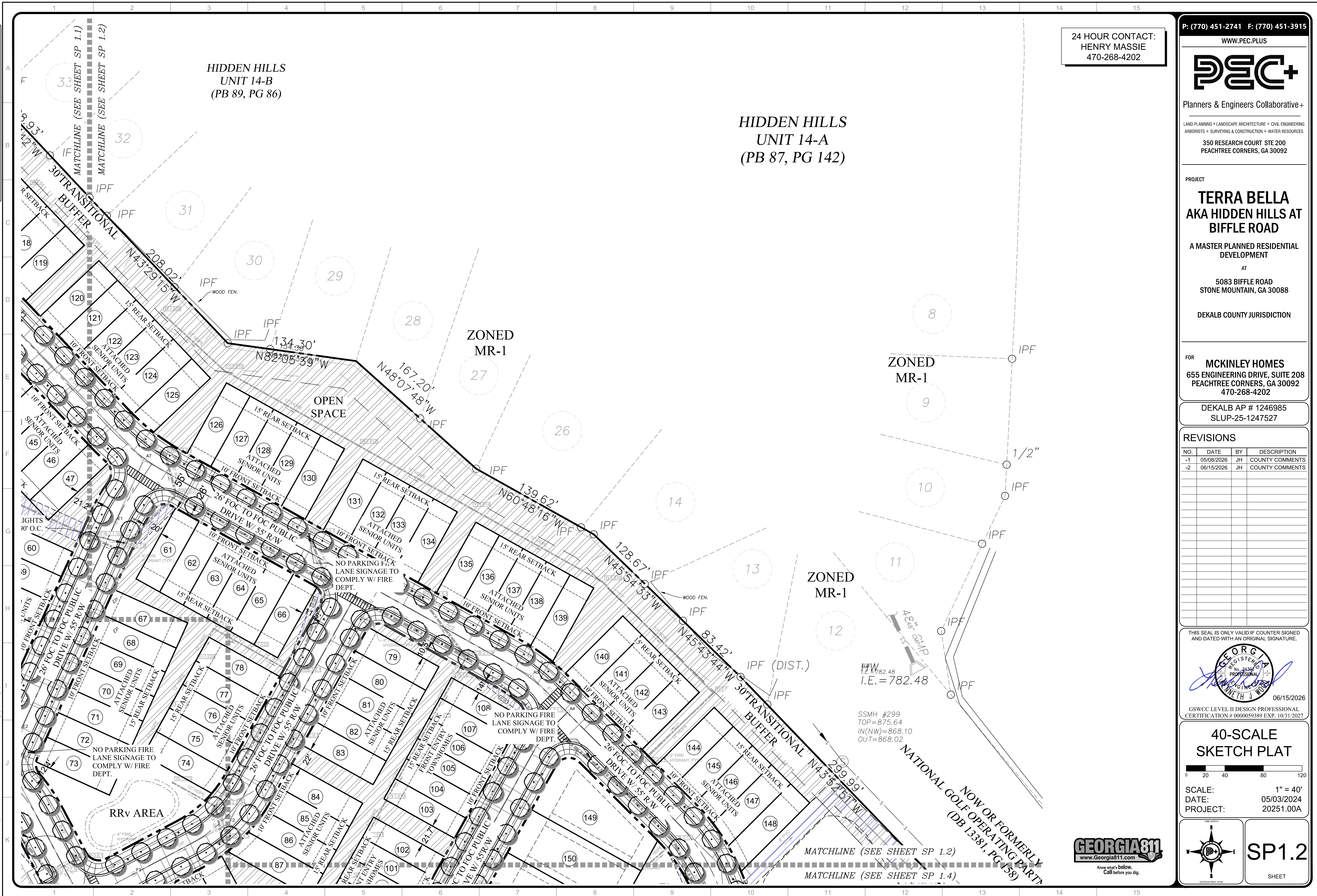
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HIDDEN HILLS
UNIT 14-B
(PB 89, PG 86)

HIDDEN HILLS
UNIT 14-A
(PB 87, PG 142)

24 HOUR CONTACT:
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06/15/2026

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**40-SCALE
SKETCH PLAT**



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DATE: 05/03/2024
PROJECT: 20251.00A

SP1.2

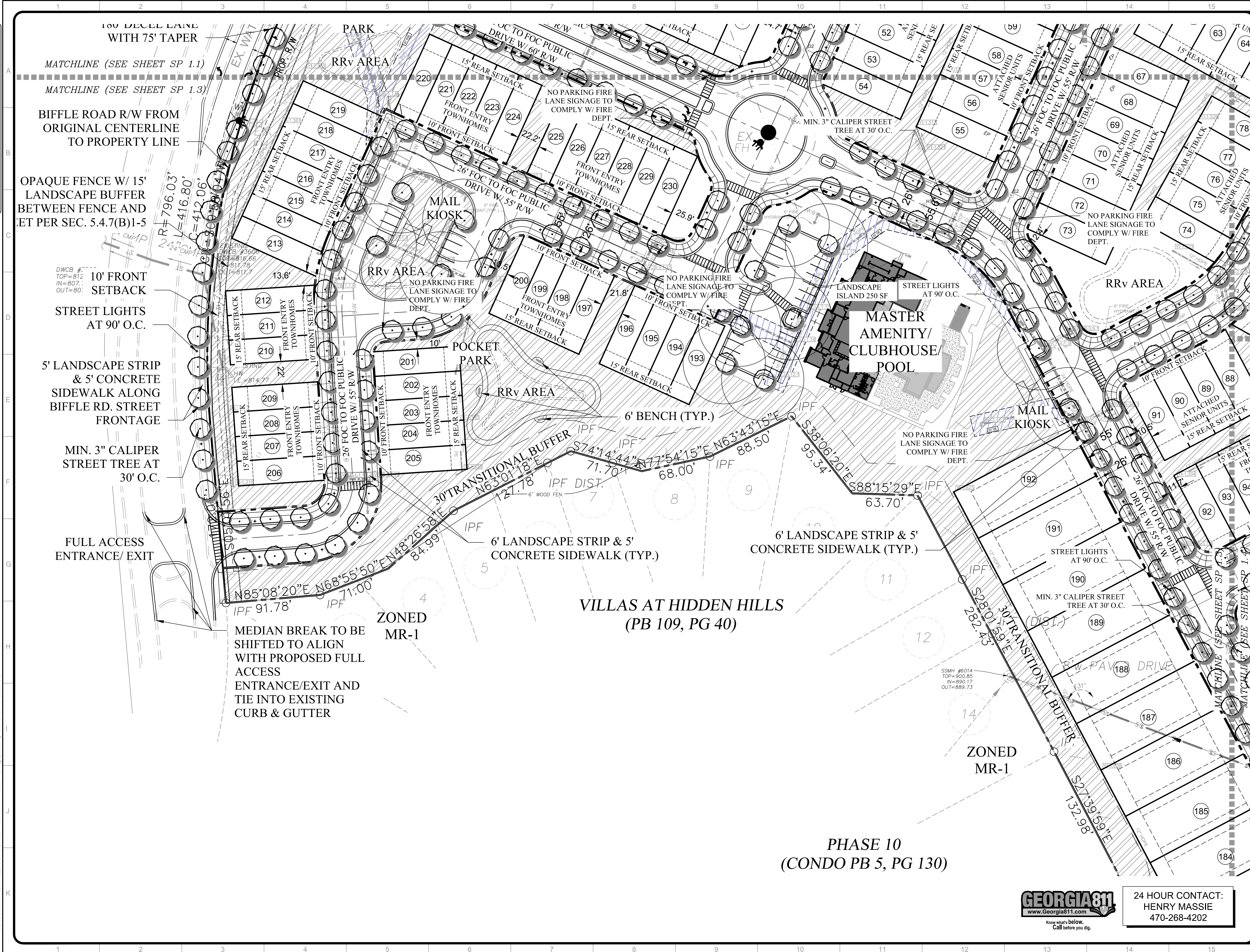
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Know what's below.
Call before you dig.

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**VILLAS AT HIDDEN HILLS
(PB 109, PG 40)**

**PHASE 10
(CONDO PB 5, PG 130)**

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DEKALB AP # 1246985
SLUP-25-1247527

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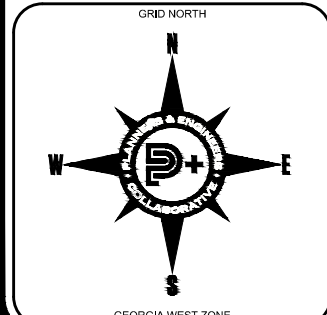


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**40-SCALE
SKETCH PLAT**



SCALE: 1" = 40'
DATE: 05/03/2024
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SP1.3

SHEET

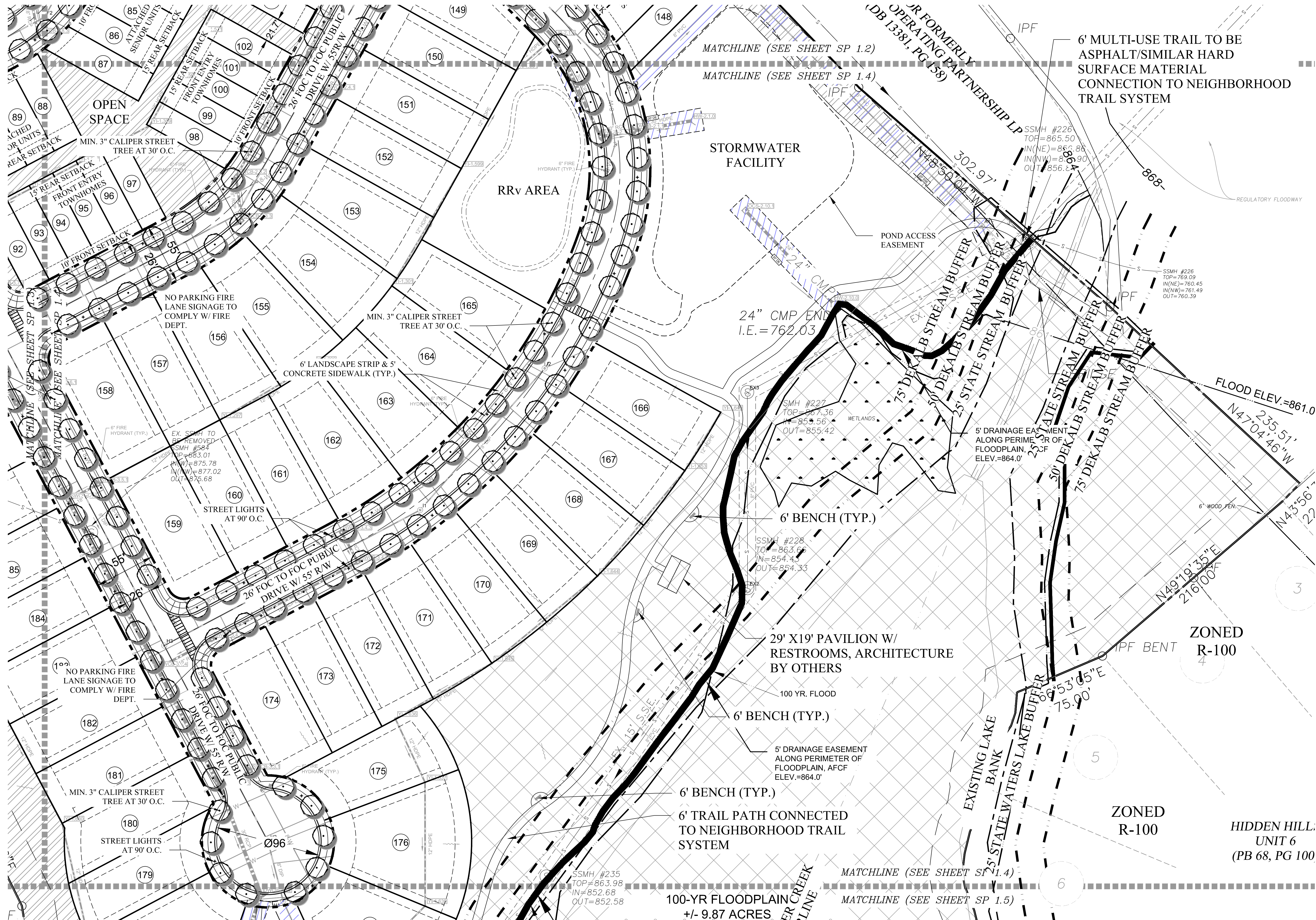


24 HOUR CONTACT:
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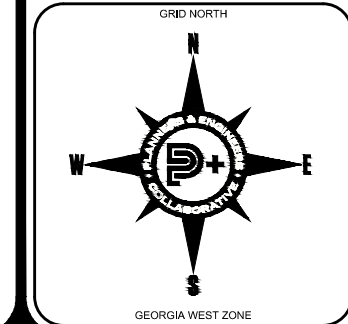


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CERTIFICATION # 0000059389 EXP. 10/31/2027

**40-SCALE
SKETCH PLAT**



SCALE: 1" = 40'
DATE: 05/03/2024
PROJECT: 20251.00A



SP1.4

SHEET



24 HOUR CONTACT:
HENRY MASSIE
470-268-4202

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ARBORISTS + SURVEYING & CONSTRUCTION + WATER RESOURCES

350 RESEARCH COURT STE 200
PEACHTREE CORNERS, GA 30092

PROJECT

TERRA BELLA AKA HIDDEN HILLS AT BIFFLE ROAD

A MASTER PLANNED RESIDENTIAL
DEVELOPMENT

AT

5083 BIFFLE ROAD
STONE MOUNTAIN, GA 30088

DEKALB COUNTY JURISDICTION

FOR

MCKINLEY HOMES
655 ENGINEERING DRIVE, SUITE 208
PEACHTREE CORNERS, GA 30092
470-268-4202

DEKALB AP # 1246985
SLUP-25-1247527

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	05/08/2026	JH	COUNTY COMMENTS
-2	06/15/2026	JH	COUNTY COMMENTS

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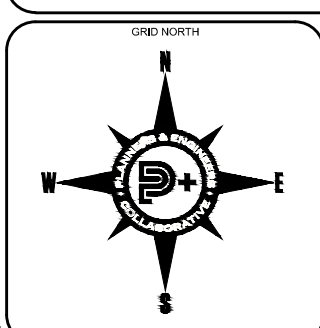
06/15/2026

GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION # 0000059389 EXP. 10/31/2027

40-SCALE SKETCH PLAT

0 20 40 80 120

SCALE: 1" = 40'
DATE: 05/03/2024
PROJECT: 20251.00A



SP1.5

SHEET

130)

PHASE 4

ZONED
MR-1

PHASE 1

PHASE 2

6' MULTI-USE TRAIL TO BE
ASPHALT/SIMILAR HARD SURFACE
MATERIAL CONNECTION TO
NEIGHBORHOOD TRAIL SYSTEM

SSMH #585
TOP=848.69
IN=840.95
OUT=840.87

24 HOUR CONTACT:
HENRY MASSIE
470-268-4202



Know what's below.
Call before you dig.

12" CMP END
I.E. = 791.86

MATCHLINE (SEE SHEET SP 1.4)

MATCHLINE (SEE SHEET SP 1.5)

MATCHLINE (SEE SHEET SP 1.4)

MATCHLINE (SEE SHEET SP 1.5)

IPF

IPF

IPF

IPF

IPF

IPF

100.49'
S08°49'56"E

117.85'
S19°19'47"W

130.05'
S36°04'47"W

176.59'
S13°45'26"E

126.59'
S13°45'26"E

156.68'

100.49'
S08°49'56"E

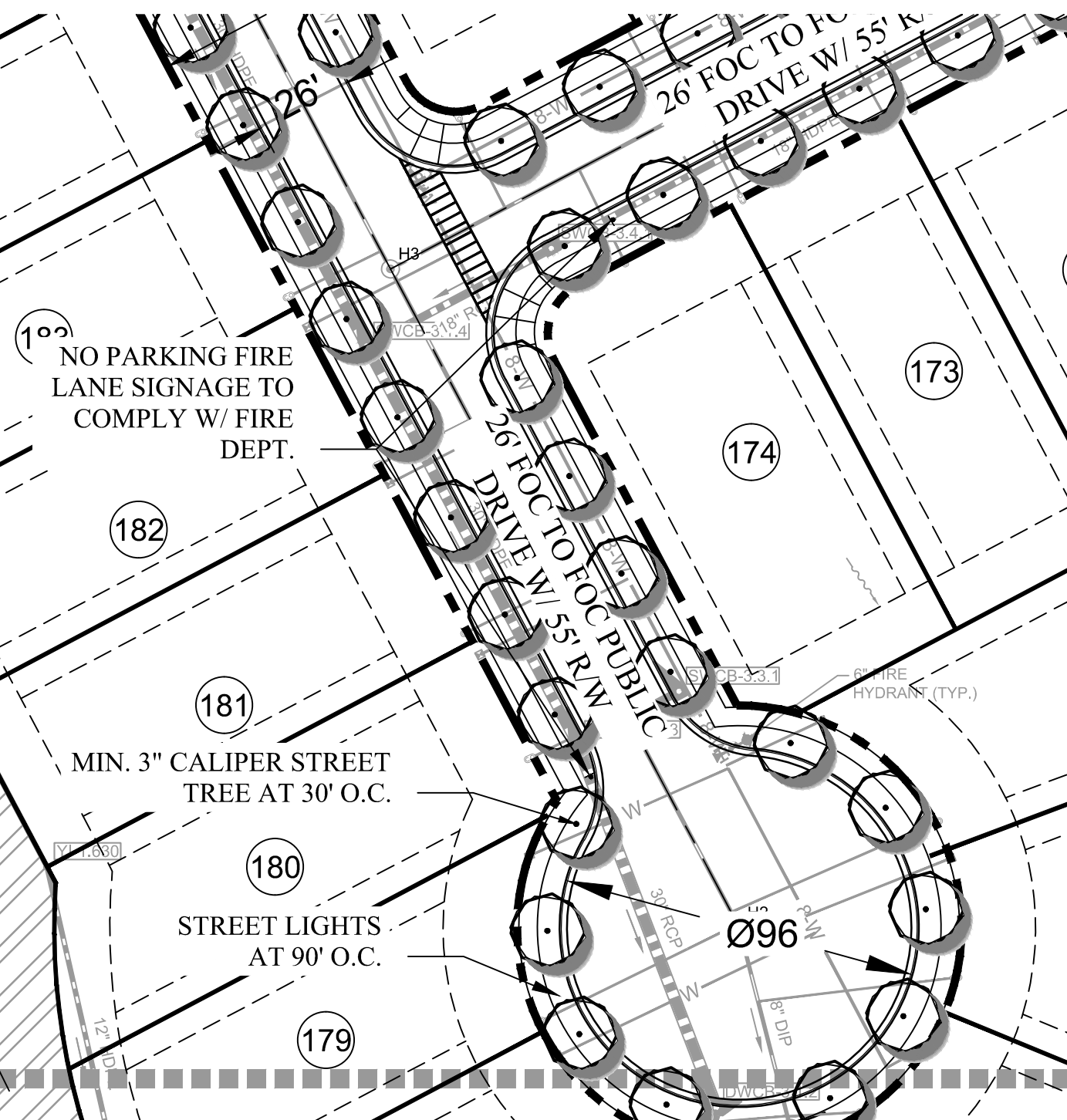
117.85'
S19°19'47"W

130.05'
S36°04'47"W

176.59'
S13°45'26"E

126.59'
S13°45'26"E

156.68'



STORMWATER
FACILITY

POND ACCESS
EASEMENT

RRv AREA

30' TRANSITIONAL BUFFER

50' DEKALB STREAM BUFFER

25' STATE STREAM BUFFER

25' STATE STREAM BUFFER

25' STATE STREAM BUFFER

25' STATE STREAM BUFFER

25' STATE STREAM BUFFER

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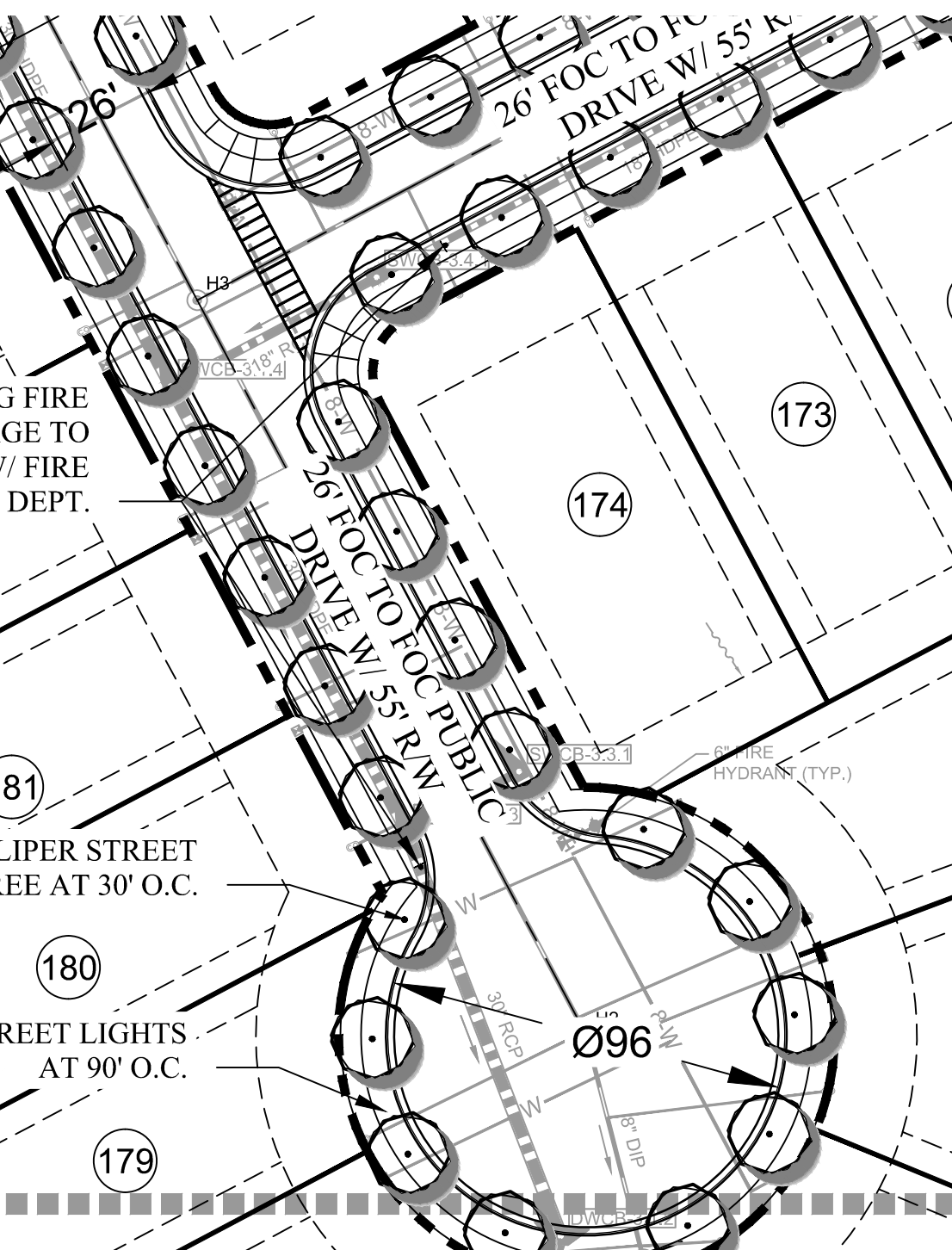
25' STATE STREAM BUFFER

