

ZONING BOARD OF APPEALS (ZBA) APPLICATION

to Amend the Official Zoning Map of DeKalb County, Georgia

Subject Property Address: 1766 McKenzie Dr

City: Decatur State: GA Zip: 30087

Parcel ID Number(s): 15 186 10 011 Acreage: 0.22 or 9583 sqft

District: Land Lot: Block: Parcel:

Commission District(s): 15 Super District: 3 and 6

Type of Hearing Requested (check one):

- [x] VARIANCE (from Development Standards causing undue hardship upon owners of property.)
[ ] SPECIAL EXCEPTIONS (to Reduce or Waive off-street parking or loading space requirements.)
[ ] OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

\*PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4.

FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.\*

I hereby authorize the staff of the Planning and Sustainable Department to inspect the property that is the subject of this application.

[x] Owner [ ] Agent

Signature: [Handwritten Signature]

Date: 5/25/26

ZONING BOARD OF APPEALS (ZBA) APPLICATION FEE: \$300.00

DeKalb County does not require payment by wire transfer. Be aware of scammers and fraudulent emails. Email plansustain@dekalbcountyga.gov with any questions

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DEPARTMENT OF PLANNING & SUSTAINABILITY

**ZONING BOARD OF APPEALS APPLICATION**


**AUTHORIZATION OF THE PROPERTY OWNER**

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 5/28/26

Applicant Signature: 

DATE: \_\_\_\_\_

Applicant Signature: \_\_\_\_\_

Dear Zoning Board of Appeals,

I first want to thank you for your service to DeKalb County and its residents. As a former public servant, I know, firsthand, that your job is often a thankless one but so critical to keeping the county operating seamlessly and in a just manner. I also want to thank you for your time today and review of the materials associated with our request. My name is Revae Downey and I am emailing you as a co-owner of 1766 McKenzie Dr with Windsor Development Group. I am a resident of Medlock Park and my mother, another co-owner with Windsor Development Group, is a resident of Belvedere Park.

I am writing to request a variance from Section 27-2.2.1 specifically requesting to reduce the side yard setback requirement from 7.5 feet to 6 feet. This property was built in 1954 as a 3-bedroom/1-bath single story home and has not been updated, in any capacity, since that time. We are seeking to remodel this home so that it's a functional space for a growing family as a 3-bedroom/2.5-bath with separate bathrooms for guests and homeowner's children and a true owner's suite with an accompanying bathroom and walk-in closet. We will also update the kitchen and living room spaces to create an open concept floor plan that reflects the comfort and style of other remodeled homes in Belvedere Park, like my mother's. To create a true owner's suite, we must use the existing bedrooms which then means we will need to enclose the existing carport to extend the heated space allowing for two bedrooms. This is the primary reason for our variance request, which would allow the enclosure of the existing carport that is currently located approximately 6.0–6.1 feet from the side property line, where 7.5 feet is required under R-75 zoning.

### ***Physical Conditions of the Site***

The existing structure was constructed in 1954. The modern zoning code was last updated in 2015 and, as it currently stands, the property is in a legal non-confirming condition essentially being grandfathered in its current state. Furthermore, the property is only 65 feet wide, in an R-75 zone, which creates imposing setbacks. Lastly, the property is approximately 9,500 sq ft in size versus an ordinance minimum of 10,000 sq ft.

### ***Minimum Variance Necessary***

Despite these issues, our request is limited solely to enclosing the existing footprint to create conditioned interior space and to expand the footprint in a logical manner to line up with the existing front façade of the home which would be an approximate 2.5 ft expansion. We have letters of support from our neighbors to the right and left of the home to demonstrate that they are amenable to this request.

### ***Public Welfare***

We understand that ordinance Section 27-2.2.1 is meant to support privacy and separation of properties. We realize that the addition may intrude on their privacy;

however, we will place all windows at the front and back of the enclosed space so that no windows are facing the neighbor's home and will retain existing bushes/shrubbery that provide a semblance of privacy and separation of the properties.

### ***Ordinance Hardship***

The existing structure and footprint of the home means that any meaningful addition to the home would require a variance due to legal non-conforming condition of the home. The variance is essential to prevent unnecessary hardship if a strict interpretation of the zone laws were upheld. The variance would allow reasonable use of our land.

### ***Alignment of the Spirit of the Law***

We are committed to keeping the spirit of the ordinance alive by achieving DeKalb's goals of increasing the density, accessibility, and infill development of the home and create a home that complements the beauty of Belvedere Park in design, function, and quality.

We realize that we are requesting a variance from an existing ordinance meant to support DeKalb and its residents; however, we are modest in our request so that it is minimal in nature (i.e., approximately 1.4–1.5 feet) and will not adversely affect neighboring properties. The enclosure will maintain the existing scale and character of the structure (i.e., brick exterior) and will not encroach further into the setback. Granting this variance will allow reasonable use of the property while maintaining the intent of the zoning ordinance and preserving the character of the Belvedere Park.

Again, thank you so much for your service, support, and time today,

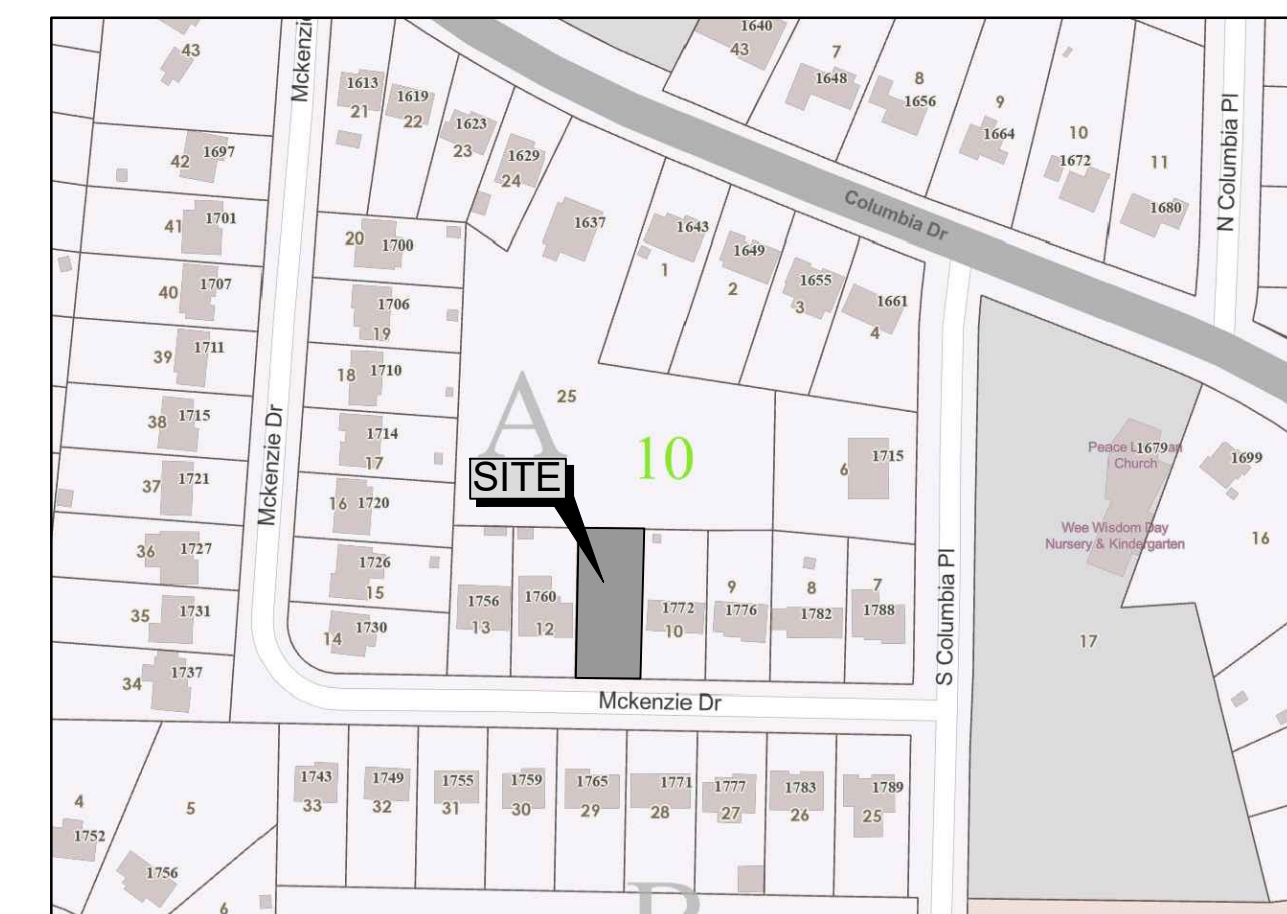
~Revae



# RESIDENTIAL SITE PLAN

## 1766 MCKENZIE DRIVE

TAX PARCEL ID: 15 186 10 011  
 LAND LOT 186, 15th DISTRICT, DEKALB COUNTY  
 DEKALB COUNTY ZONING: R-75  
 LOT AREA: 9,750 SF OR 0.224 ACRES



VICINITY MAP (N.T.S.)

### ENVIRONMENTAL

**FLOOD PLAIN**  
 NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD MAP NUMBER 13089C0132J, DATED 5/16/2013.

**WETLANDS CERTIFICATION**  
 THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING: 1) THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED; AND, 2) THE APPROPRIATE PLAN SHEET DOES NOT INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS; AND, 3) IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION (SECTION 404) PERMIT HAS BEEN OBTAINED.

**STATE WATERS**  
 THERE ARE NO STREAM BUFFERS ON THIS PROPERTY. STATE WATERS WERE NOT OBSERVED TO BE PRESENT WITHIN 200 FEET OF THE SITE.

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

AMENDMENTS OR REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

WASTE MATERIALS SHALL NOT BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ANY DISTURBED AREA REMAINING IDLE FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.

ALL TEMPORARY AND PERMANENT SEEDING MUST BE PERFORMED AT THE APPROPRIATE SEASON. IN SUCH INSTANCES WHERE THE ESTABLISHMENT OF VEGETATION IS INOPPORTUNE DUE TO SEASON OR DROUGHT, DISTURBED AREA SHALL BE TEMPORARILY STABILIZED USING 2"-4" OF MULCH (D&I). ADDITIONAL PLANTINGS WILL BE NECESSARY IF A SUFFICIENT STAND OF GRASS FAILS TO GROW.

THE LOCAL ISSUING AUTHORITY'S DESIGNEE WILL VERIFY ADEQUATE COVER (100% COVER, 70% COVER) OF PERMANENT STABILIZATION (D&I, D&P).

THE ES&PC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER QUALITY STANDARDS.