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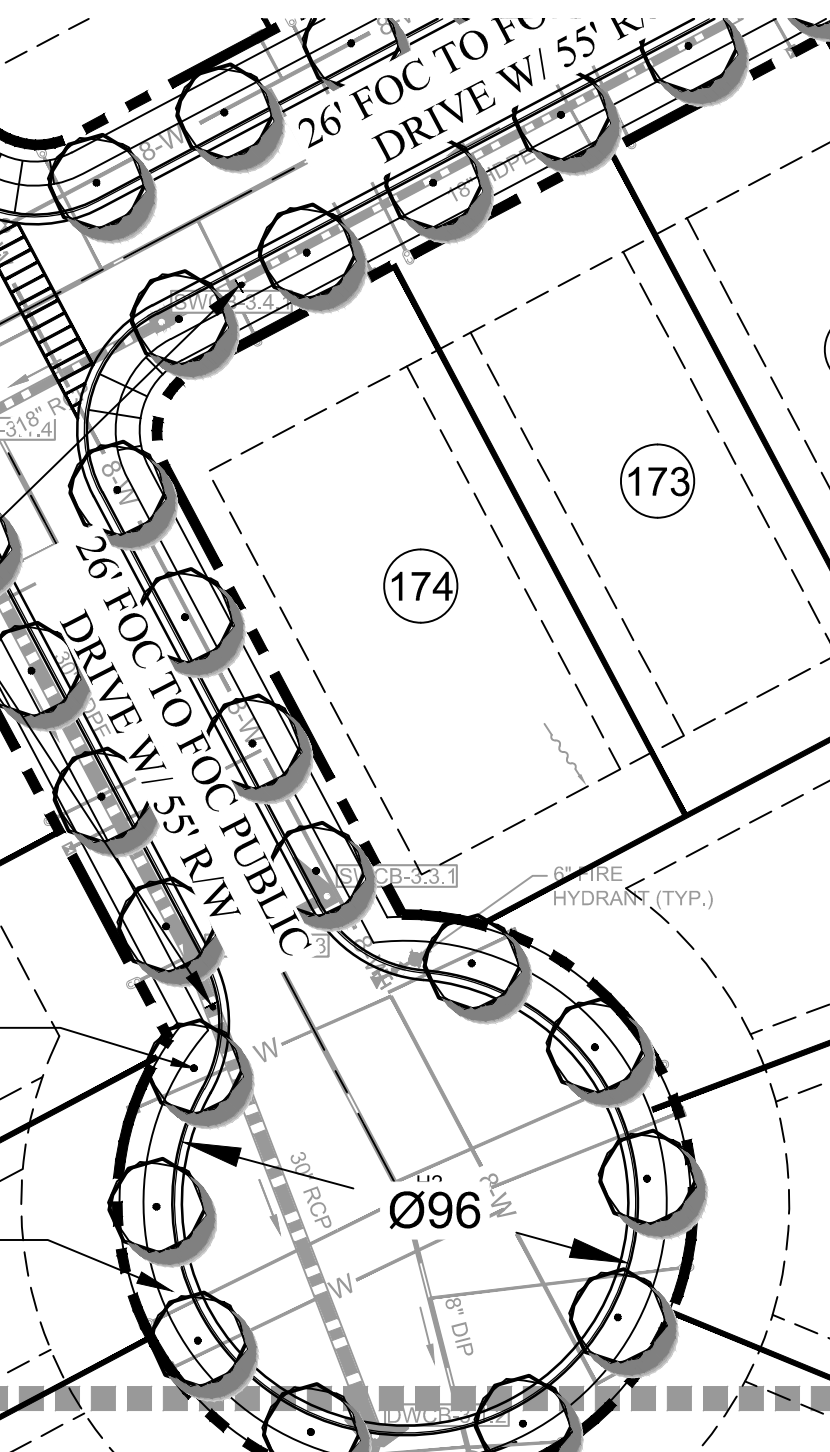
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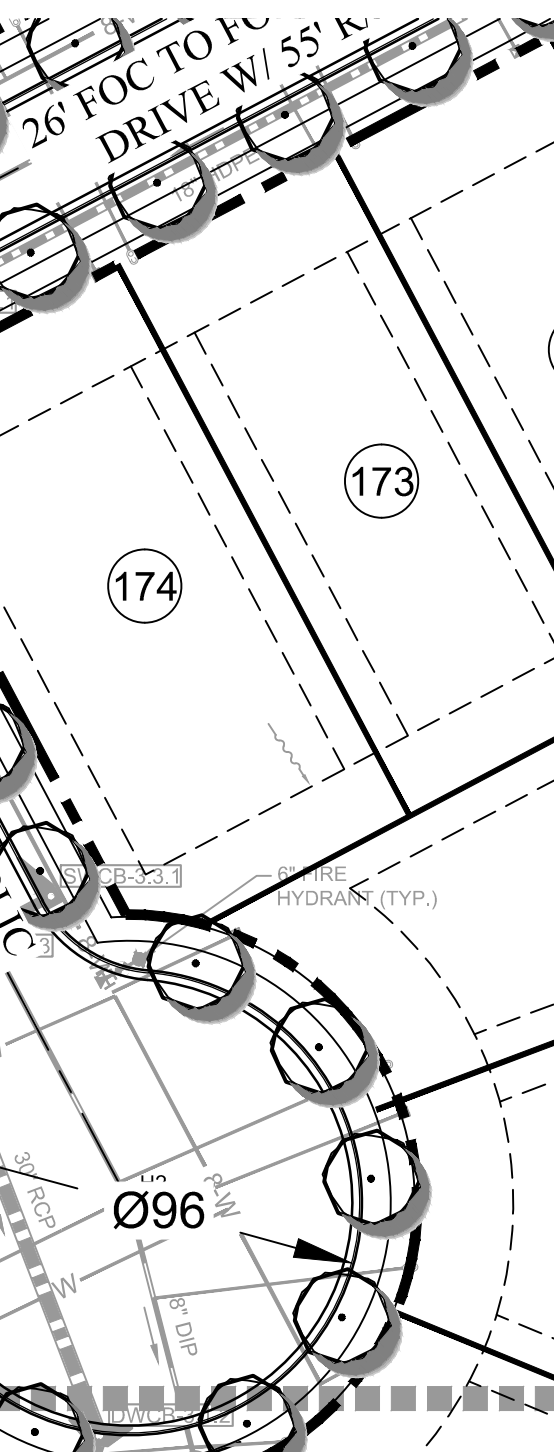
25' STATE STREAM BUFFER

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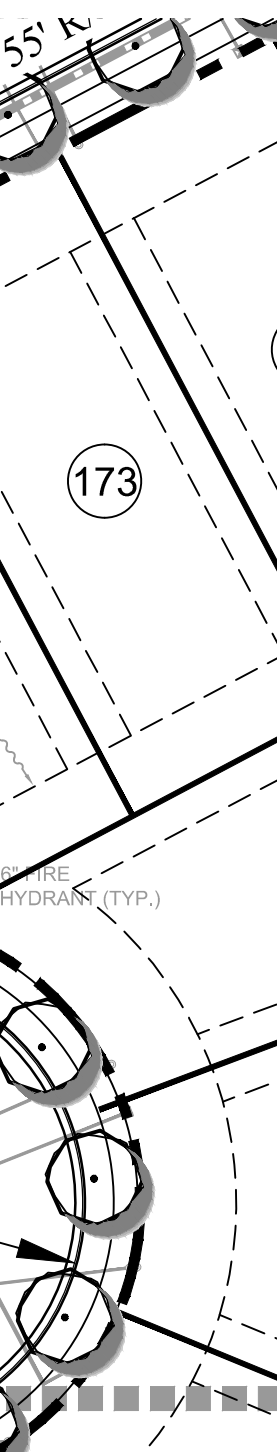
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STORMWATER
FACILITY

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PEACHTREE CORNERS, GA 30092

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A MASTER PLANNED RESIDENTIAL
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STONE MOUNTAIN, GA 30088

DEKALB AP # 1246985
SLUP-25-1247527

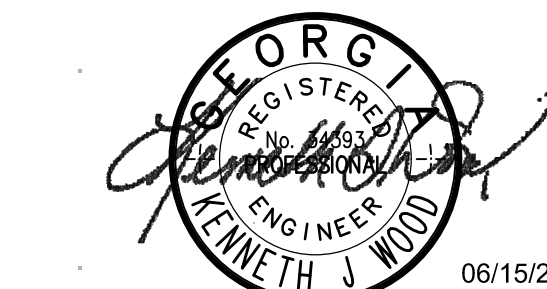
FOR

MCKINLEY HOMES
655 ENGINEERING DRIVE
SUITE 208
PEACHTREE CORNERS, GA 30092
P: 470.268.4202

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	05/05/2026	JK	CITY COMMENTS
-2	06/15/2026	GL	CITY COMMENTS

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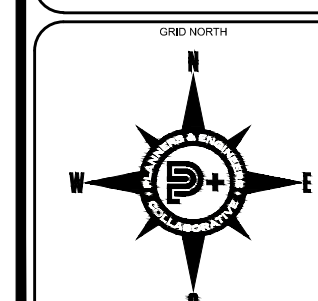


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CERTIFICATION # 0000059389 EXP. 10/31/2027

EARTHWORKS

0 75 150 300 450

SCALE: 1" = 150'
DATE: 05/03/2024
PROJECT: 20251.00A



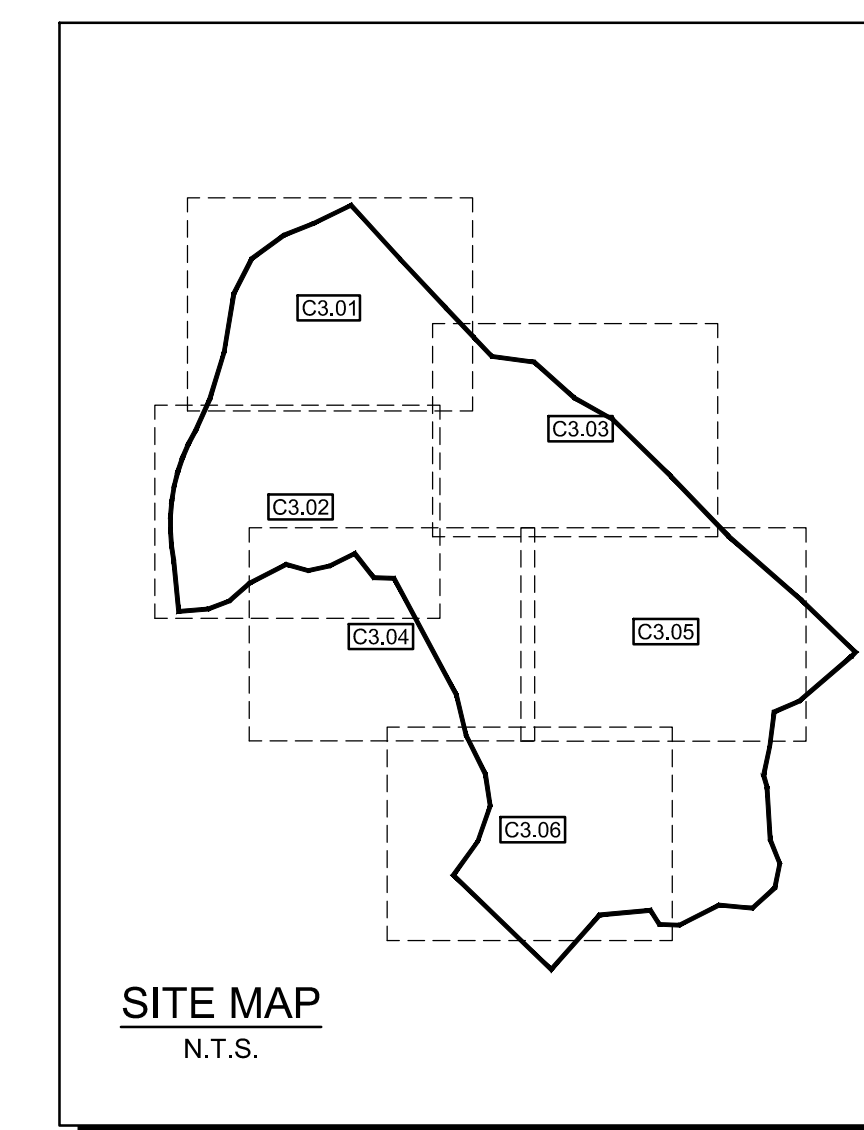
C4.01

SHEET

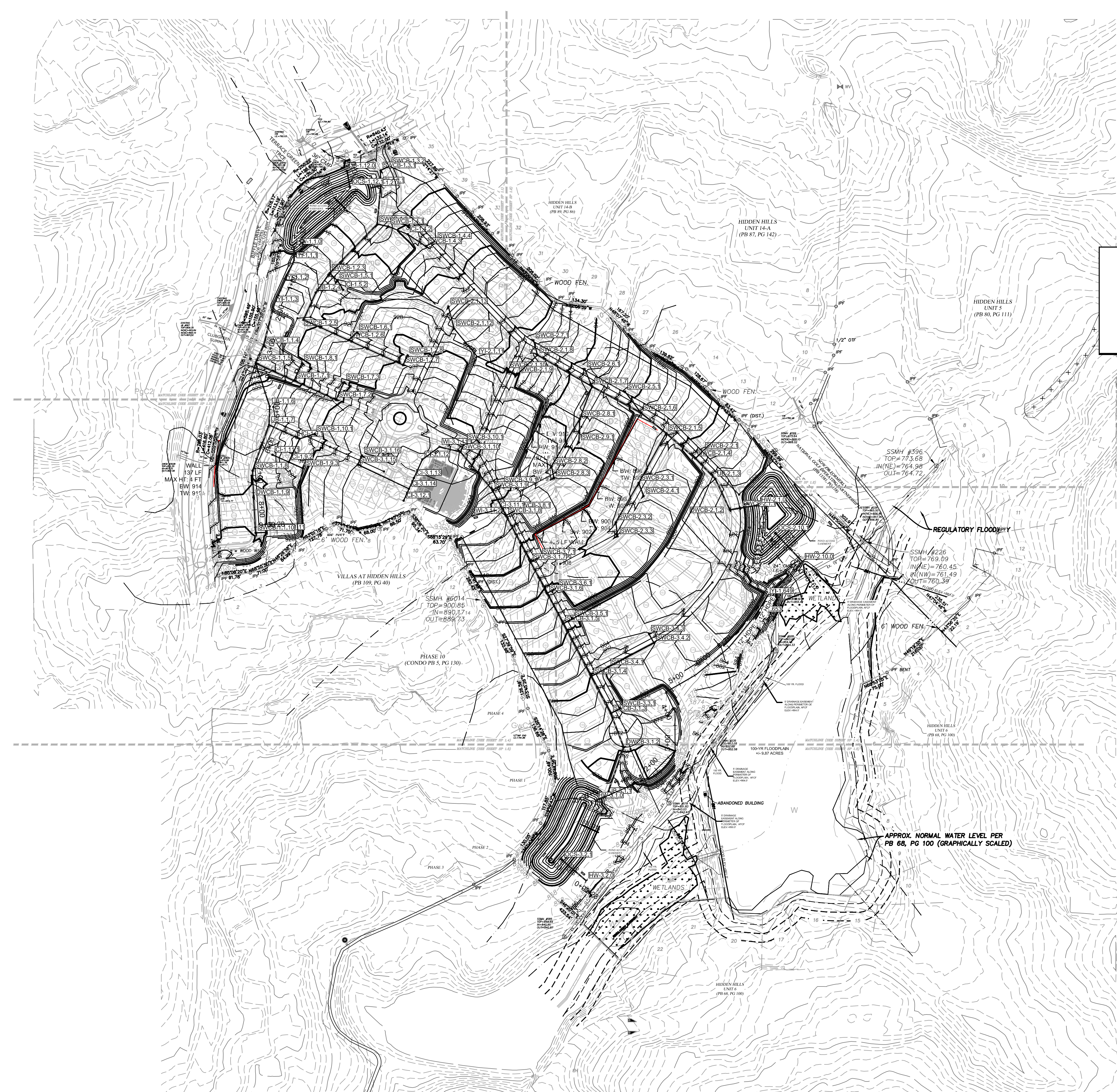
Minimum Elevation	Maximum Elevation	Color Scheme
-24.599'	-10.000'	
-10.000'	-2.500'	
-2.500'	2.500'	
2.500'	10.000'	
10.000'	16.140'	

Cut Factor	1.000
Fill Factor	1.150
Cut volume (adjusted)	157463.07 Cu. Yd.
Fill volume (adjusted)	139126.50 Cu. Yd.
Net volume (adjusted)	18336.57 Cu. Yd. <Cut>

EARTHWORKS CALCULATOR
net volume 18,336 cubic yards CUT
AREA 1,647,754 square feet
ADJUSTMENT 3.605431393
RAISE SITE 3.6 INCHES



SITE MAP
N.T.S.



APPROX. NORMAL WATER LEVEL PER
PB 68, PG 100 (GRAPHICALLY SCALED)

REGULATORY FLOODLINE

ABANDONED BUILDING

WETLANDS

100-FT FLOODPLAIN
14.5-ACRE

PHASE 10
(CONDO PB 5, PG 130)

SSMH #6014
TOP=900.85
N=890.17
OUT=889.73

SSMH #396
TOP=773.68
IN(NE)=764.98
OUT=764.72

SSMH #226
TOP=769.03
IN(NE)=760.45
IN(NW)=761.49
OUT=760.39

HIDDEN HILLS
UNIT H-A
(PB 87, PG 142)

HIDDEN HILLS
UNIT 5
(PB 80, PG 111)

HIDDEN HILLS
UNIT 14B
(PB 99, PG 86)

WALL
13' LF
MAX HF: 4 FT
BW: 914
TW: 915

WOOD FEN.

WOOD FEN.

WOOD FEN.

WOOD FEN.

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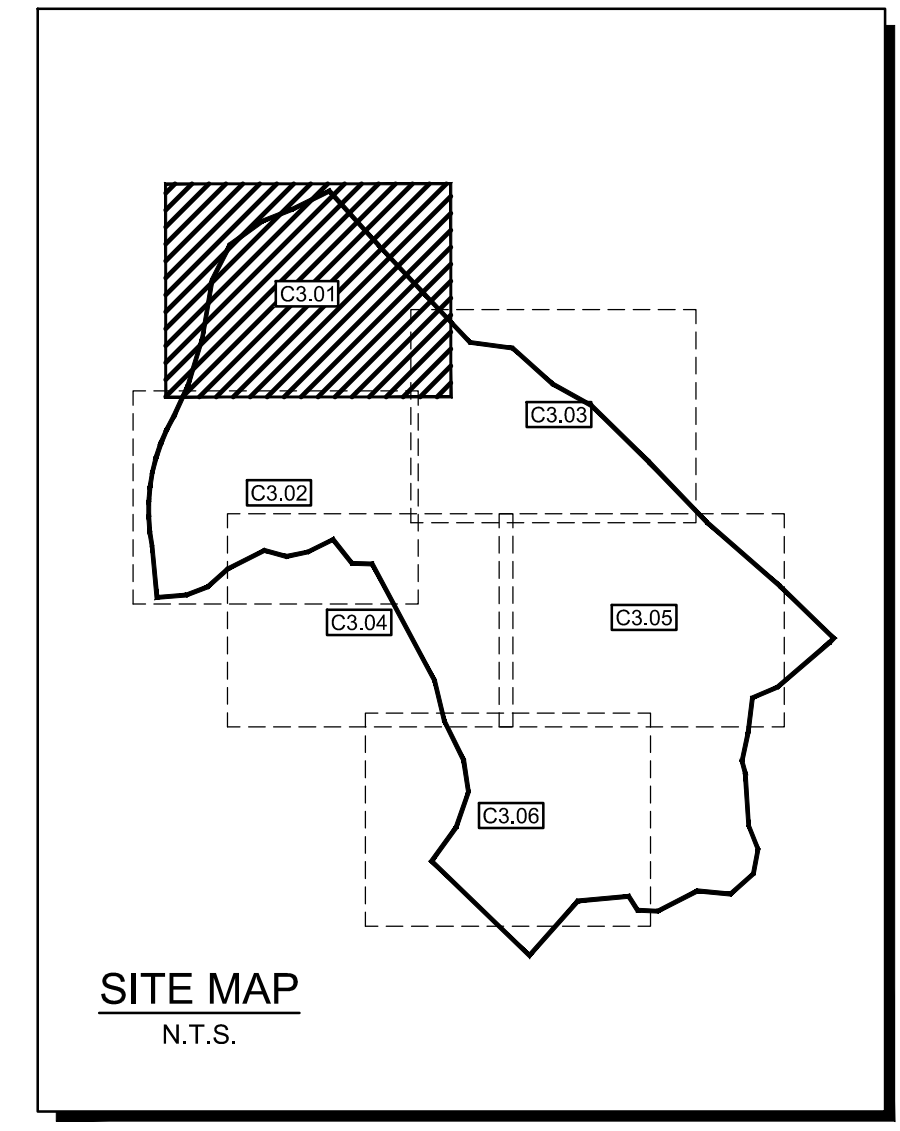
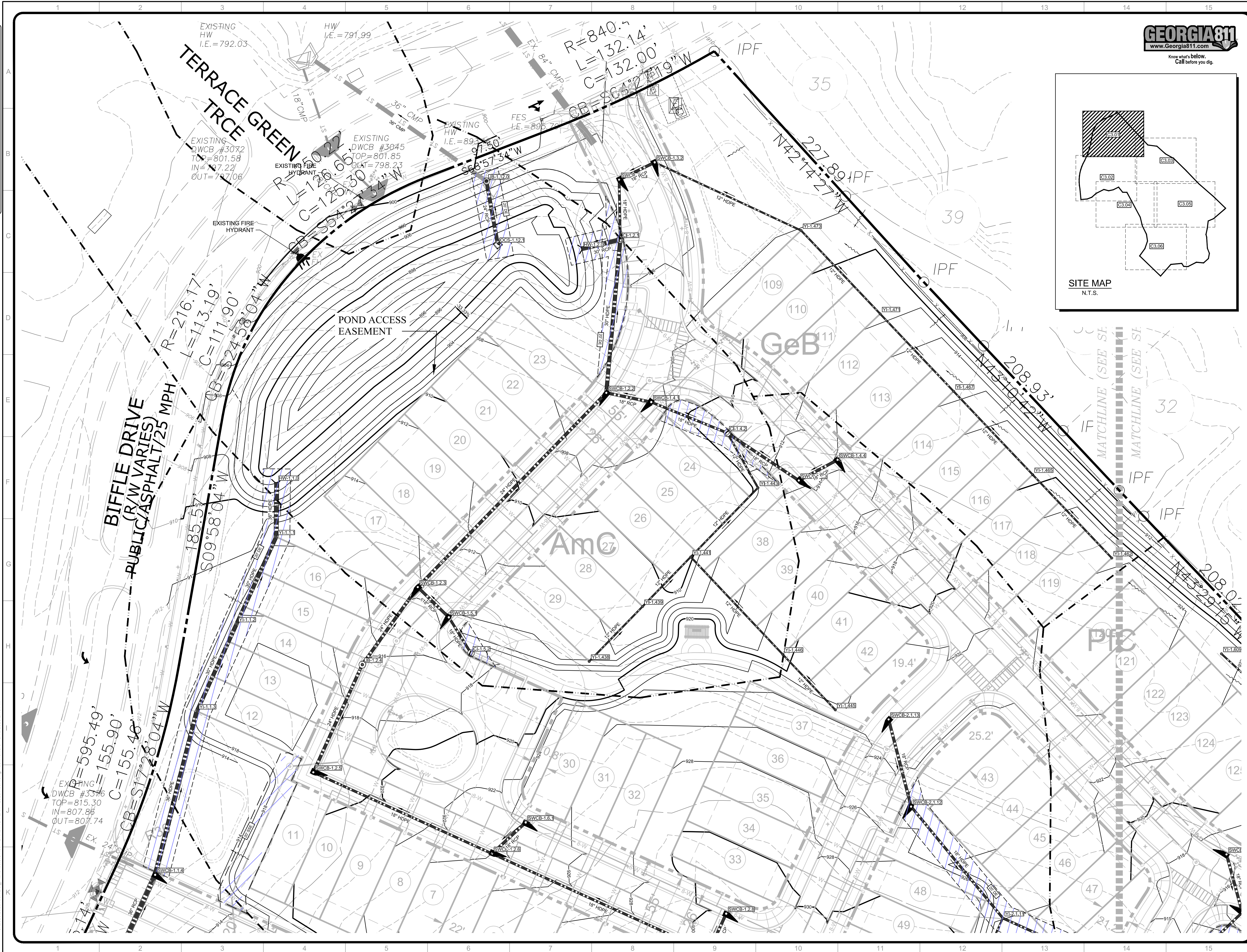
WOOD FEN.

WOOD FEN.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A B C D E F G H I J K L M

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350 RESEARCH COURT STE 200
PEACHTREE CORNERS, GA 30092

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A MASTER PLANNED RESIDENTIAL
DEVELOPMENT
AT

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STONE MOUNTAIN, GA 30088

DEKALB AP # 1246985
SLUP-25-1247527

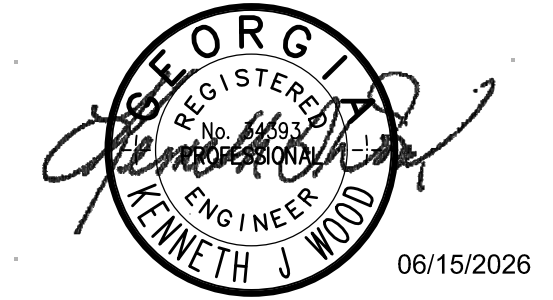
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REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	05/05/2026	JK	CITY COMMENTS
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CERTIFICATION # 0000059389 EXP. 10/31/2027

DETAIL GRADING AND STORM PLAN



SCALE: 1" = 30'
DATE: 05/03/2024
PROJECT: 20251.00A

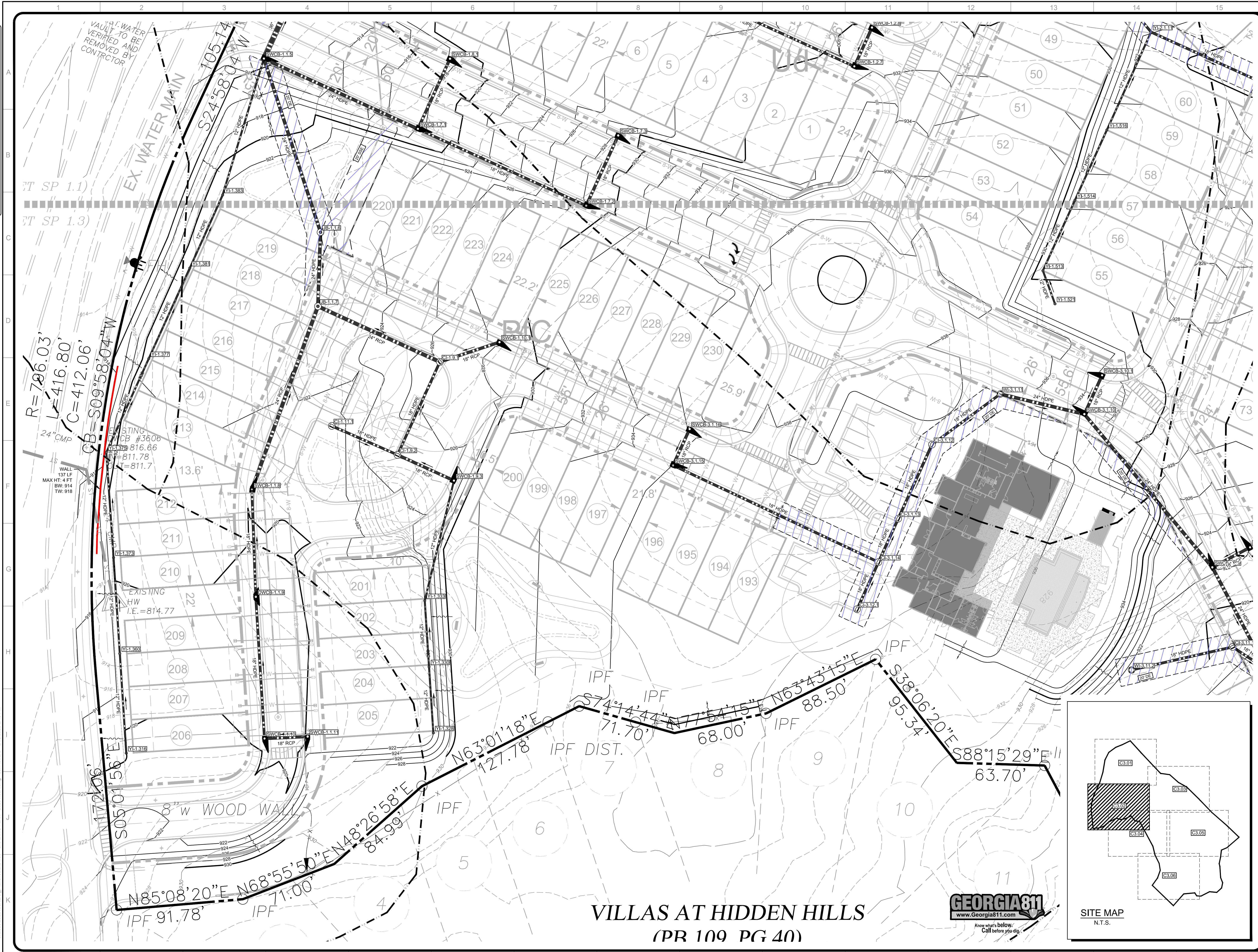


C4.02

SHEET

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$R=706.03'$
 $L=416.80'$
 $C=412.06'$
 $S09^{\circ}58'04''W$
 $24''\text{ CMP}$

WALL
 137 LF
 MAX 17.4 FT
 BW: 914
 TW: 918

EXISTING
 HW
 I.E. = 814.77

$S05^{\circ}01'56''E$
 $172.06'$

$N85^{\circ}08'20''E$
 $91.78'$

$N68^{\circ}55'50''E$
 $71.00'$

$N63^{\circ}01'18''E$
 $127.78'$

$N48^{\circ}26'58''E$
 $84.99'$

$N63^{\circ}01'18''E$
 $71.70'$

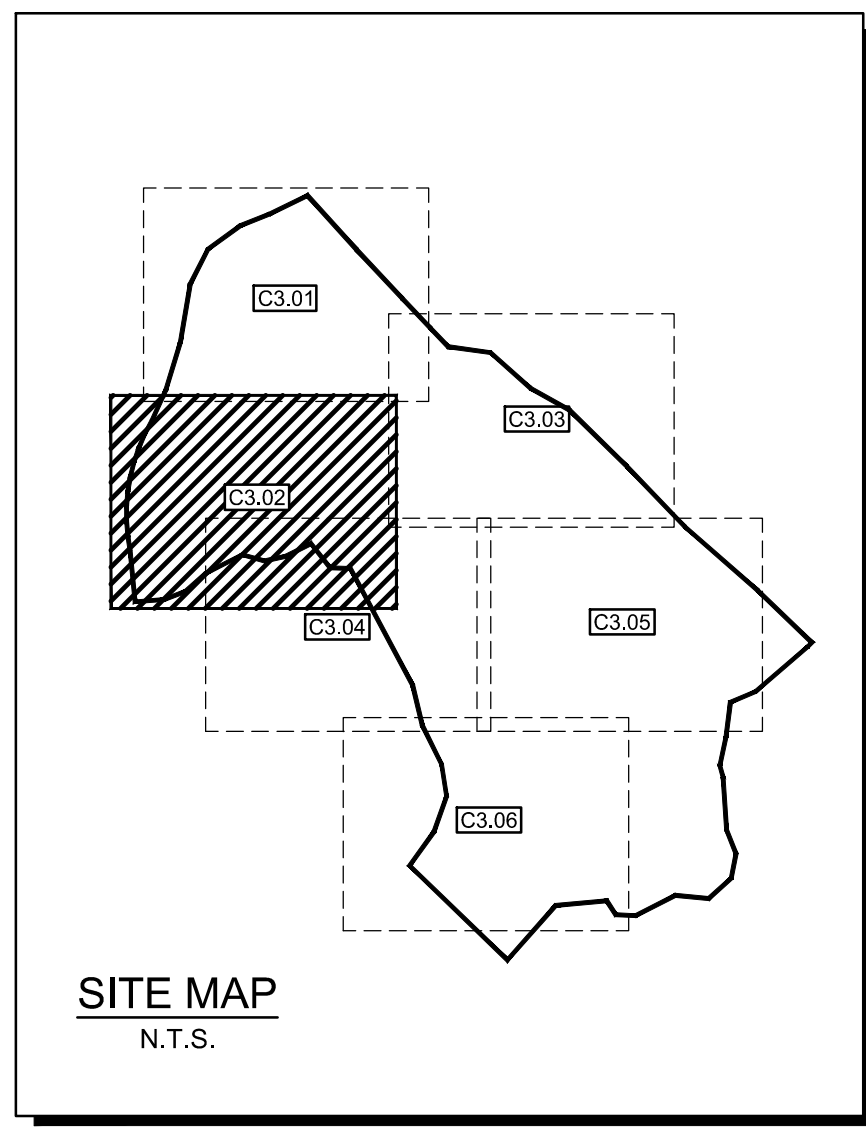
$N77^{\circ}54'15''E$
 $68.00'$

$N63^{\circ}43'45''E$
 $88.50'$

$S38^{\circ}06'20''E$
 $95.34'$

$S88^{\circ}15'29''E$
 $63.70'$

VILLAS AT HIDDEN HILLS
(PR 109 PG 40)



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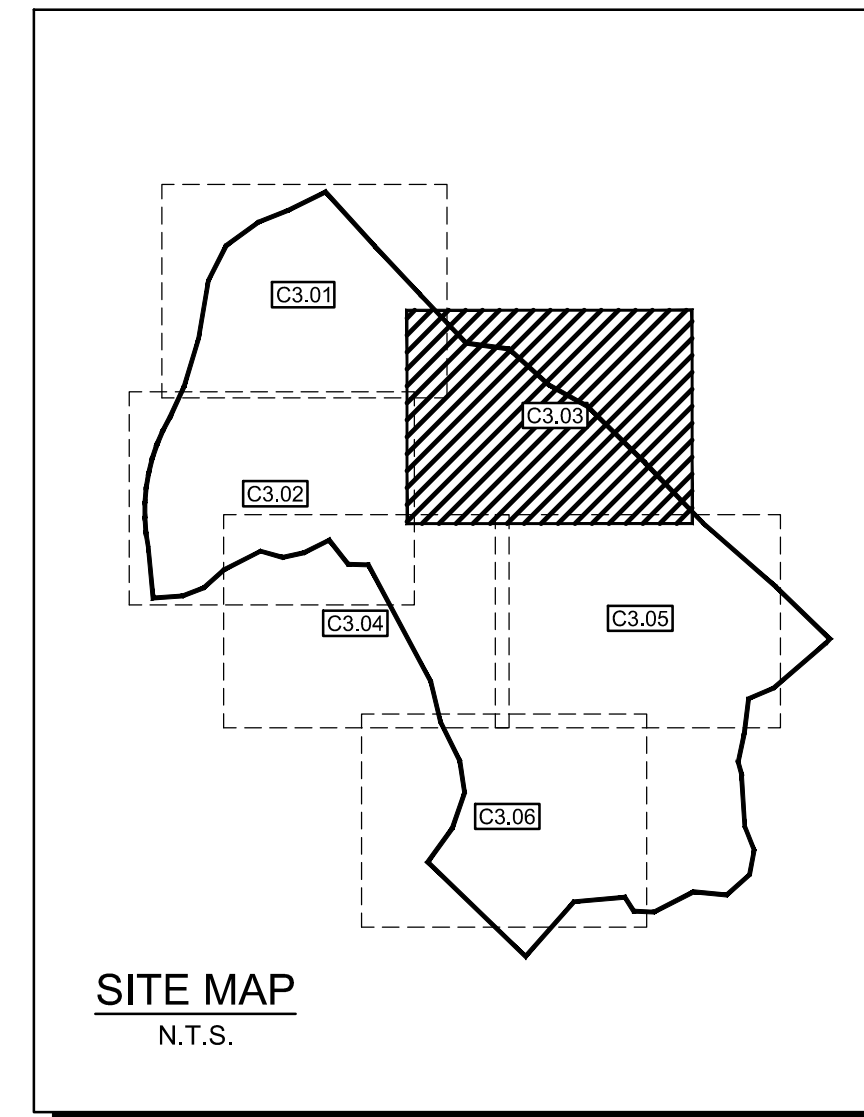
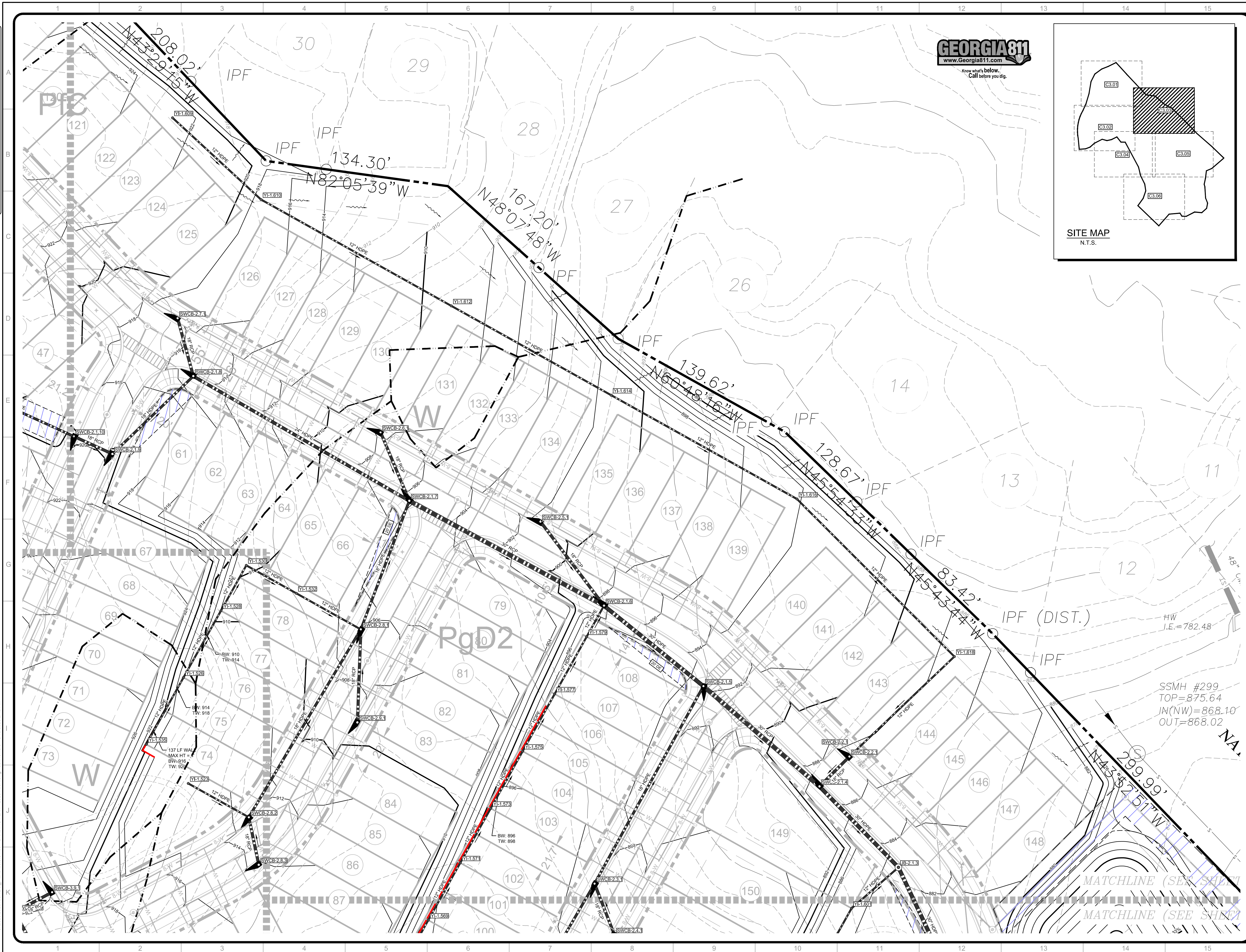
GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 0000059389 EXP. 10/31/2027

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C4.03
 SHEET

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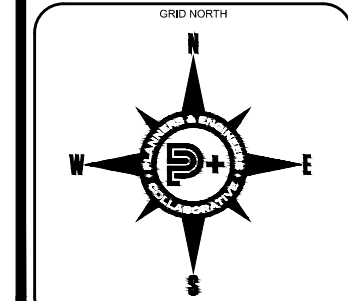


GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION # 0000053389 EXP. 10/31/2027