THE PROPERTY OWNER AND CONTRACTOR ARE EQUALLY RESPONSIBLE FOR ALL EROSION CONTROL ACTIVITIES.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES, NOT THE LOCAL ISSUING AUTHORITY.

FOR EACH SITE ON WHICH LAND DISTURBING ACTIVITY OCCURS, EACH ENTITY OR PERSON ACTING AS EITHER A PRIMARY, SECONDARY, OR TERTIARY PERMITTEE, AS DEFINED IN THE STATE GENERAL PERMIT, SHALL HAVE AS A MINIMUM ONE PERSON WHO IS IN RESPONSIBLE CHARGE OF EROSION AND SEDIMENTATION CONTROL ACTIVITIES ON BEHALF OF SAID ENTITY OR PERSON AND MEETS THE APPLICABLE (LEVEL A1) EDUCATION OR TRAINING CERTIFICATION REQUIREMENTS (O.C.G.A. 12-7-19(a)(2)).

SUBCONTRACTORS INVOLVED WITH LAND DISTURBANCE ACTIVITIES SHALL MEET THE EDUCATION REQUIREMENTS (LEVEL 1) DESCRIBED IN O.C.G.A. 12-7-19.

THE ES&PC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION / LAND DISTURBANCE PERIOD, THESE ES&PC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TYPE C TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION, 1993 EDITION, AND BE WIRE REINFORCED.

SILT FENCE SHALL NOT BE PLACED IN STREAM BUFFER OR FLOODPLAINS, UNLESS UTILIZED FOR THE CONSTRUCTION OF AN EXEMPT ACTIVITY (I.E. ROADWAY DRAINAGE STRUCTURES, SEWER/WATER CROSSINGS, OR DRAINAGE STRUCTURES) PER THE APPROVED PLANS. FOR SUCH DISTURBANCES WITHIN THE BUFFER, THE AREA SHALL BE IMMEDIATELY STABILIZED USING EROSION CONTROL MATTING AND/OR BLANKETS ONCE THE ACTIVITY IS COMPLETE.

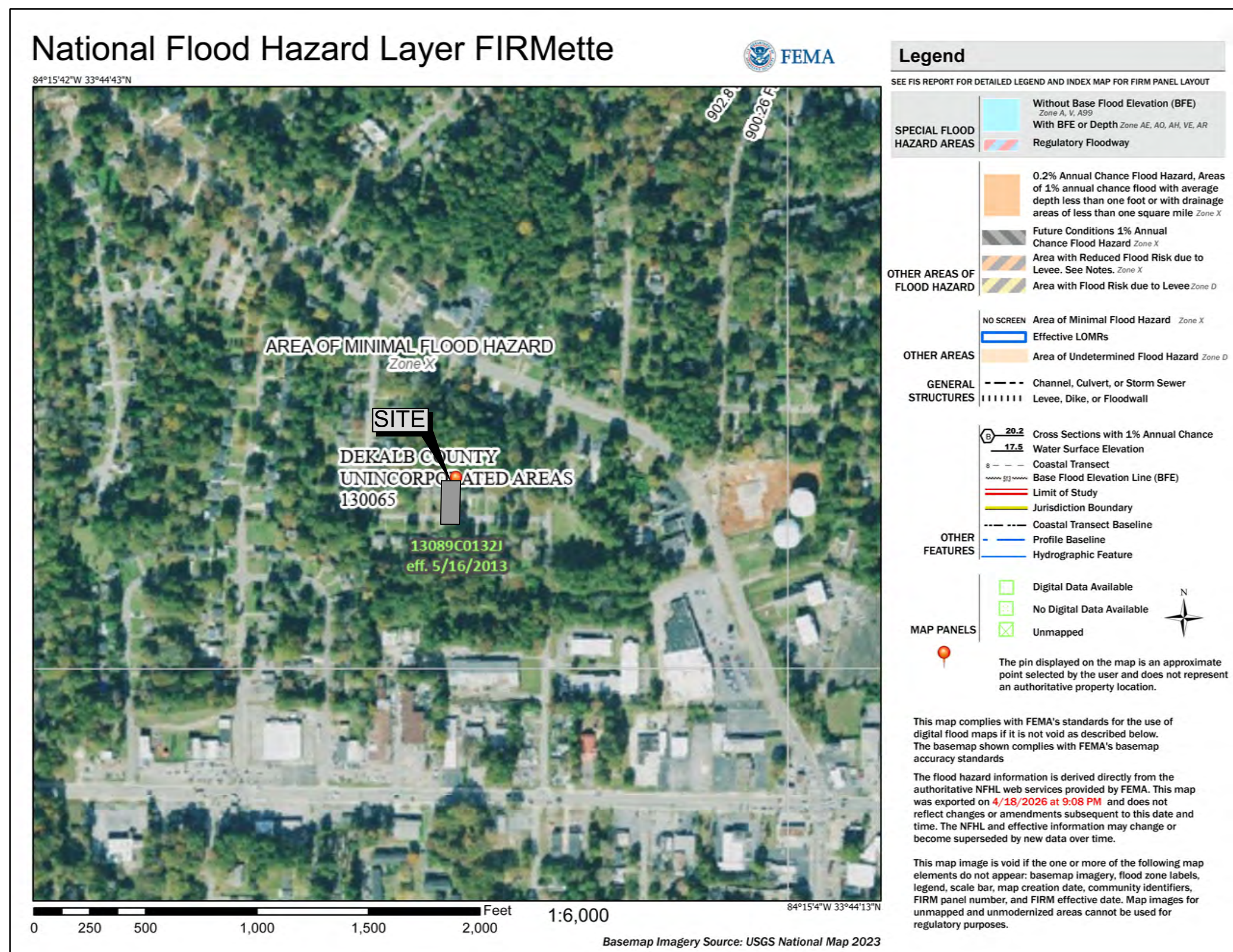
STABILIZED CONSTRUCTION EXITS SHALL BE INSTALLED AT THE BEGINNING OF LAND DISTURBANCE AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

SEDIMENT STORAGE VOLUME @ 67 CY/ACRE MUST BE INSTALLED PRIOR TO ANY OTHER LAND DISTURBANCE ACTIVITY AND IN PLACE UNTIL FINAL STABILIZATION OCCURS.