DETAIL GRADING AND STORM PLAN



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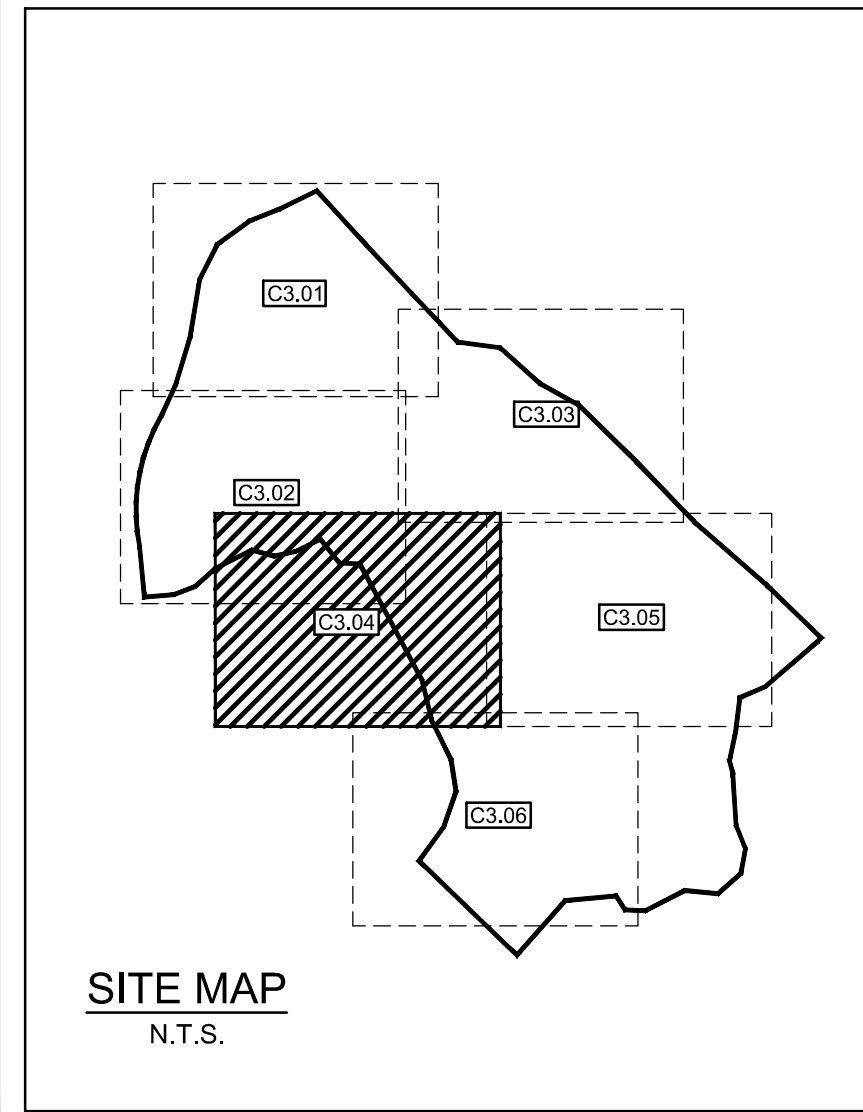
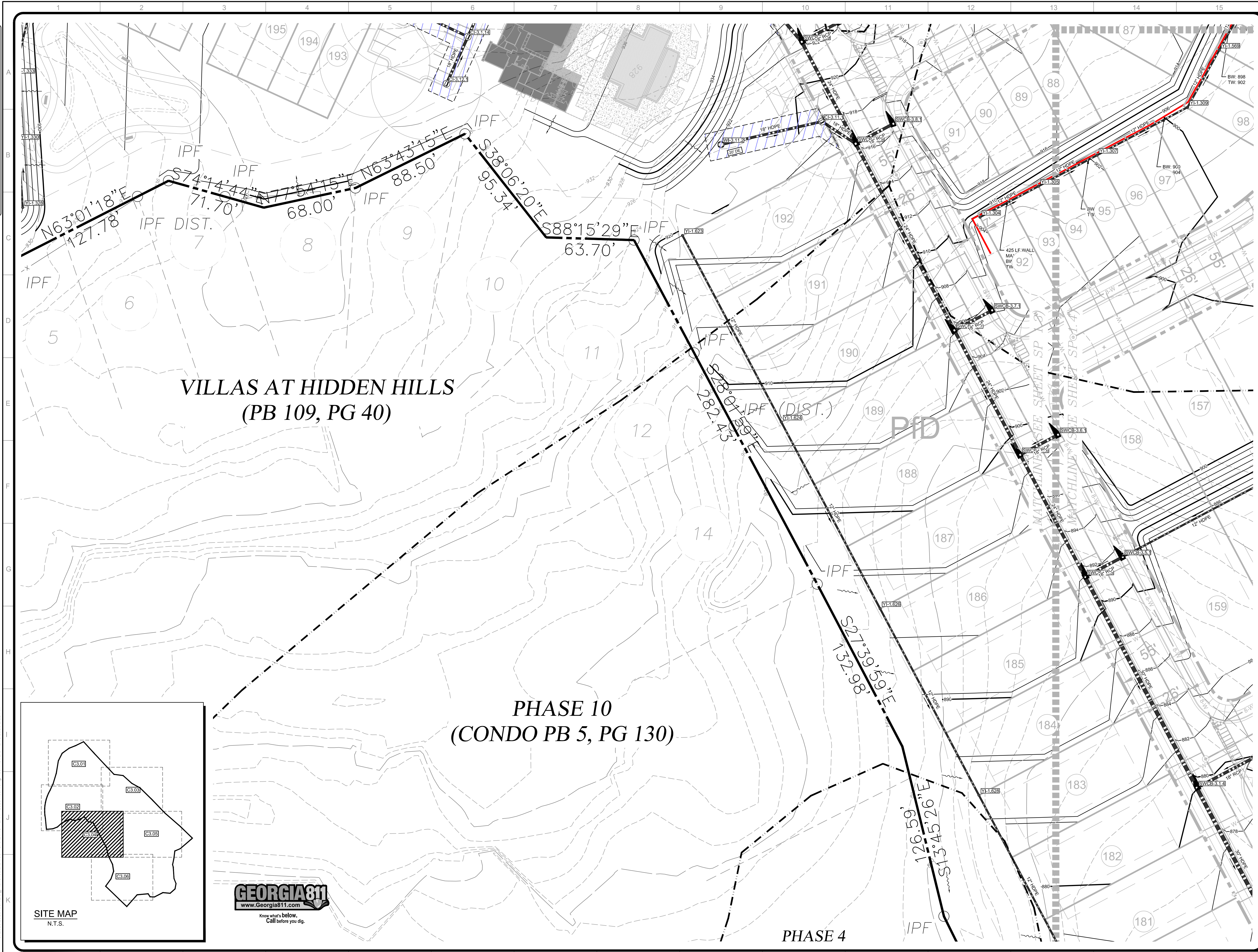


C4.04

SHEET

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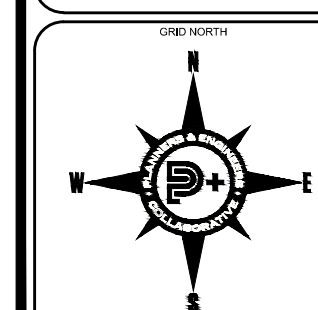


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DETAIL GRADING AND STORM PLAN



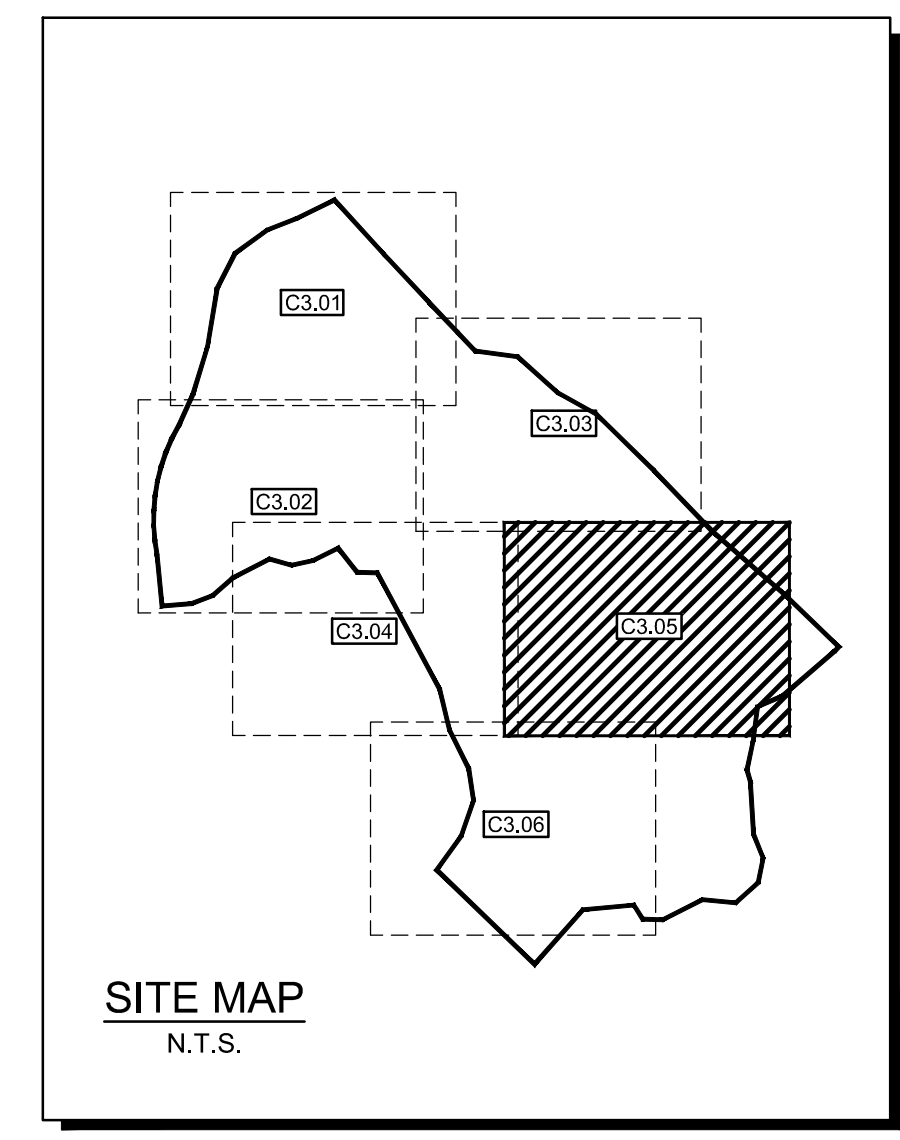
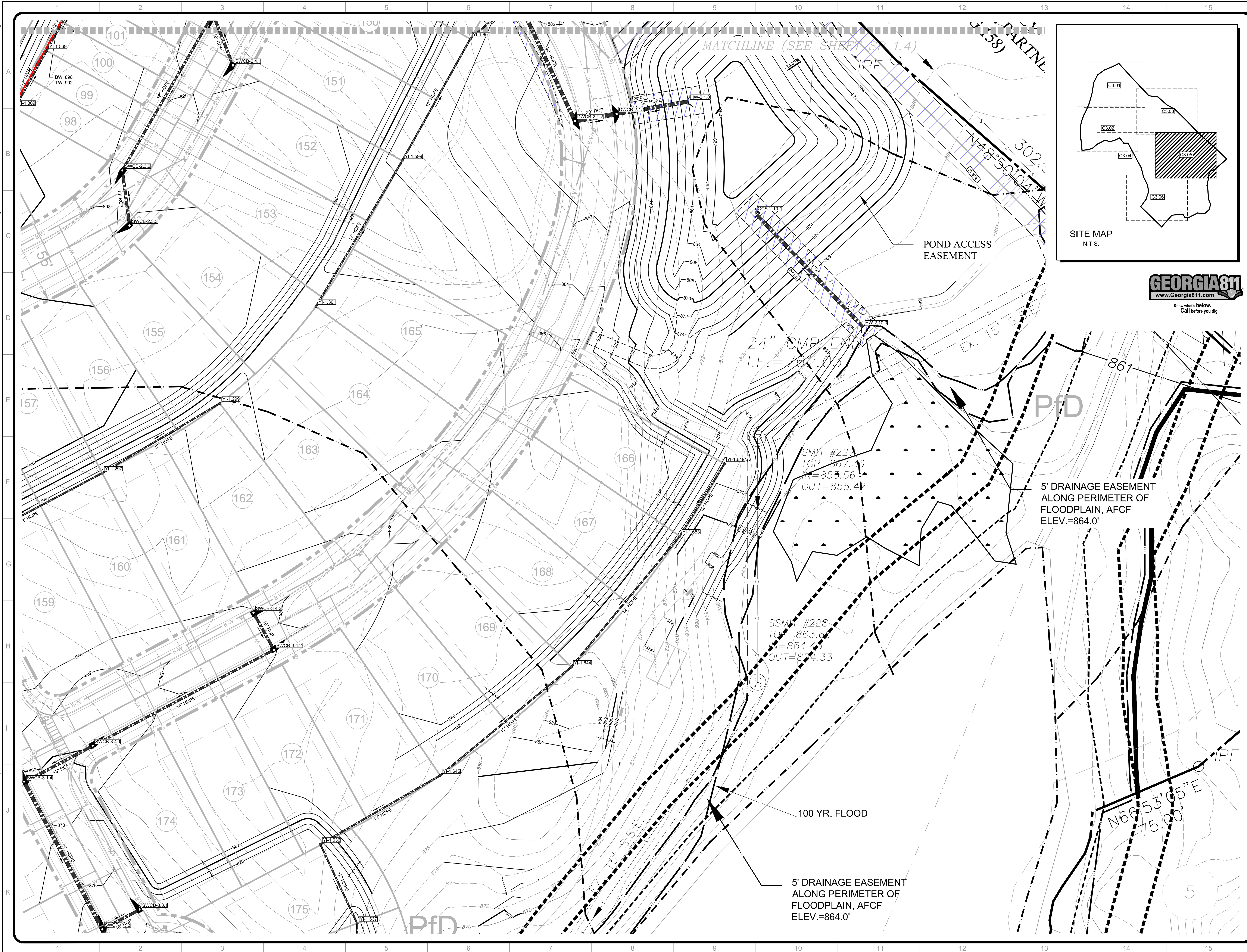
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DATE: 05/03/2024
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C4.05

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TERRA BELLA AKA HIDDEN HILLS AT BIFFLE ROAD

A MASTER PLANNED RESIDENTIAL DEVELOPMENT
AT
5083 BIFFLE ROAD
STONE MOUNTAIN, GA 30088

DEKALB AP # 1246985
SLUP-25-1247527

FOR
MCKINLEY HOMES
655 ENGINEERING DRIVE
SUITE 208
PEACHTREE CORNERS, GA 30092
P: 470.268.4202

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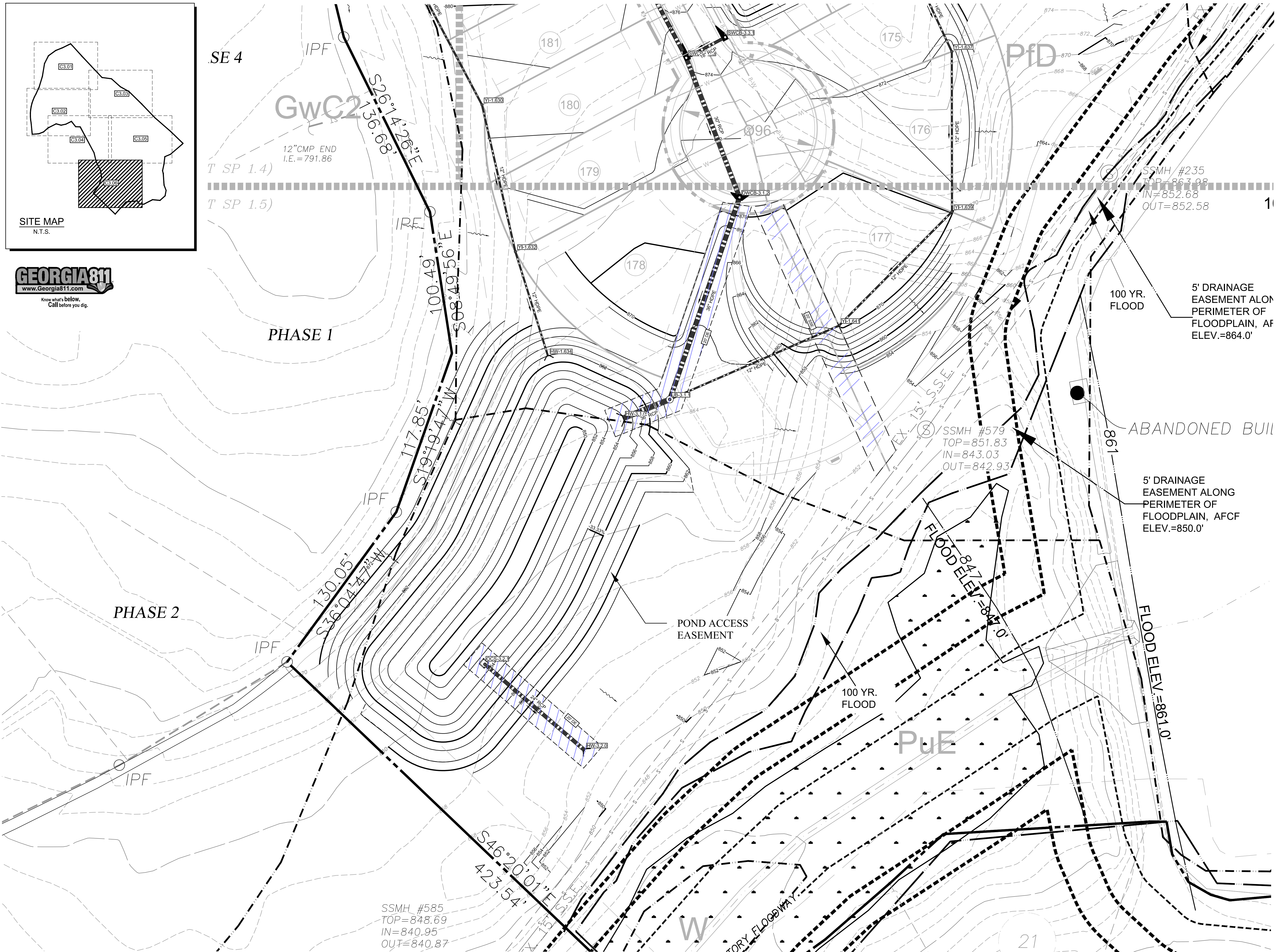
DETAIL GRADING AND STORM PLAN

SCALE: 1" = 30'
DATE: 05/03/2024
PROJECT: 20251.00A

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A MASTER PLANNED RESIDENTIAL
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AT

5083 BIFFLE ROAD
STONE MOUNTAIN, GA 30088

DEKALB AP # 1246985
SLUP-25-1247527

FOR

MCKINLEY HOMES

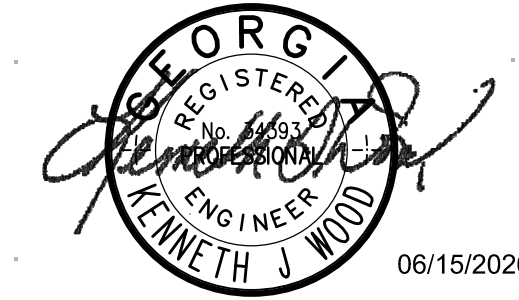
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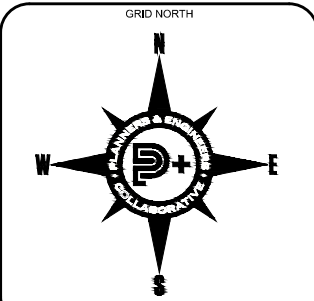


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**DETAIL GRADING
AND STORM PLAN**



SCALE: 1" = 30'
DATE: 05/03/2024
PROJECT: 20251.00A

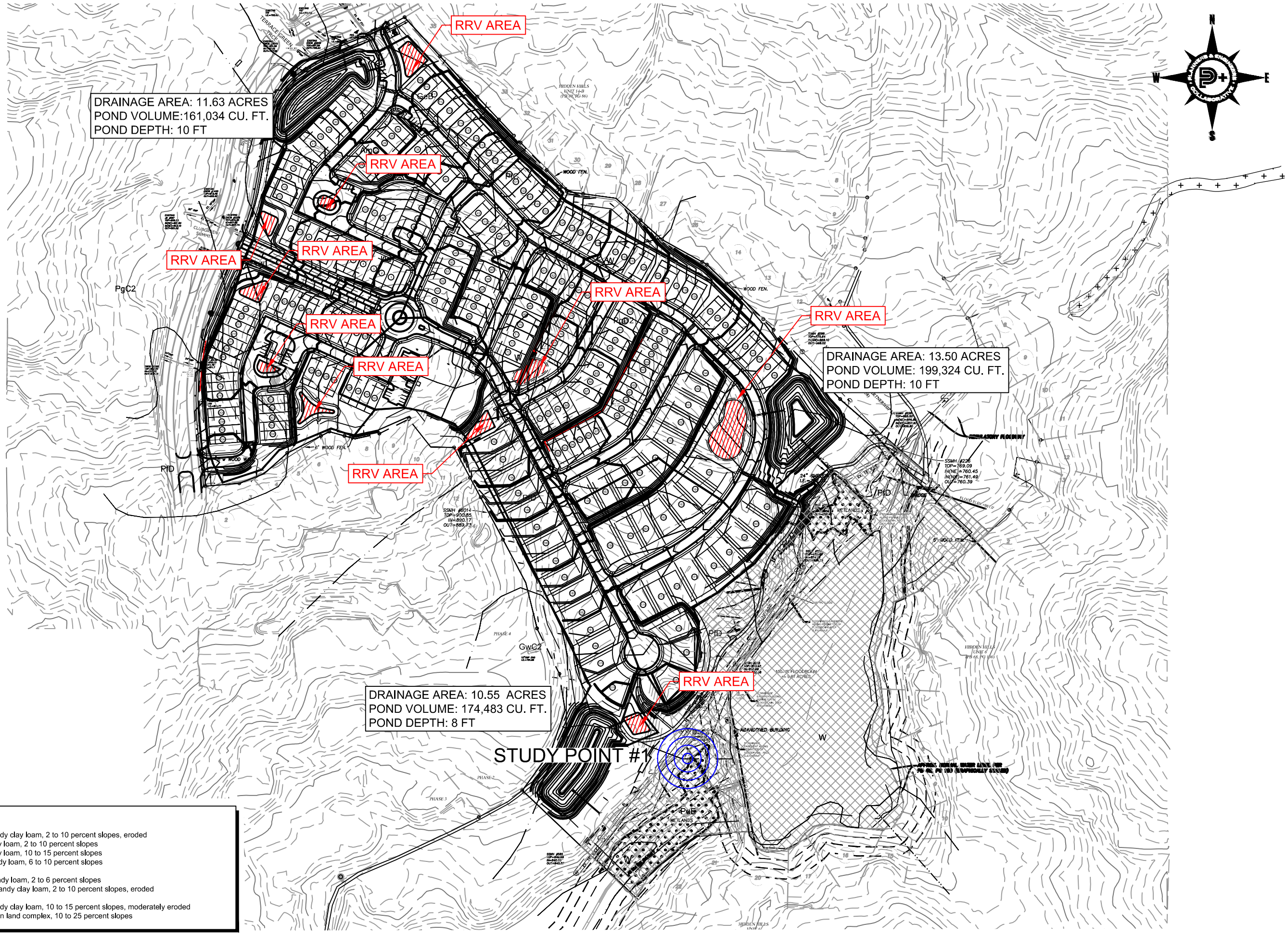


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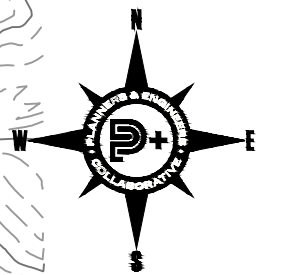
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POND VOLUME: 161,034 CU. FT.
POND DEPTH: 10 FT

DRAINAGE AREA: 13.50 ACRES
POND VOLUME: 199,324 CU. FT.
POND DEPTH: 10 FT

DRAINAGE AREA: 10.55 ACRES
POND VOLUME: 174,483 CU. FT.
POND DEPTH: 8 FT

STUDY POINT #1

SOILS:
PgC2- Pacolet sandy clay loam, 2 to 10 percent slopes, eroded
PiC- Pacolet sandy loam, 2 to 10 percent slopes
PiD- Pacolet sandy loam, 10 to 15 percent slopes
AmC- Appling sandy loam, 6 to 10 percent slopes
Ud- Urban land
GeB- Gwinnett sandy loam, 2 to 6 percent slopes
GwC2- Gwinnett sandy clay loam, 2 to 10 percent slopes, eroded
W- Water
PgD2- Pacolet sandy clay loam, 10 to 15 percent slopes, moderately eroded
PuE- Pacolet-Urban land complex, 10 to 25 percent slopes



PROJECT: 20251.00A
DATE: 05/03/2024
SCALE: 1" = 250'
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BIFFLE ROAD
FOR
A MASTER PLANNED RESIDENTIAL DEVELOPMENT
MCKINLEY HOMES
655 ENGINEERING DRIVE
PEACHTREE CORNERS, GA 30092
PHONE: 470.268.4202
CITY OF STONE MOUNTAIN
DEKALB COUNTY
GEORGIA

POST-DEVELOPED
DRAINAGE MAP

C4.08
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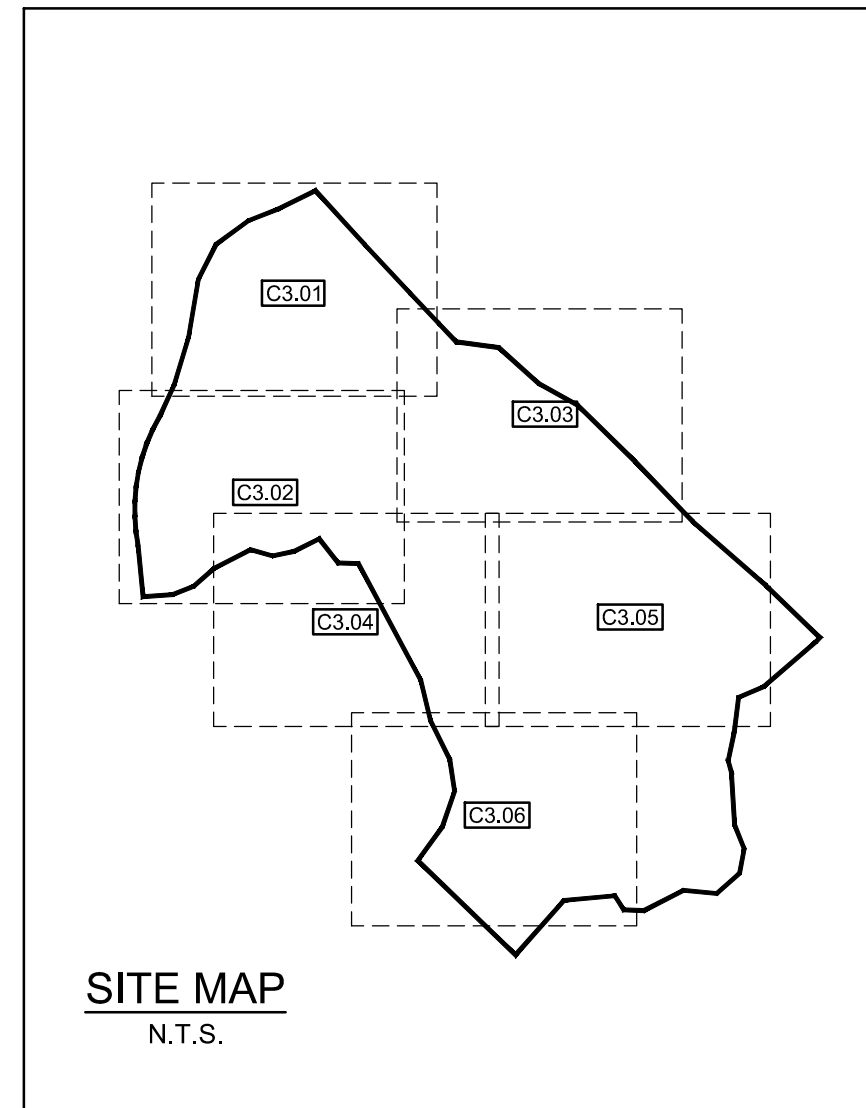
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UTILITY NOTES:

1. WATER MAIN TO BE PUBLIC 8-INCH D.I.P. LINE WITHIN A 55' ACCESS AND UTILITY EASEMENT ON MAIN ROADS, 28'-20" EASEMENT ON ALLEYS, AND 20'-FEET WATER EASEMENT FOR ACCESS AND MAINTENANCE (WATER PROVIDED BY DEKALB COUNTY).
2. SANITARY SEWER SYSTEM (SEWER PROVIDED BY DEKALB COUNTY) TO BE PUBLIC 8-INCH DIP LINE WITHIN A 55' ACCESS AND UTILITY EASEMENT ON MAIN ROADS, 28'-20" EASEMENT ON ALLEYS, AND 20'-FEET SANITARY SEWER EASEMENT FOR ACCESS AND MAINTENANCE.
3. SANITARY SEWER MAIN SHALL BE 8" DIP @ 1% (MIN) WITH 4' COVER.
4. ALL SANITARY SEWER LINES INSTALLED WITHIN THE ROADWAY SHALL BE DIP.
5. EACH ADDRESS WILL HAVE SEPARATE SANITARY SEWER LATERAL.
6. EACH ADDRESS WILL HAVE SEPARATE 3/4" WATER METER.
7. DEKALB COUNTY SANITATION WILL BE RESPONSIBLE FOR HANDLING NON-HAZARDOUS HOUSEHOLD WASTE, YARD DEBRIS, AND RECYCLABLE MATERIAL.
8. DRAINAGE IMPROVEMENTS SHALL ACCOMMODATE POTENTIAL RUNOFF FROM THE ENTIRE UPSTREAM DRAINAGE AREA AND SHALL BE DESIGNED TO PREVENT INCREASES IN DOWNSTREAM FLOODING AS REQUIRED PER THE COUNTY STORMWATER MANAGEMENT REQUIREMENTS. STORMWATER QUALITY MANAGEMENT FACILITIES SHALL BE ADEQUATE AS REQUIRED BY THE DEKALB COUNTY CODES. DEKALB COUNTY MAY REQUIRE THE USE OF CONTROL METHODS SUCH AS RETENTION OR DETENTION AND/OR THE CONSTRUCTION OF OFFSITE DRAINAGE IMPROVEMENTS TO MITIGATE THE IMPACTS OF THE PROPOSED DEVELOPMENTS.
9. RECORDED OFF-SITE SEWER EASEMENT REQUIRED PRIOR TO ISSUANCE OF DEVELOPMENT PERMIT.

UTILITY NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE DEKALB, GEORGIA REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY.
3. MINIMUM 2' COVER OVER ALL PIPES IN NON-TRAFFIC AREAS. 3' MINIMUM COVER UNDER PAVEMENT AND TRAFFIC AREAS.
4. BEDDING, FITTINGS, AND CONNECTIONS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
5. WATER SERVICE TO BE PROVIDED BY DEKALB.
6. SANITARY SEWER SERVICE TO BE PROVIDED BY DEKALB.
7. COMPACTION EQUIPMENT TO BE USED ON ALL PIPES AND SERVICES UNDER PAVEMENT.
8. TAPE AND WIRE ALL PLASTIC PIPES AND SERVICES.
9. DEVELOPER SHALL INSTALL "DRAINS TO WATERWAY" STICKER ON ALL CATCH BASINS.
10. ALL WATER VALVES TO BE THE SAME SIZE AS INDICATED WATER LINES.
11. CLEAN-OUTS WILL BE PROVIDED AT ALL TURNING POINTS ON LATERAL LINES.



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**TERRA BELLA AKA
HIDDEN HILLS AT
BIFFLE ROAD**

A MASTER PLANNED RESIDENTIAL
DEVELOPMENT
AT

5083 BIFFLE ROAD
STONE MOUNTAIN, GA 30088

DEKALB AP # 1246985
SLUP-25-1247527

FOR

MCKINLEY HOMES
655 ENGINEERING DRIVE
SUITE 208
PEACHTREE CORNERS, GA 30092
P: 470.268.4202

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	05/05/2026	JK	CITY COMMENTS
-2	06/15/2026	GL	CITY COMMENTS

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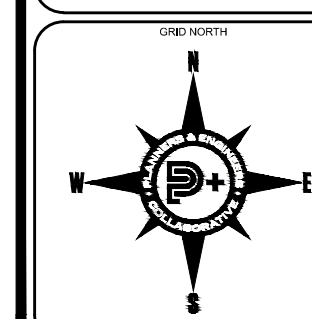


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**OVERALL UTILITY
PLAN**



SCALE: 1" = 150'
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PROJECT: 20251.00A

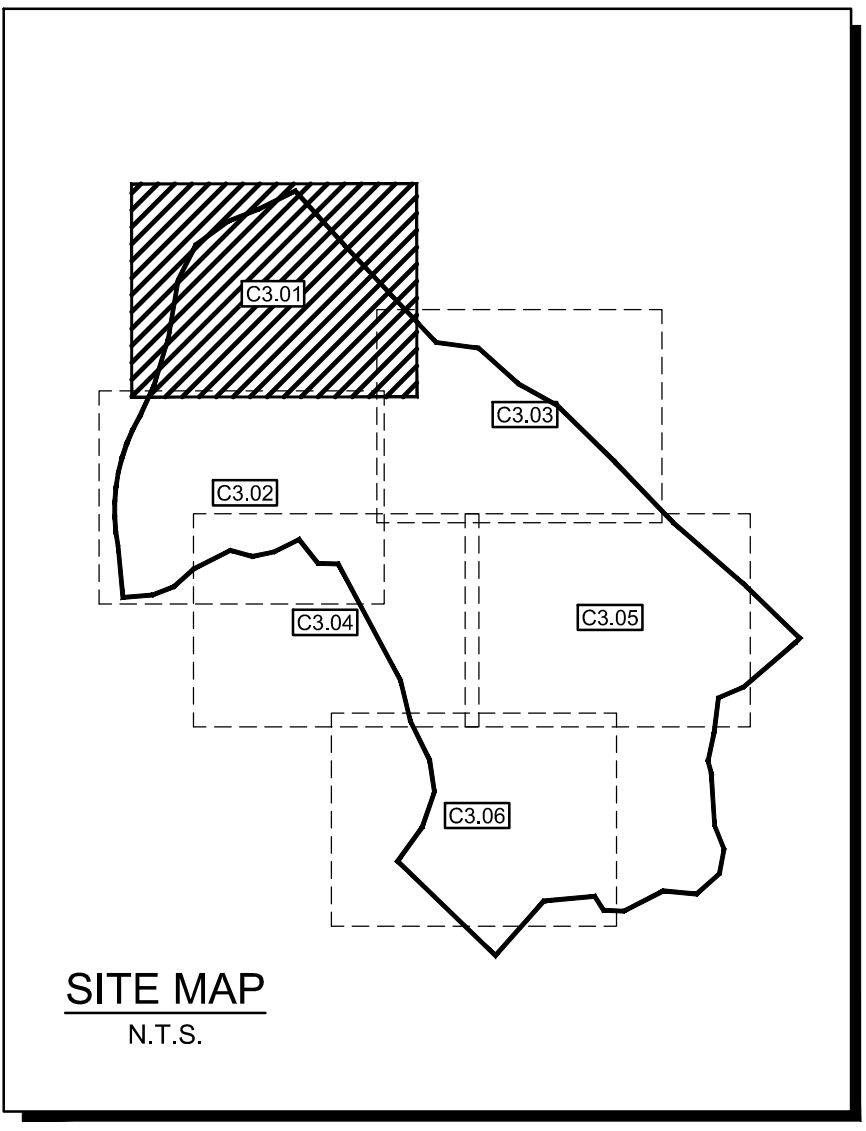
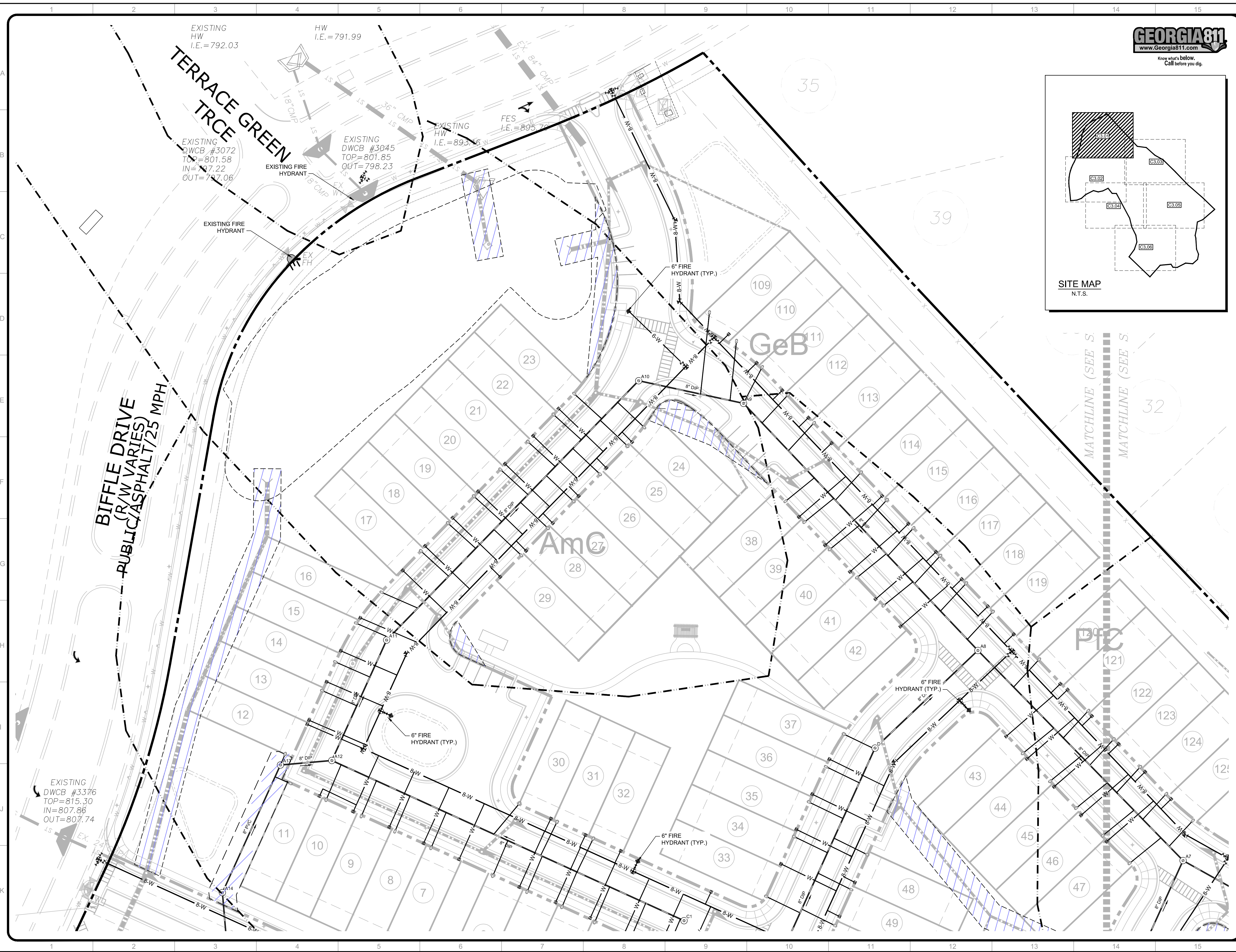


C5.00

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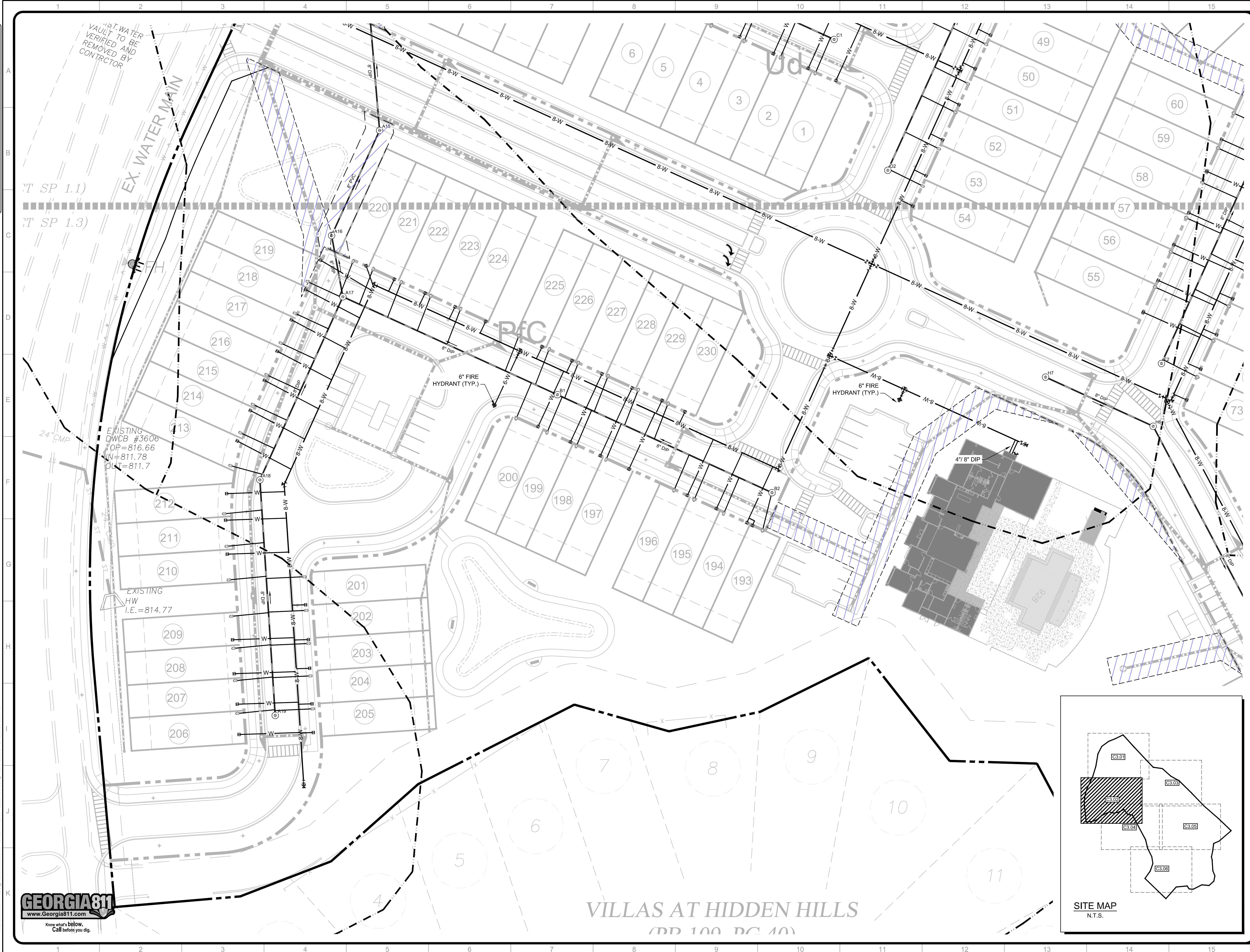
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PROJECT

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A MASTER PLANNED RESIDENTIAL
DEVELOPMENT

AT

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STONE MOUNTAIN, GA 30088

DEKALB AP # 1246985
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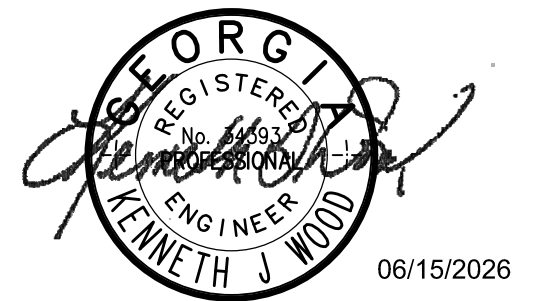
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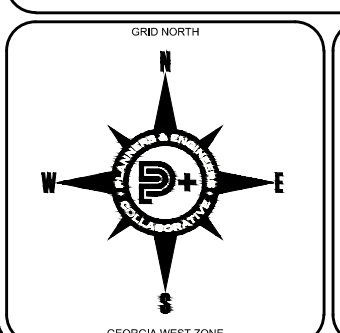


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DETAIL UTILITY PLAN

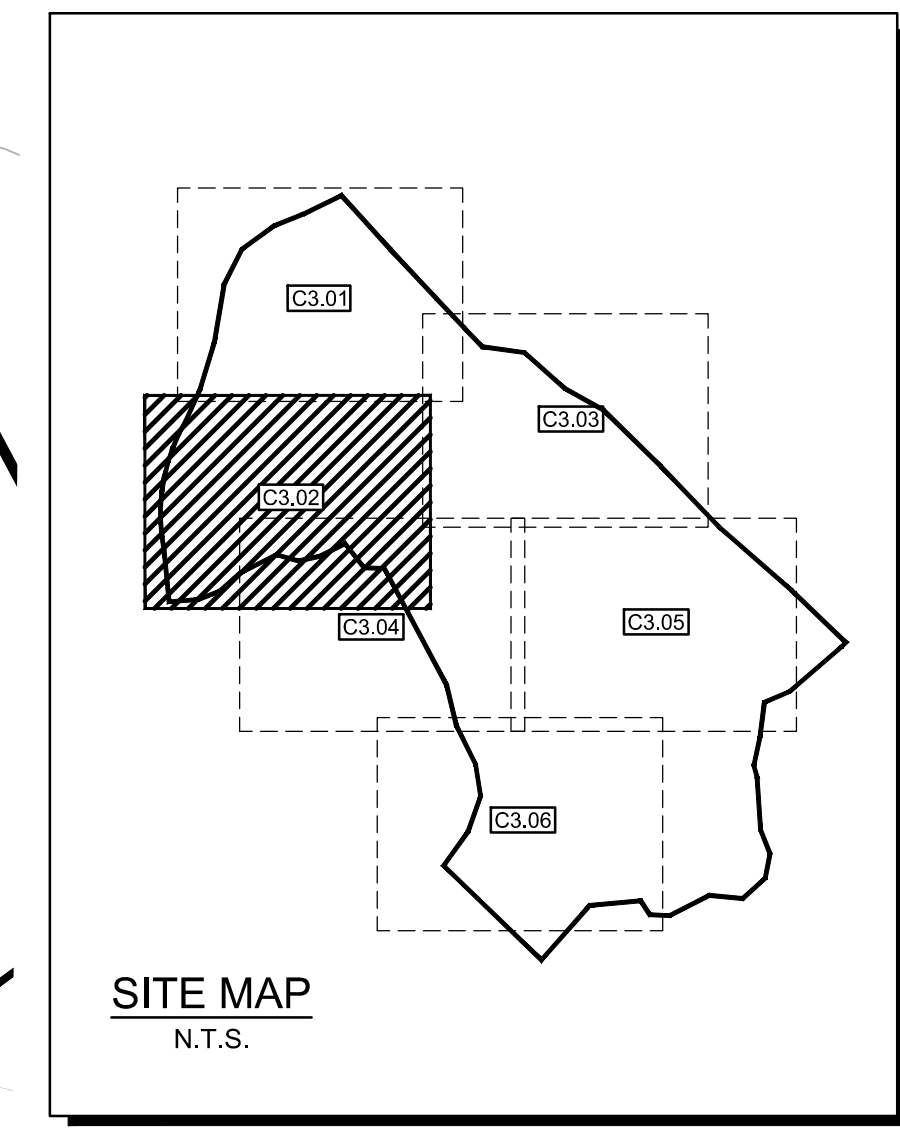
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PROJECT: 20251.00A