AMENDMENTS/REVISION TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT BE CERTIFIED BY THE DESIGN PROFESSIONAL, AND SUBSEQUENTLY APPROVED BY THE SITE DEVELOPMENT STAFF.

### DEKALB COUNTY SITE PLAN NOTES

- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET OR TREE PROTECTION AREA OR RIGHT-OF-WAY.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR(S)
- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S).
- NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE CRITICAL ROOT ZONE.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:  
 MONDAY - FRIDAY 7:00AM - 7:00PM  
 SATURDAY 8:00AM - 5:00PM



### SHEET INDEX

1	COVER SHEET
2	EXISTING CONDITIONS
3	HOUSE SITE PLAN / ES&PC PLAN
4	DETAILS & CALCULATIONS

I, BRIAN J. DOUGLAS, CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.



**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION

Brian J. Douglas  
Level II Certified Design Professional

Certification Number 0000088319  
 Issued: 02/26/2023 Expires: 02/26/2029

### SITE DATA

1766 McKenzie Dr, Decatur, GA 30032  
 TAX PARCEL ID: 15 186 10 011  
 DEKALB COUNTY, GEORGIA  
 R-75 - RESIDENTIAL DISTRICT  
 MAX. LOT COVERAGE: 35%  
 MAX. BLDG. HEIGHT: 35'  
 SETBACKS:  
 FRONT: 30 FEET (LOCAL STREET)  
 SIDE: 7.5 FEET  
 REAR: 40 FEET

TOTAL SITE AREA = 9,750 SF OR 0.224 AC.  
 TOTAL DISTURBED AREA = 6,100 SF OR 0.14 AC.  
 PROPOSED NEW IMPERVIOUS AREA = 2,286 SF  
 TOTAL IMPERVIOUS: 2,284 SF  
 PERCENT IMPERVIOUS: 23.4%  
 PERCENT LOT COVERAGE: 2,284 SF / 9,750 SF = 23.4%  
 CUT VOLUME: 0 C.Y.  
 FILL VOLUME: 0 C.Y.

SOURCE OF BOUNDARY: FINAL PLAT OF COLUMBIA MANOR SUBDIVISION (P&S 20, PG. 114)  
 SOURCE OF TOPOGRAPHY: SURVEY BY P.L.S. TOPOGRAPHIC DATA  
 DATUM: MEAN SEA LEVEL

DATE	REVISION

COVER SHEET: 1766 MCKENZIE DRIVE

PREPARED FOR: WINDSOR DEVELOPMENT GROUP

PROJECT LOCATION: LAND LOT(6): 186 | DISTRICT: 15th DEKALB COUNTY | GEORGIA

APRIL 18, 2026

**PROVIDENCE LAND SURVEYING**

950 Eagles Landing Pkwy, Box 586  
 Stockbridge, Georgia 30261  
 Tel: 478-580-5871  
 GA CON. LOR-001426 | Providence Land Surveying PC

PROFESSIONAL SEAL:

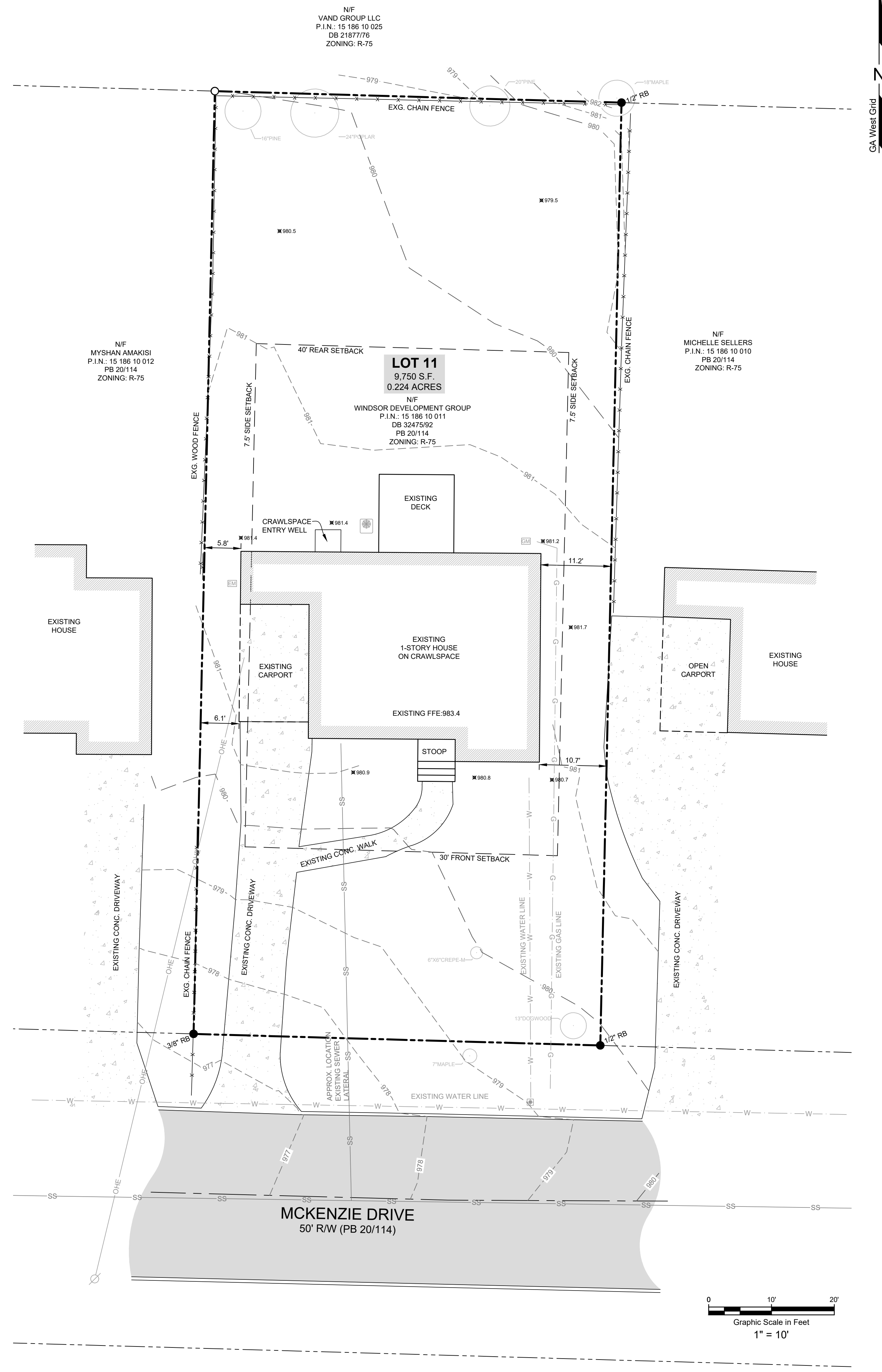
GSWCC LEVEL II NUMBER 88319

PLS PROJECT #: 26-A80  
 DRAWN BY: BJD  
 CHECKED BY: BJD  
 SHEET SIZE: 24"x36" (arch D)

SHEET NUMBER	TOTAL SHEETS
1	4



SAFETY IS IN YOUR HANDS. EVERY DIG. EVERY TIME.



VICINITY MAP (N.T.S.)

LINE TYPE(S):

—O—O—	ELECTRIC OVERHEAD LINE
—C—C—	UNDERGROUND COMMUNICATION LINE
—W—W—	UNDERGROUND WATER LINE
—G—G—	UNDERGROUND GAS LINE
—UE—UE—	UNDERGROUND ELECTRIC LINE
—X—X—X—X—	FENCE LINE
—SS—SS—	SANITARY SEWER LINE

LEGEND

- IRON PIN FOUND
- IRON PIN SET (1/2" REBAR)
- CALCULATED POINT
- ⊠ RIGHT OF WAY MONUMENT
- ⊕ STORM DRAIN MANHOLE
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ UTILITY POLE
- ⊕ ELECTRIC BOX

ABBREVIATIONS

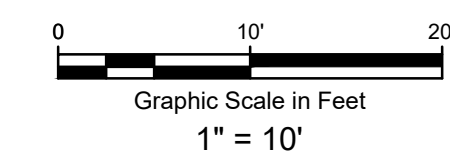
- |        |                              |
|--------|------------------------------|
| A.K.A  | ALSO KNOWN AS                |
| CLF    | CHAIN LINK FENCE             |
| CONC.  | CONCRETE                     |
| CTP    | CRIMP TOP PIPE               |
| DB     | DEED BOOK                    |
| N/F    | NOW OR FORMERLY              |
| N.T.S. | NOT TO SCALE                 |
| PB     | PLAT BOOK                    |
| PAGE   | PAGE                         |
| P.O.B  | POINT OF BEGINNING           |
| P.I.N. | PARCEL IDENTIFICATION NUMBER |
| P/L    | PROPERTY LINE                |
| R/W    | RIGHT OF WAY                 |
| SBL    | SETBACK LINE                 |
| S.F.   | SQUARE FEET                  |

SITE PLAN GENERAL NOTES

- OWNER/BUILDER:**  
WINDSOR DEVELOPMENT GROUP  
1310 ROCKBRIDGE RD, SUITE G  
STONE MOUNTAIN, GA 30087  
windsordevelopmentgrp@gmail.com  
404-944-8993
- 24 HOUR EMERGENCY CONTACT:**  
REVAE DOWNEY  
1310 ROCKBRIDGE RD, SUITE G  
STONE MOUNTAIN, GA 30087  
windsordevelopmentgrp@gmail.com  
404-944-8993
- DESIGNER/SURVEYOR:**  
BRIAN DOUGLAS, GA RPLS# 3373  
950 EAGLES LANDING PKWY  
STOCKBRIDGE, GA 30281  
PH. 470-580-4387
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE PROJECT DESIGNER FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED. ALL DIMENSIONS SHOULD BE CALCULATED OR READ.
- THE CONTRACTOR SHALL COORDINATE ANY AND ALL UTILITY RELOCATION WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF ANY UTILITY WORK.
- A COPY OF THESE PLANS ARE TO BE KEPT ON SITE DURING THE DURATION OF THE PROJECT.
- THIS IS NOT A BOUNDARY SURVEY AND IS NOT FOR RECORDING. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED LOCATION OF THE PROPOSED IMPROVEMENTS. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT IMMEDIATELY.
- PROPERTY LINES SHOULD BE FIELD LOCATED BEFORE ANY LAND DISTURBING ACTIVITIES BEGIN. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT IMMEDIATELY.
- BUILDER TO PROVIDE 5% SLOPE AWAY FROM HOUSE FOR DRAINAGE PURPOSES.
- ANY REVISIONS THAT WERE NOT DONE UNDER THE SUPERVISION OF THE ENGINEER OF RECORD WILL VOID THE CERTIFICATION OF THIS DOCUMENT.