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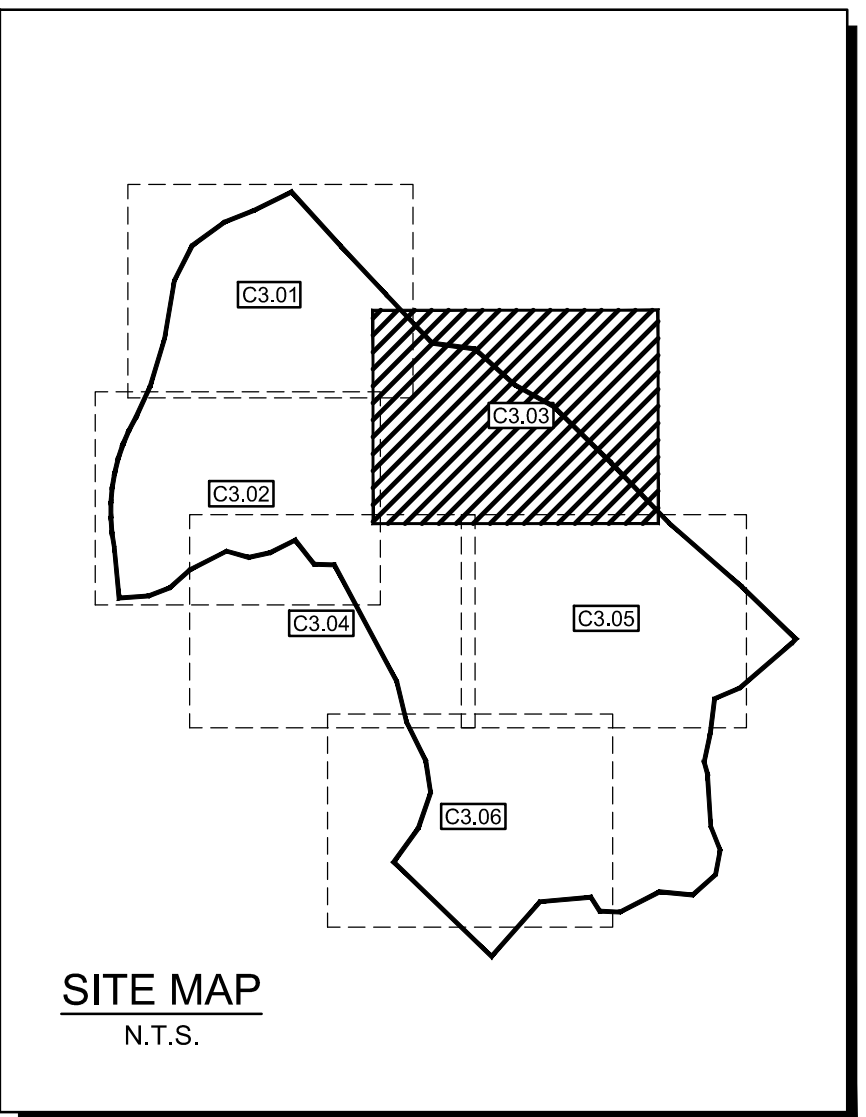
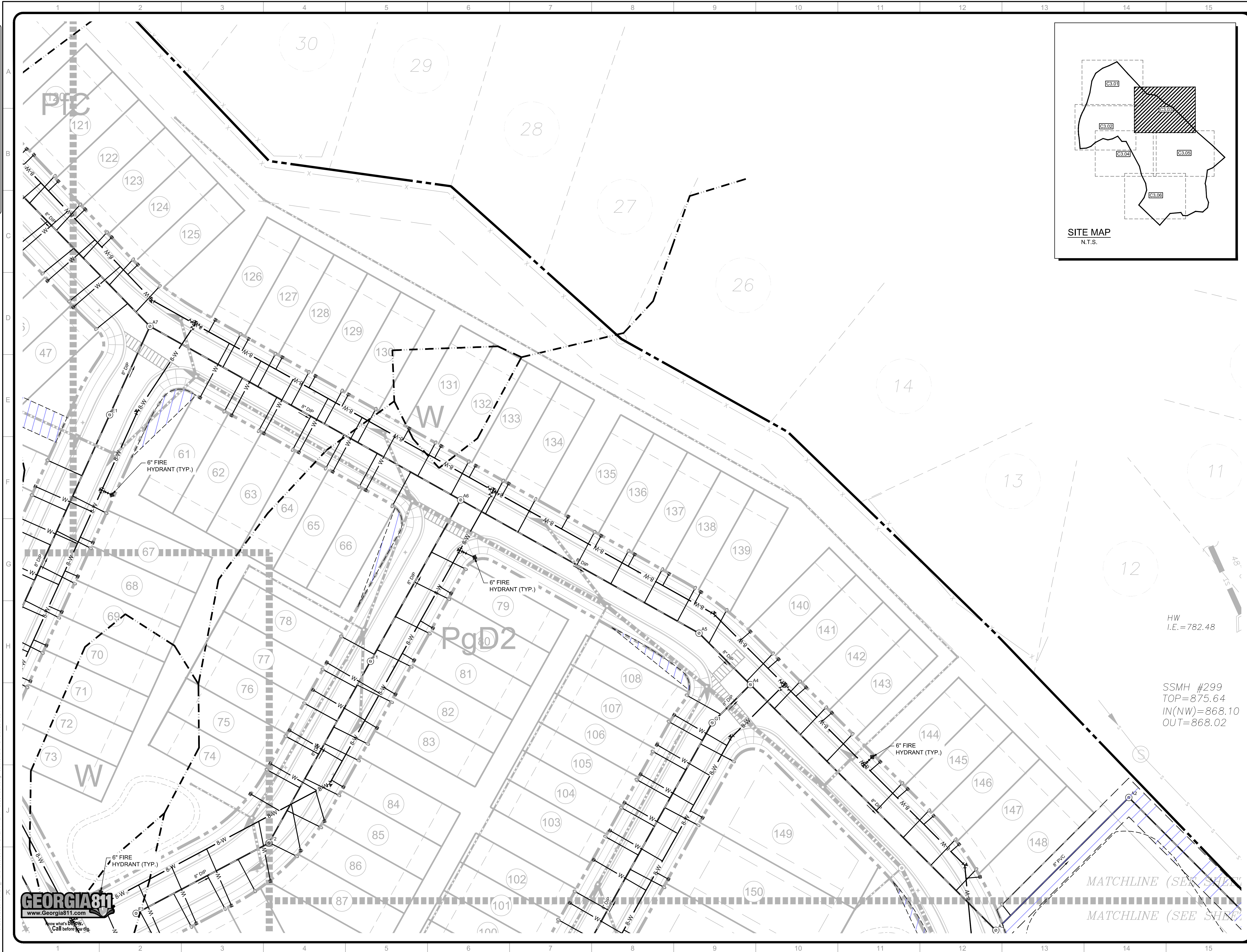


VILLAS AT HIDDEN HILLS
(DD 100 DC 40)



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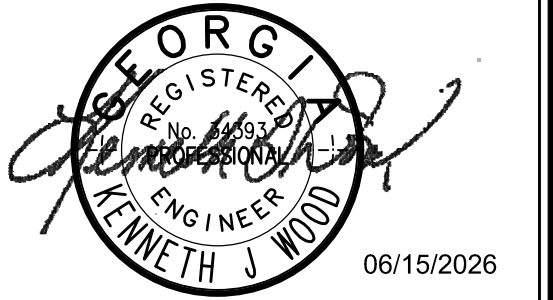
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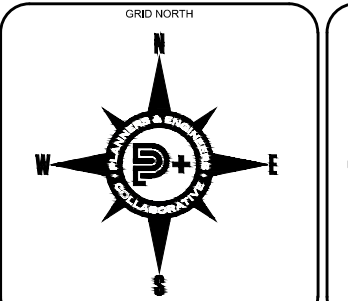


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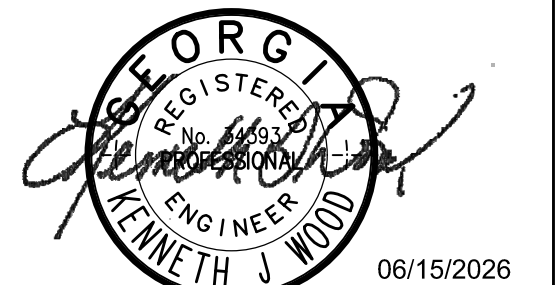
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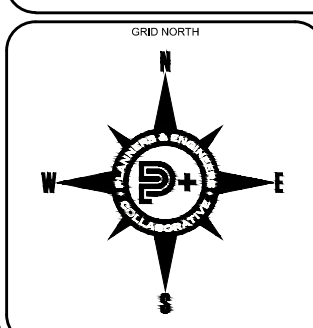


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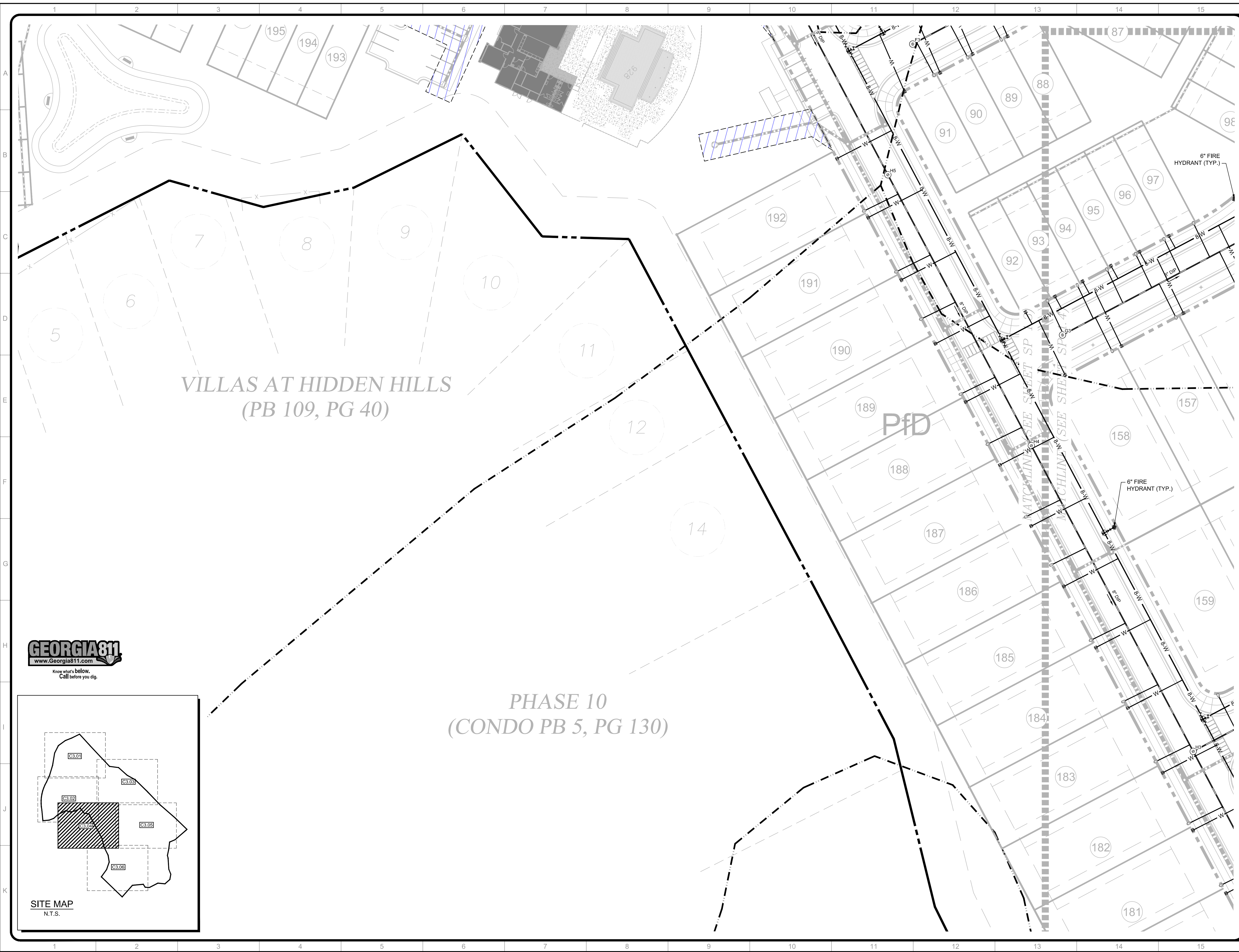


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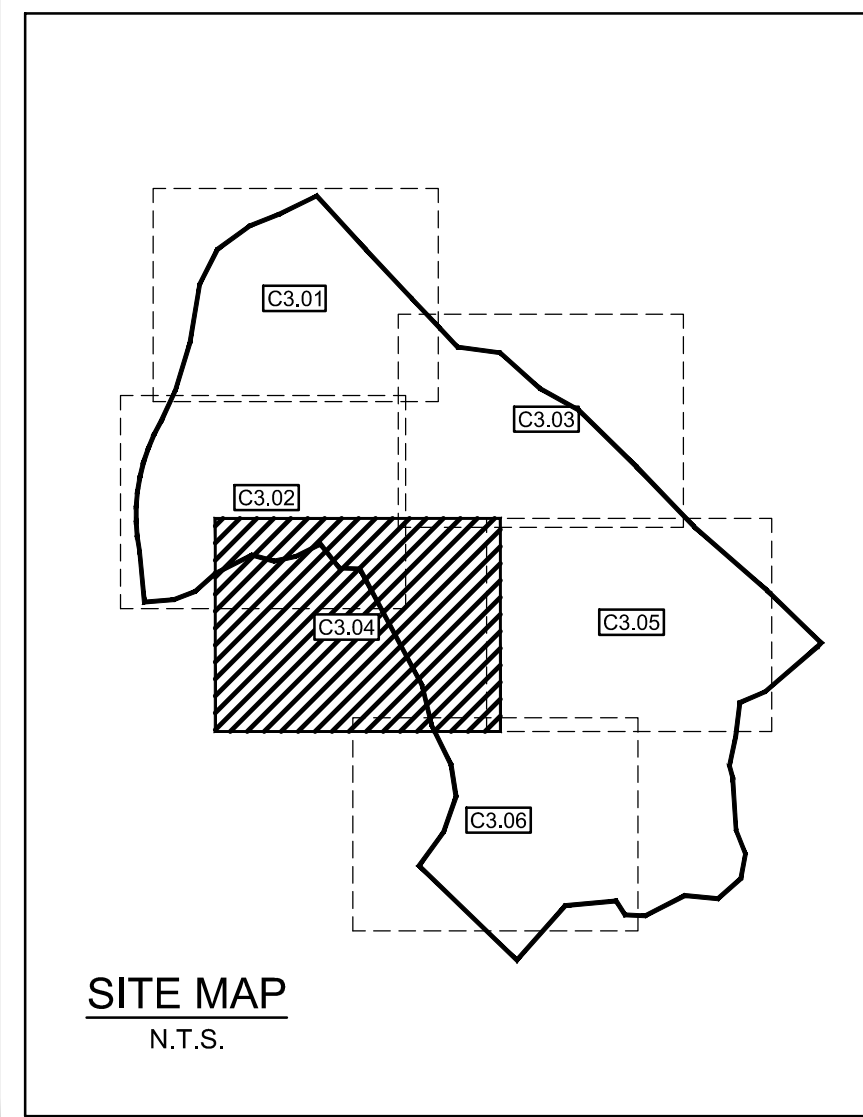


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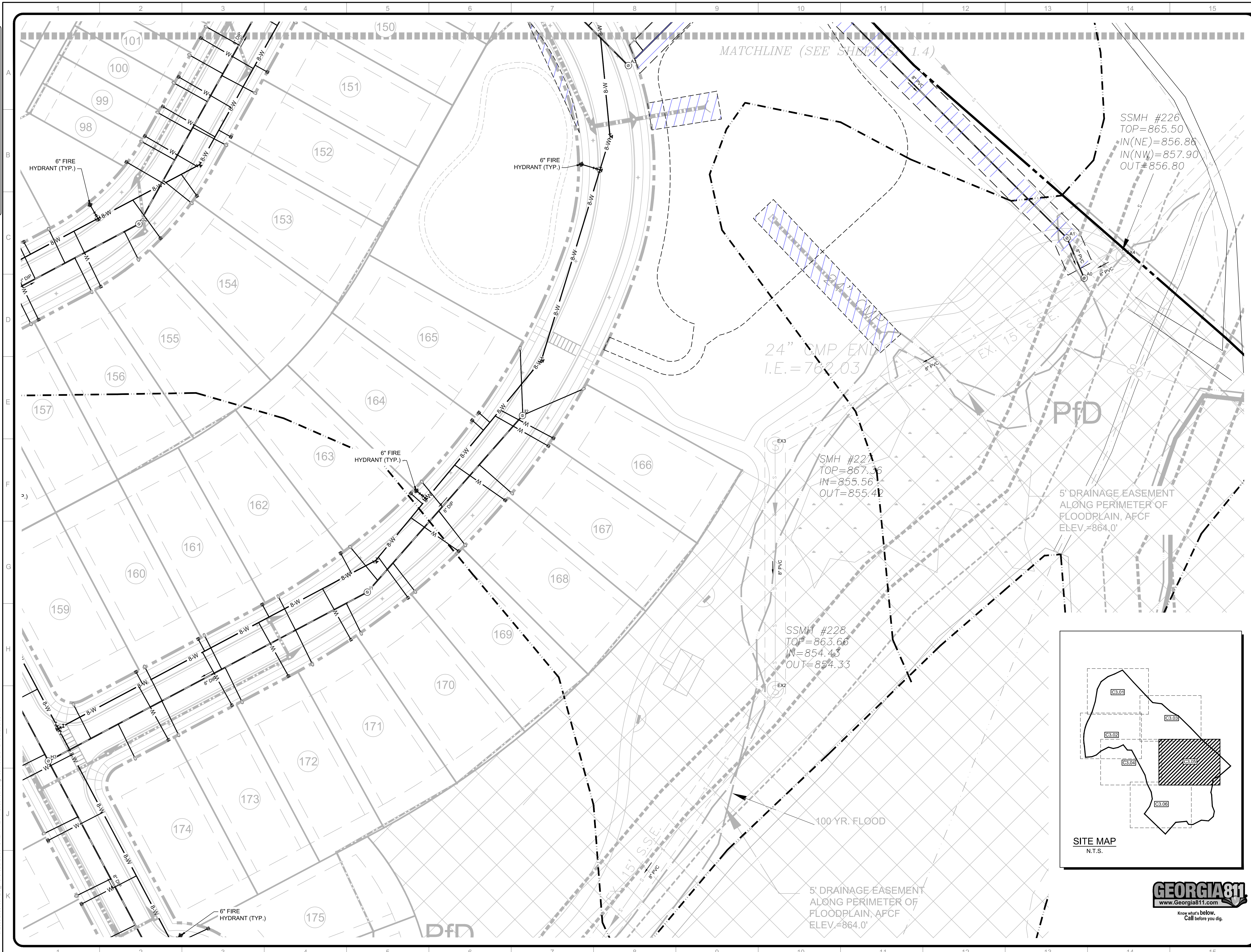


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A MASTER PLANNED RESIDENTIAL
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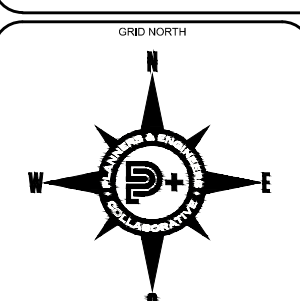


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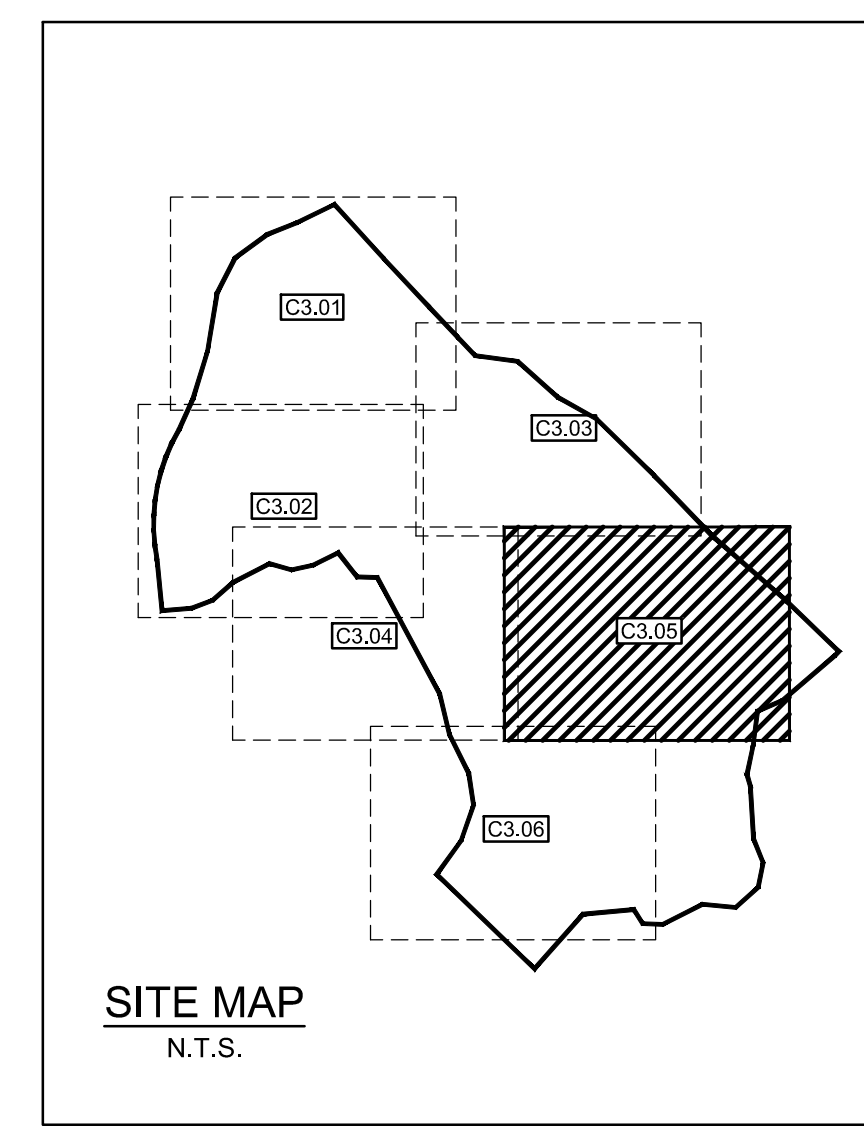


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SITE MAP
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VILLAS AT HIDDEN HILLS
(PB 109, PG 40)

PHASE 10
(CONDO PB 5, PG 130)

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LAND PLANNING + LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING
ARBORISTS + SURVEYING + CONSTRUCTION + WATER RESOURCES

350 RESEARCH COURT STE 200
PEACHTREE CORNERS, GA 30092

PROJECT

TERRA BELLA AKA HIDDEN HILLS AT BIFFLE ROAD

A MASTER PLANNED RESIDENTIAL
DEVELOPMENT
AT

5083 BIFFLE ROAD
STONE MOUNTAIN, GA 30088

DEKALB AP # 1246985
SLUP-25-1247527

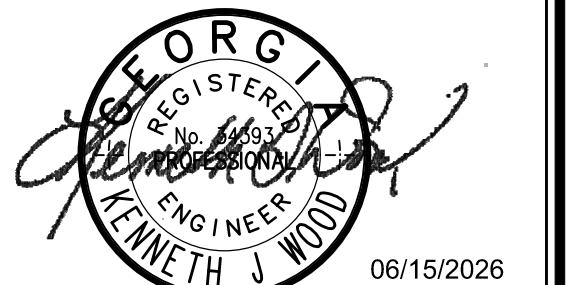
FOR

MCKINLEY HOMES
655 ENGINEERING DRIVE
SUITE 208
PEACHTREE CORNERS, GA 30092
P: 470.268.4202

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	05/05/2026	JK	CITY COMMENTS
-2	06/15/2026	GL	CITY COMMENTS

THIS SEAL IS ONLY VALID IF COUNTER SIGNED
AND DATED WITH AN ORIGINAL SIGNATURE.