SURVEY NOTES:

- PLAT CLOSURE: 1 FOOT IN +1,000,000 FEET
- EQUIPMENT USED: CARLSON BRX7 GNSS RECEIVER (BASE & ROVER RTK)  
GEOMAX ZOOM 90 TOTAL STATION
- DISTANCES SHOWN HEREON ON ARE GROUND DISTANCES AS DERIVED FROM SCALED GPS OBSERVATIONS.
- FIELD POSITIONAL TOLERANCE: BOUNDARY CORNER MONUMENT POSITIONS COLLECTED WITH GPS OBSERVATIONS HAVE A POSITIONAL TOLERANCE OF LESS THAN 0.12' RESIDUAL WITHIN THE 95% CONFIDENCE LEVEL BASED ON REDUNDANT MEASUREMENTS.
- FIELD DATA HAS NOT BEEN ADJUSTED
- BASIS OF BEARINGS/COORDINATES: GRID NORTH, GA WEST ZONE (NAD83)



DATE	REVISION

**EXISTING CONDITIONS:**  
**1766 MCKENZIE DRIVE**  
PREPARED FOR:  
**WINDSOR DEVELOPMENT GROUP**  
PROJECT LOCATION:  
LAND LOT(S): 186 | DISTRICT: 15th  
DEKALB COUNTY | GEORGIA  
APRIL 18, 2026

**PROVIDENCE**  
**LAND SURVEYING**  
950 Eagles Landing Pkwy, Box 886 www.providences.com  
Stockbridge, Georgia 30281 470-580-4387  
GA CON. LOR-001426 | Providence Land Surveying PC  
Genesis 22:14(b) - As it is said to this day, "On the mount of the LORD it shall be provided."

PROFESSIONAL SEAL:

GSWCC LEVEL II NUMBER 88319  
PLS PROJECT #: 26-A80  
DRAWN BY: BJD  
CHECKED BY: BJD  
SHEET SIZE: 24"x36" (arch D)

SHEET NUMBER	TOTAL SHEETS
2	4

**Ds1 MULCHING**

- SITE PREPARATION:**
1. GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH.
  2. INSTALL NEEDED EROSION CONTROL MEASURES AS REQUIRED SUCH AS DIKES, DIVERSIONS, BERMS, TERRACES AND SEDIMENT BARRIERS.
  3. LOOSEN COMPACT SOIL TO A MINIMUM DEPTH OF 3 INCHES.

- MATERIALS:**
1. DRY STRAW/HAY - 2 TO 4 INCHES DEEP, PROVIDING COMPLETE SOIL COVERAGE
  2. WOOD WASTE (CHIPS/SAWDUST/BARK) - 2 TO 3 INCHES DEEP
  3. POLYETHYLENE FILM - SECURED OVER BANKS OR STOCKPILED SOIL MATERIAL FOR TEMPORARY PROTECTION.

**Ds2 TEMPORARY GRASSING**

MONTH	TEMPORARY SEED	RATE/ACRE	RATES/1,000 SQFT.	
			FERTILIZER	LIME STONE
JANUARY	RYEGRASS	40-50 lb.	12 lb (10-10-10)	45 lb
FEBRUARY	RYEGRASS	40-50 lb.	12 lb (10-10-10)	45 lb
MARCH	RYE ANNUAL LESPEDEZA WEEPING LOVEGRASS	2-3 bu. 20-25 lb. 4-6 lb.	12 lb (10-10-10) 35 lb (6-12-12) 12 lb (10-10-10)	45 lb 45 lb 45 lb
APRIL	RYE BROWN TOP MILLET ANNUAL LESPEDEZA SUDAN GRASS	2-3 bu. 30-40 lb. 20-25 lb. 35 lb.	12 lb (10-10-10) 12 lb (10-10-10) 35 lb (6-12-12) 35 lb (6-12-12)	45 lb 45 lb 45 lb 45 lb
MAY	WEEPING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 lb. 35 lb. 30-40 lb.	12 lb (10-10-10) 35 lb (6-12-12) 12 lb (10-10-10)	45 lb 45 lb 45 lb
JUNE	WEEPING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 lb. 35 lb. 30-40 lb.	12 lb (10-10-10) 35 lb (6-12-12) 12 lb (10-10-10)	45 lb 45 lb 45 lb
JULY	WEEPING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 lb. 35 lb. 30-40 lb.	12 lb (10-10-10) 35 lb (6-12-12) 12 lb (10-10-10)	45 lb 45 lb 45 lb
AUGUST	RYEGRASS WEEPING LOVEGRASS	40-50 lb. 35 lb.	12 lb (10-10-10) 12 lb (10-10-10)	45 lb 45 lb
SEPTEMBER	RYEGRASS TALL FESCUE	40-50 lb. 30-50 lb.	12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb
OCTOBER	WHEAT	2-3 bu.	12 lb (10-10-10)	45 lb
NOVEMBER	WHEAT	2-3 bu.	12 lb (10-10-10)	45 lb
DECEMBER	RYE RYEGRASS WHEAT	2-3 bu. 40-50 lb. 2-3 bu.	12 lb (10-10-10) 12 lb (10-10-10) 12 lb (10-10-10)	45 lb 45 lb 45 lb

**Ds3 PERMANENT GRASSING**

PERMANENT SEED	RATE/ACRE	RATES/1,000 SQUARE FEET		MAINTENANCE
		FERTILIZER	LIME STONE	
UNHULLED BERMUDA SERICEA LESPEDEZA	8-10 lb. 30-40 lb.	12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10)
UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 lb. 30-40 lb. 30-50 lb.	12 lb (10-10-10) 35 lb (6-12-12) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
WEEPING LOVEGRASS HULLED BERMUDA BAHIA	4-6 lb. 5-6 lb. 40-60 lb.	12 lb (10-10-10) 12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
WEEPING LOVEGRASS HULLED BERMUDA BAHIA	4-6 lb. 5-6 lb. 40-60 lb.	12 lb (10-10-10) 12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
WEEPING LOVEGRASS SUDAN GRASS BROWN TOP MILLET	4-6 lb. 35 lb. 30-40 lb.	12 lb (10-10-10) 35 lb (6-12-12) 12 lb (10-10-10)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
HULLED BERMUDA BAHIA	5-6 lb. 40-60 lb.	12 lb (10-10-10) 35 lb (6-12-12)	45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10)
UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 lb. 30-40 lb. 30-50 lb.	12 lb (10-10-10) 35 lb (6-12-12) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)
UNHULLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 lb. 30-40 lb. 30-50 lb.	12 lb (10-10-10) 35 lb (6-12-12) 35 lb (6-12-12)	45 lb 45 lb 45 lb	10 lb (10-10-10) 10 lb (10-10-10) 10 lb (10-10-10)

**STORMWATER WATER QUALITY NOTES**

1. AS-BUILT WATER QUALITY CERTIFICATION SHALL BE PROVIDED BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY.
2. WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
3. ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY DEVICES. ALL RUNOFF FROM ROOF DRAIN SHALL BE DIRECTED TO THE WATER QUALITY BMP.
4. OVERFLOW FROM WATER QUALITY BMP SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

**GRADING NOTE:**  
NO GRADING IS BEING PROPOSED AS PART OF THIS PLAN



VICINITY MAP (N.T.S.)

— C — C — C	LIMITS OF DISTURBANCE
- C-TF - C-TF	L.O.D. AND TREE SAVE FENCE
X X X	SILT FENCE SINGLE ROW
XX XX	SILT FENCE DOUBLE ROW
— C —	CRITICAL ROOT ZONE

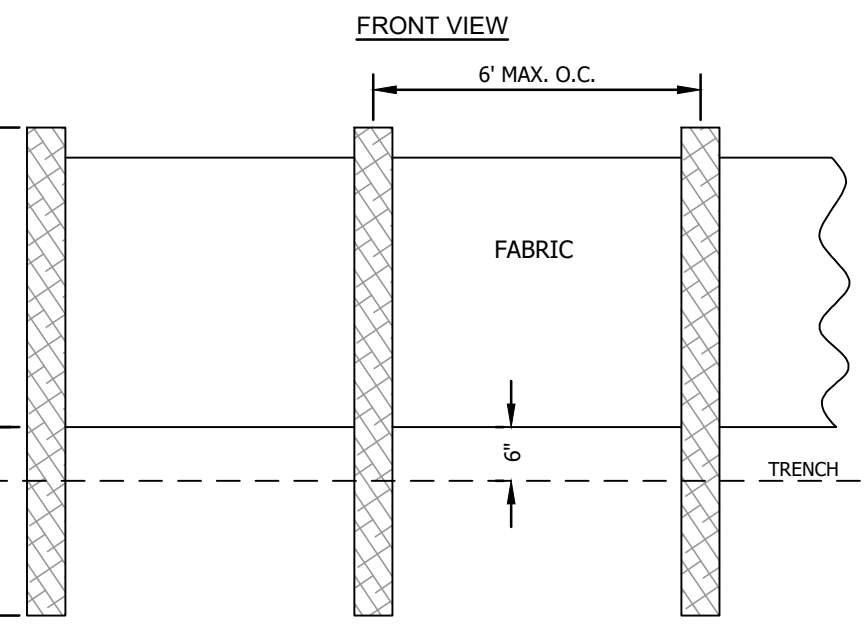
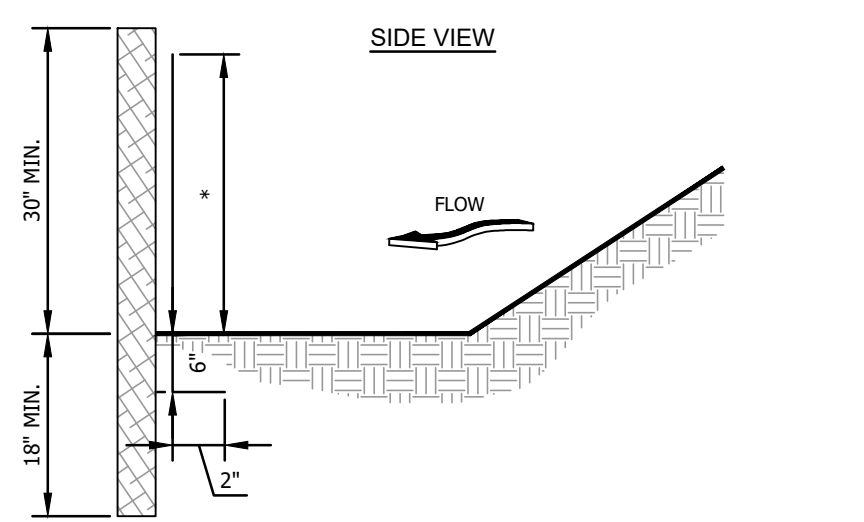
**IMPERVIOUS AREA CALCULATIONS**