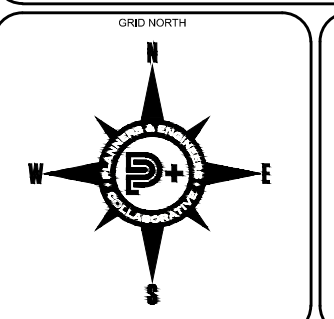


GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION # 0000059389 EXP. 10/31/2027

DETAIL UTILITY PLAN



SCALE: 1" = 30'
DATE: 05/03/2024
PROJECT: 20251.00A



C5.06

SHEET

J:\2025\2025100A\DWG\Plansheets\C5.06 - UTILITY PLAN - 20251.00A.dwg - AutoCAD - 05/03/2024 3:04 PM



Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

SKETCH PLAT APPLICATION

Application Fee: \$300 plus \$10 per lot created.

Only digital copies will be accepted.

Contact plansustain@dekalbcountyga.gov for any questions regarding submittal requirements.

Project Name Terra Bella AKA Hidden Hills at Biffle Road
Project Address 5083 Biffle Road
Parcel ID Number(s) 16 028 01 001
Proposed Use Mixed-Use: Future Non-Residential office 225,500sf, 240 Multi-family units, 157 Townhome Units

Date(s) of Pre-Application Meeting(s) 02/28/2024

Site Acreage 54.355 **Acre(s)** **No. of Lots** _____ **No. of Units** 397

Public Sewer (Y/N?) Y **Septic (Y/N?)** N

Property Owner JLD Hidden Hills, LLC **Phone** [REDACTED]

Address [REDACTED]

City [REDACTED] **State** [REDACTED] **Zip** [REDACTED]

Agent Authorized to Receive All Notifications William Schmidt / McKinley Homes

Address [REDACTED] **Phone** [REDACTED]

City [REDACTED] **State** [REDACTED] **Zip** [REDACTED]

Developer McKinley Homes **Phone** [REDACTED]

Address [REDACTED]

City [REDACTED] **State** [REDACTED] **Zip** [REDACTED]

Engineer/Architect Kenneth J. Wood **Phone** [REDACTED]

Address [REDACTED]

City [REDACTED] **State** [REDACTED] **Zip** [REDACTED]

Applicant Jon Howard

Company Name Planners + Engineers Collaborative / PEC+ **Phone** [REDACTED]

Address [REDACTED]

City [REDACTED] **State** [REDACTED] **Zip** [REDACTED]

SIGNATURE OF APPLICANT Jon Howard **Date** 4/17/2024



DeKalb County
GEORGIA

Government Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

SKETCH PLAT APPLICATION AUTHORIZATION

Only digital copies will be accepted.

Contact plansustain@dekalbcountyga.gov for any questions regarding submittal requirements.

To whom it may concern:

I/We, JLD Hidden Hills, LLC

being owner(s) of the property described below or attached, hereby delegate authority to:

William Schmidt, McKinley Homes

to file an application in my/our behalf.

List of all Parcel ID Number(s): 16 028 01 001
16 028 01 001

Gloria D. O. 4/15/2024
Notary Public

William Schmidt
Owner

Notary Public

Owner

Notary Public

Owner

Notary Public

Owner

Notary Public

Owner

All applications for Sketch Plats must be submitted by the owner of the affected property or the authorized agent of the owner. Such authorization shall be notarized and attached to the application.






DEPARTMENT OF PLANNING & SUSTAINABILITY

CERTIFICATE OF CONFORMITY

Only digital copies will be accepted.

Contact plansustain@dekalbcountyga.gov for any questions regarding submittal requirements.

I, Kenneth Wood, the engineer/surveyor
for the subdivision known as TERRA BELLA, AKA HIDDEN HILLS AT BIFFLE RD.,
located in Land Lot 27 & 28 of the 16TH District, hereby
certify that no lots platted within the subdivision are non-conforming or will result in
any non-conforming lots.



Signature

Kenneth Wood

Name (Please Print)

[Redacted Address]

Address

[Redacted City] [Redacted State] [Redacted Zip]

City

State

Zip

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

SKETCH PLAT REVIEW CHECKLIST

Date: 04/17/2024

Project Name: Terra Bella AKA Hidden Hills at Biffle Road

Zoning District: MU-Hidden Hills Tier 5

Map Reference or Parcel Numbers: 16 028 01 001

Associated Rezoning or Other Application Numbers:
1246985

SKETCH PLAT SUBMITAL REQUIREMENTS

X [14-87 - Conference with County Officials](#)

Before filing the sketch plat for a subdivision for review and approval, the applicant shall meet with the planning [staff] to discuss the procedure for approval of a subdivision plat and the requirements as to general layout of streets, reservations of open space, street improvements, drainage, sewerage, fire protection, and similar matters, as well as the availability of existing services, including schools. The planning [staff] may advise the applicant, when appropriate, to discuss the proposed subdivision with those officials who must eventually approve those aspects of the subdivision plat coming within their jurisdiction. This conference will allow early evaluation of the applicant's intentions and coordination with the comprehensive plan and the zoning ordinance. This conference will also allow county officials to discuss with the applicant the necessary regulations that will properly accomplish the project.

Please contact plansustain@dekalbcountyga.gov or awchappell@dekalbcountyga.gov with questions.

14-89 - Required information

The following **existing conditions** shall be shown on a sketch plat:

X (1) *Boundary lines*. Perimeter boundary of the overall tract, bearings and distances, referred the legal point of beginning;

X (2) *Streets on or adjacent to tract*. Name, right-of-way width, and location of streets on and adjacent to the tract, and any existing railroad, sidewalk, trail, or bike lane;

X (3) *Contour data*. Topographic contour data at no more than two-foot elevation intervals. The source of this data shall be written on the plat. Existing contour data from the DeKalb County Geographic Information System Department may be used where available;

X (4) *Tree survey*. A tree survey in compliance with [section 14-39](#) or tree sample calculations where allowed by the county arborist which may be submitted as a separate plan;

X (5) *Historic resources*. Any building, structure, site or district identified as historic by the DeKalb County Historic Preservation Commission, the DeKalb County Historic Resources Survey, the comprehensive plan, by listing on the Georgia or National Register of Historic Places, or by listing as a National Historic Landmark.

X (6) *Natural features on tract*. Other conditions on the tract such as stream buffers, state waters, cemeteries, wetlands, existing structures, intermediate regional floodplain boundary (where available), rock outcroppings, and archeological resources;

X (7) *Soils*. Location of soils as shown on Soil Survey of DeKalb County, Georgia by the United States Department of Agriculture;

X (8) *Geographical data*. Numerical and graphic scales, north arrow, land lot and district numbers and lines, city and county names and limit lines;

X (9) *Prior subdivisions*. Name and reference of any formerly recorded subdivision crossing any of the land shown on the plat;

X (10) *Zoning district*. Show zoning district, case number and conditions of zoning; **For zoning conditions associated with any rezoning of the subject property, include conditions and submitted site plan with the rezoning on a separate sheet.**

X (11) *Permits*. Show any special administrative permit number, special land use permit number, or board of appeals case number and conditions;

X (12) *Variances*. Show any variance approvals;

N/A (13) *Septic tanks*. Show existing septic tank and drain field location or note absence;

X (14) *Sewers*. Show size and location of sanitary sewer main(s) available;

X (15) *Sewer easements*. Show a sanitary sewer easement with a minimum width of fifteen (15) feet of for all county maintained lines not within county right-of-way, unless otherwise required by water and sewer department;

DEPARTMENT OF PLANNING & SUSTAINABILITY

- (16) *Water mains*. Show size and location of water main(s) and fire hydrants;
- (17) *Water main easements*. Show a water main easement with a minimum width of fifteen (15) feet for all county maintained lines not within right-of-way;
- (18) *IRF*. Show on plan whether FEMA or county benchmark used to establish IRF also identify location of Benchmark;
- (19) *Wetlands*. Provide wetlands determination from U.S. Army corps of engineers;
- (20) *Receiving waters*. Provide distance to and name of receiving waters;
- (21) *Certificate of conformity*. Certification by the applicant that no lots platted are non-conforming or will result in any non-conforming lots.
- (22) *Bury pits*. Show location of any existing inert waste bury pits.
- (23) *Seal*. All sheets of plats must be sealed by a professional engineer, architect, surveyor, or landscape architect currently registered in the state of Georgia;

14-90 - Depiction of proposed physical layout

The following **proposed features** shall be shown on the sketch plat:

- (1) *Title*. The title under which the proposed subdivision is to be recorded, if known, with the name of the property owner(s) and designers and the date of the plat;
- (2) *Street names*. The name of all proposed streets.
- (3) *Rights-of-way*. Street rights-of-way and widths indicated, including any necessary right-of-way required for improvements as shown on the thoroughfare plan;
- (4) *Sidewalks*. All proposed sidewalk and bike lane locations; **Show width of proposed improvements, including landscape strips.**
- (5) *Lots*. Lot lines, lot numbers, block letters, and the total number of proposed lots within the development;
- (6) *Dedications*. Sites, if any, to be dedicated or reserved for common areas, public parks, open space, schools, playgrounds, multi-use trails, or other public uses, together with the purpose and the conditions or limitations of these dedications, if any;
- (7) *Yards*. Minimum building setback lines as required under the yard requirements of zoning ordinance. **Setback lines shall be provided for ALL proposed lots.**
- (8) *Zoning conditions*. All conditions of zoning and proposed deed restrictions shall be recited on the sketch plat; **For zoning conditions associated with any rezoning of the subject property, include conditions and submitted site plan with the rezoning on a separate sheet.**
- (9) *Corner lots*. Show that corner lots shall have an extra width of not less than fifteen (15) feet more than required for interior lots for the zoning district within which they are located;

- X (10) *Transitional buffers*. Show transitional buffers, if any and any required screening fencing;
- X (11) *BMPs*. Show conceptual location of storm water management and water quality BMP facilities on sketch plat;
- X (12) *IRF*. Show proposed IRF contour, spot elevation (if available) and source;
- X (13) *Covenants*. Indicate whether the proposed subdivision will be subject to private covenants and whether a homeowner's association will be established;
- X (14) *Sewer easements*. Show a sanitary sewer easement with a minimum width of fifteen (15) feet for all county maintained lines not within county right-of-way;
- X (15) *Water main easements*. Show a water main easement with a minimum width of fifteen (15) feet for all county maintained lines not within right-of-way;
- X (16) *Fire hydrants*. Show new fire hydrant(s) and eight-inch fireline(s); and
- X (17) *Fencing*. Show any required fencing around detention ponds, if required.
- X (18) *Electrical service*. Show whether electrical service will be above ground or underground.

14-91 - Additional information to be filed with the sketch plat

- X (1) *Owner consent*. The property owner must consent in writing to the proposed development in a consent affidavit provided by the planning director with the application;
- X (2) *Taxes*. Provide statement from tax commissioner certifying that all ad valorem taxes on the property have been paid;
- X (3) *Location*. A small map of DeKalb County depicting the subdivision location within the county;
- X (4) *Vicinity map*. Vicinity map at a scale of four hundred (400) feet to one (1) inch showing the location of the tract with reference to surrounding properties, streets, municipal boundaries, and streams within five hundred (500) feet of the tract show zoning districts of adjoining property;
- X (5) *Adjacent properties*. Names of adjoining property owners and the zoning classification of adjacent properties. **Include Zoning of adjacent properties.**
- X (6) *Engineer*. Name, address and phone of developer and engineer on plat.

X **14-92 - Scale**

Sketch plats shall be prepared at an appropriate scale of not more than one hundred (100) feet to one (1) inch. Maximum sheet size shall be twenty-four (24) inches by thirty-six (36) inches.

X **14-96 (c)**

After review of the sketch plat and related comments, and where, in the judgment of the planning commission, the sketch plat conforms to all of the requirements of this chapter and Chapter 27 of this Code, all conditions of zoning, and any other applicable county regulations or law, the planning commission chairman shall approve said sketch plat. The following wording for approval shall be shown on the sketch plat:

This sketch plat has been submitted to and approved by the planning commission of DeKalb County, on this _____ day of _____.
 By: _____ (By Dir.)
 Planning Commission Chairman
 DeKalb County, Georgia

DEPARTMENT OF PLANNING & SUSTAINABILITY

PLEASE ACKNOWLEDGE THAT THE FOLLOWING ITEMS HAVE BEEN ADDRESSED: See individual code sections for details on requirements

- [14-166. - Adequate public facilities](#)
- 14-167. - Conservation of natural resources.
- 14-181. - Generally.
- 14-182. - Arrangement where not shown on thoroughfare plan.
- 14-183. - Minor streets/minor arterials.
- 14-184. - Thoroughfare plan.
- 14-185. - Subdivisions bordering on or containing arterial streets, railroad right-of-way or limited-access highway right-of-way.
- 14-186. - Reserve strips.
- 14-187: Street intersection spacing.
- 14-188: Intersections – right angle.
- 14-189: Property line to be curved or mitered.
- 14-190: Street classification and right-of-way width.
- 14-191: Improvements, right-of-way dedication.
- 14-191 (e): Board of Commissioners waiver of right-of-way, road improvements.
- 14-192: Half streets.
- 14-193: Temporary dead-end streets.
- 14-194: Permanent dead-end street; cul-de-sac required.
 - (a) Cul-de-sac required.
 - (b) Minimum radius; provide a landscaped island.
- 14-195: Alleys.
- 14-196: Street grades.
- 14-197: Minimal horizontal curve radius.
- 14-198: Minimum sight distance.
- 14-199: Design of intersections.
- 14-200: Access management.
- 14-200 (e): Number of access points.
- 14-200 (j): Deceleration

- _____ 14-201: Planting Strips
- _____ 14-217: Permission for easement dedication required.
- _____ 14-218: Floodplain easements – on-site.
- _____ 14-219: Drainage easements – off-site.
- _____ 14-220: Pedestrian and bicycle easements and paths.
- _____ 14-236: Length, width, and shape of blocks.
- _____ 14-237: Desirable maximum and minimum block length.
- _____ 14-238: Mid-block easements and pedestrian paths.
- _____ 14-256: Lot compliance with zoning ordinance.
- _____ 14-257: Corner lots.
- _____ 14-258: Frontage.
- _____ 14-259: Through lots and reverse frontage lots prohibited.
- _____ 14-260: Side lot lines
- _____ 14-275: Open space required; purposes.
- _____ 14-276: Restrictions on open space.
- _____ 14-277: Dedication of parks, open space, recreation areas, and conservation easements.
- _____ 14-286: Reservation of sites for civic use.
- _____ 14-351(e): Dry sewer waiver.
- _____ 14-356: Comments, recommendations to be marked on preliminary plat.
- _____ 14-379(d): Contour intervals.
- _____ 14-383: Sidewalks and bicycle lanes.
- _____ 14-384: Parking on public right-of-way.
- _____ 14-385: Underground utilities.
- _____ 14-386: Street lights.
- _____ 14-396: Septic tank data.
- _____ 14-397: Contour intervals.
- _____ 14-398: Soil analysis.
- _____ 14-399: Analysis.
- _____ 14-404: Board of Health recommendations.
- _____ 14-405: Impoundment permit.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ADDITIONAL REQUIRED PLAT REVIEW ITEMS

Show developer's name, address, and phone number.

Show number of lots / units in development.

Who will provide water service?

Who will provide sewer service?

Add note: Recorded off-site sewer easement required prior to issuance of development permit.

Add note: A 75' tributary buffer will be maintained on all state waters that are not approved for a buffer encroachment variance by DeKalb County or GA. E.P.D.

Add note: Sketch plat approval does not constitute approval of the storm drainage or sanitary sewer systems. No construction shall begin until construction plans are approved and a development permit is obtained.

Add note: The owner of the property is responsible for compliance with the Corps of Engineers requirements regarding wetlands

AN ORDINANCE TO GRANT A SPECIAL LAND USE PERMIT (SLUP) TO ALLOW SENIOR RESIDENTIAL HOUSING IN THE R-100 (RESIDENTIAL MEDIUM LOT-100) ZONING DISTRICT AND TIER 5 OF THE HIDDEN HILLS OVERLAY DISTRICT. THE PROPERTY IS LOCATED AT 5083 BIFFLE ROAD AND CONTAINS 54.355 ACRES FOR THE SLUP AND 77.21 ACRES OVERALL.

APPLICANT: Hailey Todd, PEC+
OWNER: JLD Hidden Hills, LLC

COMMISSION DISTRICTS: 5 & 7

WHEREAS, Hailey Todd, PEC+ has filed an application for a Special Land Use Permit for property located at 5083 Biffle Road, Stone Mountain, Georgia 30088, and more particularly described as follows:

All that tract or parcel of land and being in **District 16, Land Lot 028, Block 01, Parcel 001** of DeKalb County, Georgia, containing 54.355 acres for the Special Land Use Permit and a total of 77.21 acres; and,

WHEREAS, it appears to the Board of Commissioners that the application meets all of the criteria set forth in the DeKalb County Code, Chapter 27, Article VII, Division 4, Section 7.4, relating to the R-100 (Residential Medium Lot-100) zoning district.

THE BOARD OF COMMISSIONERS OF DEKALB COUNTY, GEORGIA, HEREBY ORDAINS:

Part 1: Pursuant to the authority of the DeKalb County Board of Commissioners to exercise powers of zoning, set forth in Section 27-1.1 and Section 27-7.4 of the DeKalb County Zoning Ordinance to grant a Special Land Use Permit (SLUP) to allow senior residential housing in the R-100 (Residential Medium Lot-100) Zoning District and Tier 5 of the Hidden Hills Overlay District. The property is located at 5083 Biffle Road, Stone Mountain, GA 30088, contains a total of 77.21 acres and is hereby approved, with conditions.

Part 2: That this amendment is approved conditionally, and under the provisions of Section 27-7.3.9 of the DeKalb County Zoning Ordinance, the Director of Development shall issue a permit for the development of the above-described Special Land Use, only in compliance with the conditions and/or site plan as herein attached to this ordinance.

Part 3: That all ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

ADOPTED by the DeKalb County Board of Commissioners this _____ day of

_____ 2025.

Michelle Long-Spears
Presiding Officer
Board of Commissioners
DeKalb County, Georgia

ATTEST:

Barbara Sanders-Norwood, CCC
Clerk to the Board of Commissioners and
Chief Executive Officer
DeKalb County, Georgia

REQUESTED BY APPLICANT:

Application of Hailey Todd, PEC+ for a Special Land Use Permit (SLUP) to allow senior residential housing in the R-100 (Residential Medium Lot-100) Zoning District and Tier 5 of the Hidden Hills Overlay District

PLANNING AND SUSTAINABILITY DEPARTMENT RECOMMENDATION:

Approval with Conditions. The applicant, Haley Todd (PEC+) is proposing to construct a total of 230 dwelling units at a density of approximately 4.23 units per acre, of which 131 are senior housing units. The subject property in its current configuration comprises approximately 77.21 acres of land that was formerly used as part of the now-defunct Hidden Hills Golf Course. The property is located within a Suburban (SUB) Character Area per the *DeKalb County 2050 Unified Plan* and has an underlying zoning designation of R-100 (Residential Medium Lot-100).

In addition, the subject property spans across two tiers of the Greater Hidden Hills Overlay District: The extreme eastern and southern portions of the property are designated as being within Tier 4 of the Overlay. Section 27-3.37.5. of the *Zoning Ordinance* defines Tier 4 as “a conservation open space area comprised of properties which are of such size, configuration and topography which would cause undue impacts on adjoining properties if developed. The properties are to be used for active and passive recreation areas and associated accessory structures.” The remaining 54.355 acres are designated as being within Tier 5 of the Overlay. Section 27-3.37.5. of the *Zoning Ordinance* defines Tier 5 as “a neighborhood mixed-use area which allows for increased density, increased building heights, and additional permitted uses within a mixed-use environment. The purpose of Tier 5 is to allow increased development in an area where it is needed while preserving/conserving property within Tiers 3 and 4.”

On September 22, 2021, the DeKalb County Planning Commission approved a Sketch Plat (P-Plat #1244609) authorizing the subdivision of 77.21 acres for the purpose of constructing 228 single-family attached (townhome) dwellings, 240 multifamily dwellings, and approximately 225,000 square feet of non-residential office space. Per Section 14-98 of the *Land Development Code*, P-Plat #1244609 expired on September 22, 2023. On May 22, 2024, the DeKalb County Planning Commission approved a Sketch Plat (P-Plat #1246015) authorizing the subdivision of 77.21 acres into three (3) parcels solely for the purpose of conveying two of the three resultant lots to a new owner for conservation. These lots would align with the current boundaries of Tier 4 on the subject property, as shown in the map titled “Greater Hidden Hills Overlay District” dated October 28, 2011.

At the time of this analysis, P-Plat #1246015 has not expired; however, a Final Plat officially creating these three (3) distinct lots has yet to have been recorded by the County. An additional Sketch Plat application is currently under review at the time of this analysis and is associated with the subject Special Land Use Permit (SLUP) request, which focuses on the remaining 54.355 acres that would comprise Tier 5 of the Overlay. This Sketch Plat application (P-Plat #1246985) calls for up to 230 dwellings at a density of approximately 4.23 units per acre- a significant reduction from the original proposal in 2021 (468 units at a density of 8.61 units per acre, if using the 54.355-acre figure). Of the 230 dwellings proposed, 44 units would be conventional single-family detached dwellings and 186 would be single-family attached (townhome) dwellings. Of the 186 attached dwellings, 131 are proposed to be senior units. Tier 5 of the Overlay only authorizes *senior housing* with a SLUP, hence the subject application request (the proposed use also satisfies the mixed-use requirement of Tier 5 of the Overlay). As indicated by a graphic titled “Hidden Hills Master Plan” presented by the applicant at Community Council, the proposed 131 senior housing units would be located in the northwestern section of the development site. The units are proposed to be single-story and ADA accessible and appear to meet the supplemental requirements for senior housing developments as specified in Section 27-4.2.26. of the *Zoning Ordinance*.

The proposed use would be integrated into the larger proposed “Terra Bella” development as envisioned in P-Plat #1246985 and would share amenities, including a proposed clubhouse that would be made available to the Hidden Hills Civic Association; connections would be made to existing trails within the Hidden Hills neighborhood and new connections would be proposed to open space areas along the eastern “lakeside” portion of the development site (see “McKinley Homes Development Agreement with Hidden Hills Civic Association”, attached to this analysis). The proposed senior housing supports the intent of the Suburban (SUB) Character Area per the *DeKalb County 2050 Unified Plan*, as it would “increase housing choice and income diversity without significantly altering established

neighborhood development patterns”. The proposed senior housing and additional units that would be associated with P-Plat #1246985 would be developed at a density that is similar to other developments within the Overlay.

The overall development promotes connectivity and provides walking trails and ADA-compliant pathways throughout. From a land use perspective, the proposed use of senior housing would not be in conflict with the intent of Tier 5 of the Overlay and appears to meet the supplemental criteria of Section 27-4.2.46. (Senior housing: independent and assisted living, nursing, and continuing care) and the criteria for a SLUP in Section 27-7.4.6. of the *Zoning Ordinance*. Therefore, upon review of Section 27-4.2.46 and 27-7.4.6 of the *Zoning Ordinance*, the Planning and Sustainability Department recommends “**Approval, with the following substitute conditions**”:

1. Senior housing units shall be constructed and located in general conformance to the conceptual plans titled “Hidden Hills Master Plan” by Planners and Engineers Collaborative.
2. Facades of senior housing units shall be in general conformance with renderings titled “Product Samples” by Planners and Engineers Collaborative and shall also be in conformance with the Greater Hidden Hills Overlay District Design Guidelines, Section 27-3.37., Section 27-4.2.46. (E), and Section 27-5.7.6. of the Zoning Ordinance.
3. The developer shall construct and maintain a six (6)-foot-wide or greater hardscape (asphalt or cement), ADA-accessible path along the lakeside of the development (roughly 1,570 feet or one-third mile) as depicted on the Sketch Plat. It must be kept in a clean, walkable, and orderly condition and remain open to the public from sunrise to sunset. The path must be clearly shown on all surveys and site plans submitted by the developer. It must be completed by the time 50% of the 130 senior housing units (65 units) are issued a Certificate of Occupancy (CO).
4. Public amenities. Should the developer construct any of the following amenities - dog park, public trail, gazebo, pavilion, pollinator garden, etc., on the lakeside of the development - these amenities shall be available for public use from sunrise to sunset, with the final amenities to be determined during the land disturbance permitting process.
5. McKinley Homes shall provide and install two signs indicating public access to the path at the east and west ends of the golf cart path near Biffle Road. The signs must comply with the Greater Hidden Hills Overlay District Design Guidelines and Section 27-3.41.9 of the Zoning Ordinance.
6. If the senior portion of the development consists of rental units, then they shall be rented under one management company and not individual home leases.
7. The proposed clubhouse amenity shall be completed by the time 50% of the 130 senior housing units (65 units) are issued a Certificate of Occupancy (CO).
8. The clubhouse amenity shall be made available to the Hidden Hills Civic Association for 12 regularly scheduled meetings, as described in the Development Agreement.
9. A traffic impact study shall be completed prior to Zoning approval of a Sketch Plat, as required per Section 27- 5.3.4. of the *Zoning Ordinance*.
10. Approval of this SLUP by the Board of Commissioners has no bearing on the requirements for other regulatory approvals under the authority of the Planning Commission, the Zoning Board of Appeals, or other entity whose decision should be based on the merits of the application under review by each entity. Approval of this SLUP shall not be used in lieu of an approved Sketch/Preliminary Plat, Land Development Permit (LDP), building permit, or any other County permit nor shall be considered a guarantee of approval of any permit.

PLANNING COMMISSION RECOMMENDATION:

(July 8, 2025) Full Cycle Deferral 8-0-1. Commissioner West moved, Commissioner Cooper seconded for a Full-Cycle Deferral to the September 2025 zoning agenda to allow the applicant time to work with Staff and the Hidden Hills Neighborhood Association to draft additional conditions. Commissioner Costello abstained due to a conflict of interest.

BOARD of COMMISSIONERS FINAL ACTION:

August 26, 2025, Approved with Staff's substitute ten (10) conditions.



Planning & Sustainability Department

Government Services Center
178 Sams Street
Decatur, GA 30030

Current Planning Zoning Division

DeKalb County Zoning Board of Appeals November 12, 2025 Meeting Decision Letter

Lorraine Cochran-Johnson
Chief Executive Officer

Juliana A. Njoku
Director

Commission District 05 Super District 07

Application #:	N4. A-25-1247786	Parcel ID(s):	16 028 01 001
Applicant:	Hayley Todd, PEC+ 350 Research Center, Suite 200 Norcross, GA 30092	Owner:	JLD Hidden Hills LLC 840 Edgewood Road S, Suite 220 Jacksonville, FL 32205
Project Name:	5083 Biffle Road Residential Construction	Location:	5083 Biffle Road, Stone Mountain, GA 30088
Request:	Variance from Section 27-5.7.6.(J) (1) of the DeKalb County Zoning Ordinance to allow garages to face public streets as part of a residential development in the R-100 (Residential Medium Lot-100) and Hidden Hills Tier 5 overlay districts.		

THIS IS TO ADVISE YOU THAT THE ZONING BOARD OF APPEALS AT ITS REGULARLY SCHEDULED PUBLIC HEARING ON WEDNESDAY, NOVEMBER 12, 2025, REACHED THE FOLLOWING DECISION ON THE ABOVE-REFERENCED APPLICATION:

ZBOA ACTION: John Tolbert moved, Eric Hubbard seconded for approval with the following conditions: (1) case number, approval date, type of variance and condition(s) of approval listed on site plan. Motion carried 6-0-0.

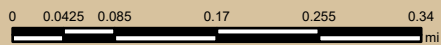
CONDITION: The following information must be included on any Site Plan submitted for Permitting:
Case Number: N4. A-25-1247786
Approval Date: 11-12-2025
Type of Variance: The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval. Allow garages to face public streets as part of a residential development. Include this information on submitted Site Plan.

Only persons aggrieved by a final decision of the Zoning Board of Appeals may seek review of such decision by petitioning the Superior Court of DeKalb County by writ of mandamus, setting forth plainly the alleged errors. Such petition shall be filed within thirty (30) days after the final decision of the Zoning Board of Appeals is rendered.

DATE SUBMITTED WEDNESDAY, DECEMBER 3, 2025



Aerial

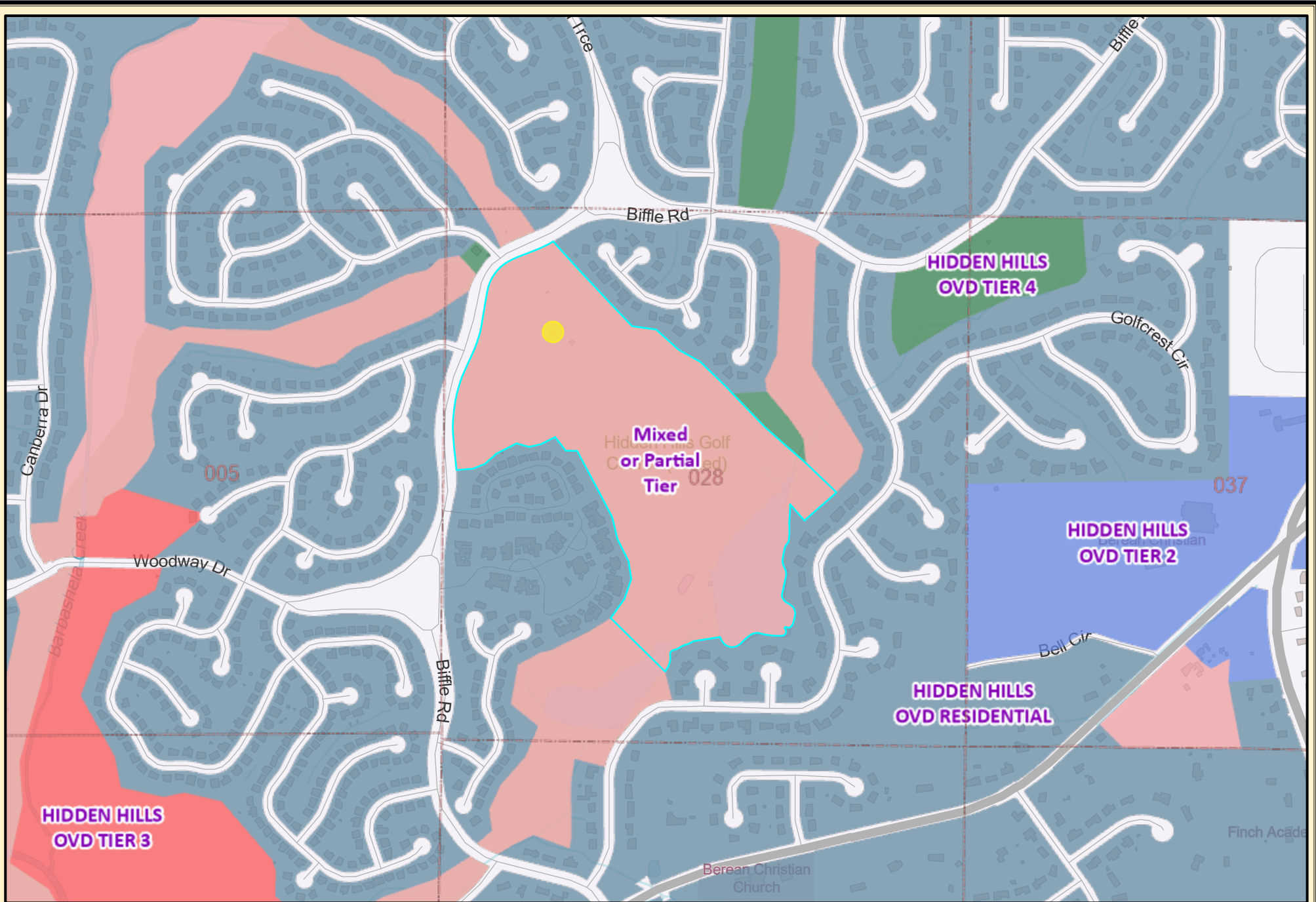


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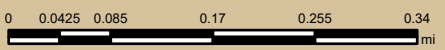


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Overlay Map

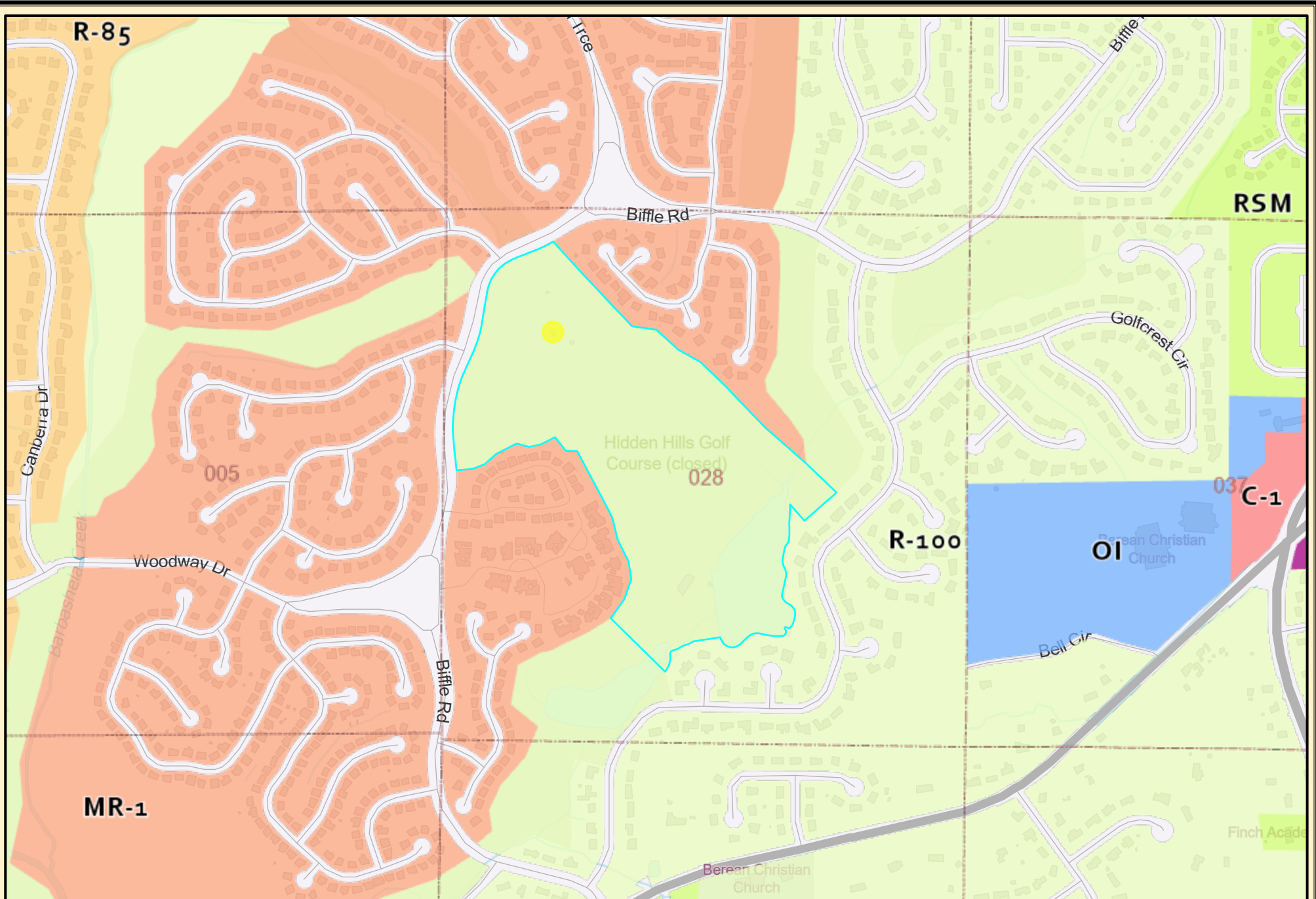


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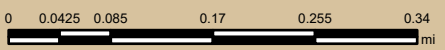


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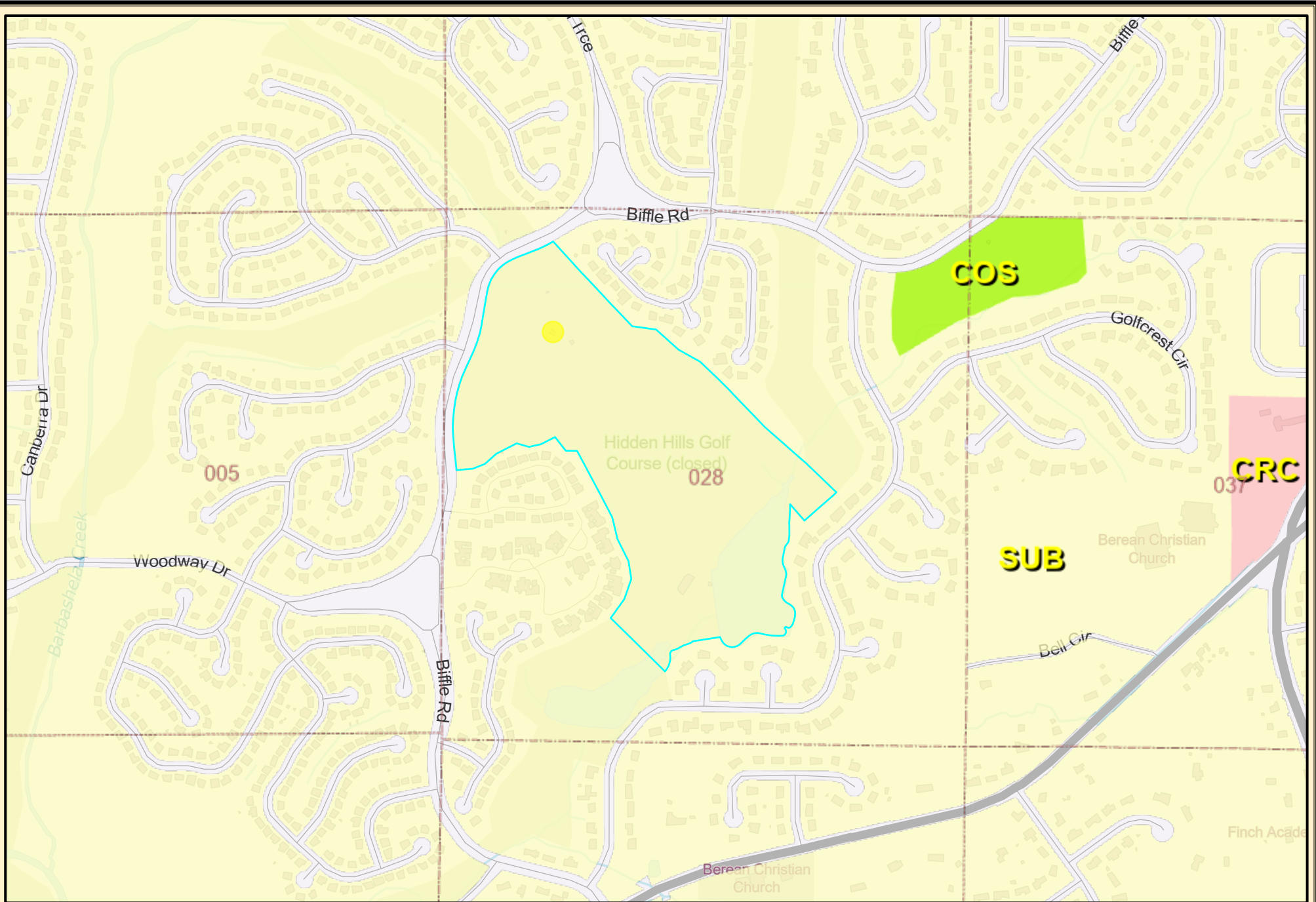
Zoning Map



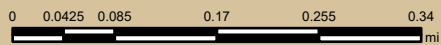
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Land Use Map

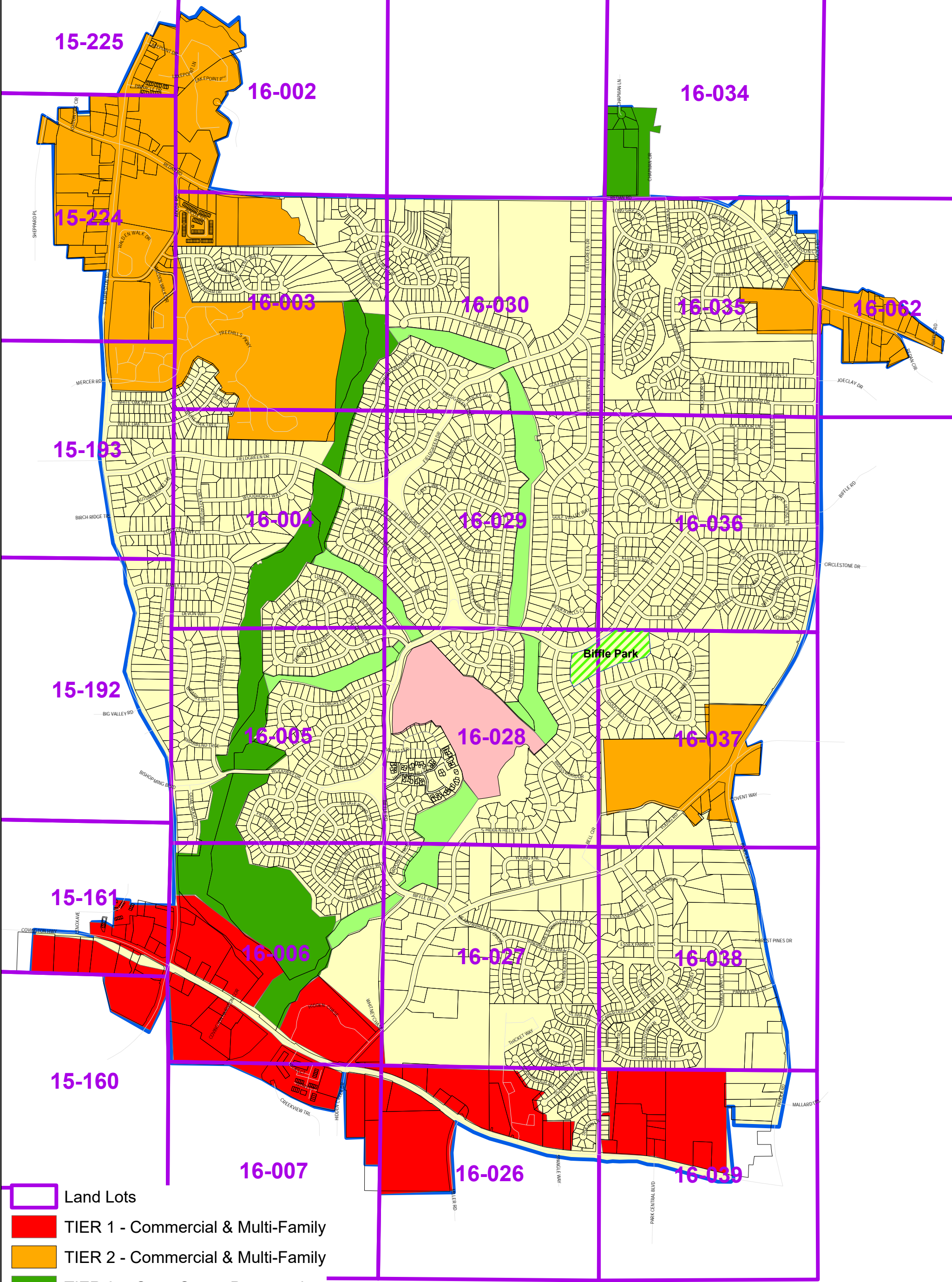







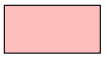

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-  Land Lots
-  TIER 1 - Commercial & Multi-Family
-  TIER 2 - Commercial & Multi-Family
-  TIER 3 - Open Space Preservation
-  TIER 4 - Open Space Conservation
-  TIER 5 - Mixed Use
-  Residential

Map 1

Biffle

Legend

-  BND LOT LINE
-  BND SUBJ