EXISTING IMPERVIOUS AREAS	
HOUSE	1,233 SF
CARPORT*	205 SF
PORCH*	22 SF
DECK	150 SF
WALKWAY	130 SF
DRIVEWAY	485 SF
TOTAL EXISTING IMPERVIOUS AREA	2,225 SF
PROPOSED IMPERVIOUS AREAS	
ENCLOSED HOUSE ADDITION	233 SF
ORIEL	18 SF
PORCH	35 SF
TOTAL PROPOSED IMPERVIOUS AREA	286 SF
TOTAL POST-CONSTRUCTION IMPERVIOUS AREA:	2,284 SF OR 0.052 ACRES
% IMPERVIOUS OVERALL LOT COVERAGE:	23.4%

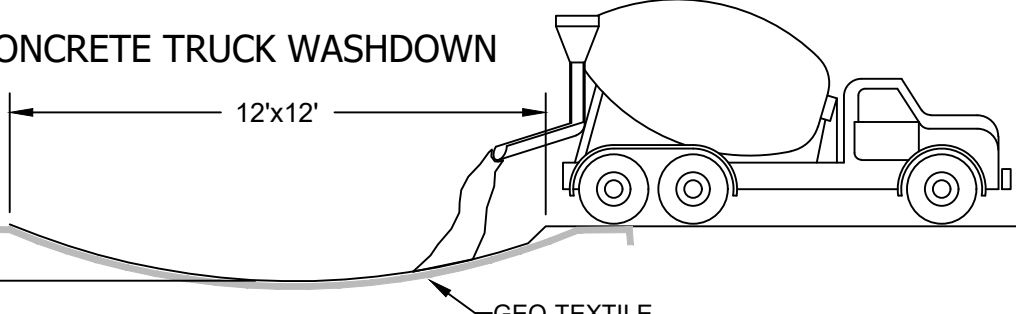
**SITE DATA**

1766 McKenzie Dr, Decatur, GA 30032  
 TAX PARCEL ID: 15 186 10 011  
 DEKALB COUNTY, GEORGIA  
 R-75 - RESIDENTIAL DISTRICT  
 MAX. LOT COVERAGE: 35%  
 MAX. BLDG. HEIGHT: 35'  
 SETBACKS:  
 FRONT: 30 FEET (LOCAL STREET)  
 SIDE: 7.5 FEET  
 REAR: 40 FEET  
 TOTAL SITE AREA = 9,750 SF OR 0.224 AC.  
 TOTAL DISTURBED AREA = 6,100 SF OR 0.14 AC.  
 PROPOSED NEW IMPERVIOUS AREA = 2286 SF  
 TOTAL IMPERVIOUS: 2,284 SF  
 PERCENT IMPERVIOUS: 23.4%  
 PERCENT LOT COVERAGE: 2,284 SF / 9,750 SF = 23.4%  
 CUT VOLUME: 0 C.Y.  
 FILL VOLUME: 0 C.Y.  
 SOURCE OF BOUNDARY: FINAL PLAT OF COLUMBIA MANOR SUBDIVISION (PB 20, PG 114)  
 SOURCE OF TOPOGRAPHY: SURVEY BY P.L.S.  
 TOPOGRAPHIC DATA  
 DATUM: MEAN SEA LEVEL

**Sd1-NS SILT FENCE - TYPE NON-SENSITIVE N.T.S.**



- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
  2. HEIGHT (\*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.



- NOTES:**
1. DESIGNATE WASHDOWN AREA AND EXCAVATE PIT LARGE ENOUGH TO CONTAIN WASHDOWN WATER. THIS MUST BE AWAY FROM STORM DRAINS AND WATERWAYS.
  2. ADVISE CONCRETE TRUCK DRIVERS OF THE DESIGNATED WASH-OUT AREAS BEFORE THEY START THE JOB.
  3. WASHDOWN CHUTE, HOPPER, AND REAR OF VEHICLE ONLY. DO NOT WASH OUT DRUM.
  4. ENSURE THAT ALL WASHDOWN WATER STAYS IN PIT.
  5. DISPOSE OF SETTLED, HARDENED CONCRETE IN GARBAGE WITH OTHER CONSTRUCTION DEBRIS.
  6. NEVER DISPOSE OF WASHDOWN WATER IN STREETS, STORM DRAINS, OR STREAMS.

**SITE PLAN GENERAL NOTES**

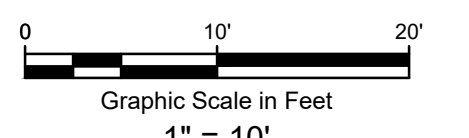
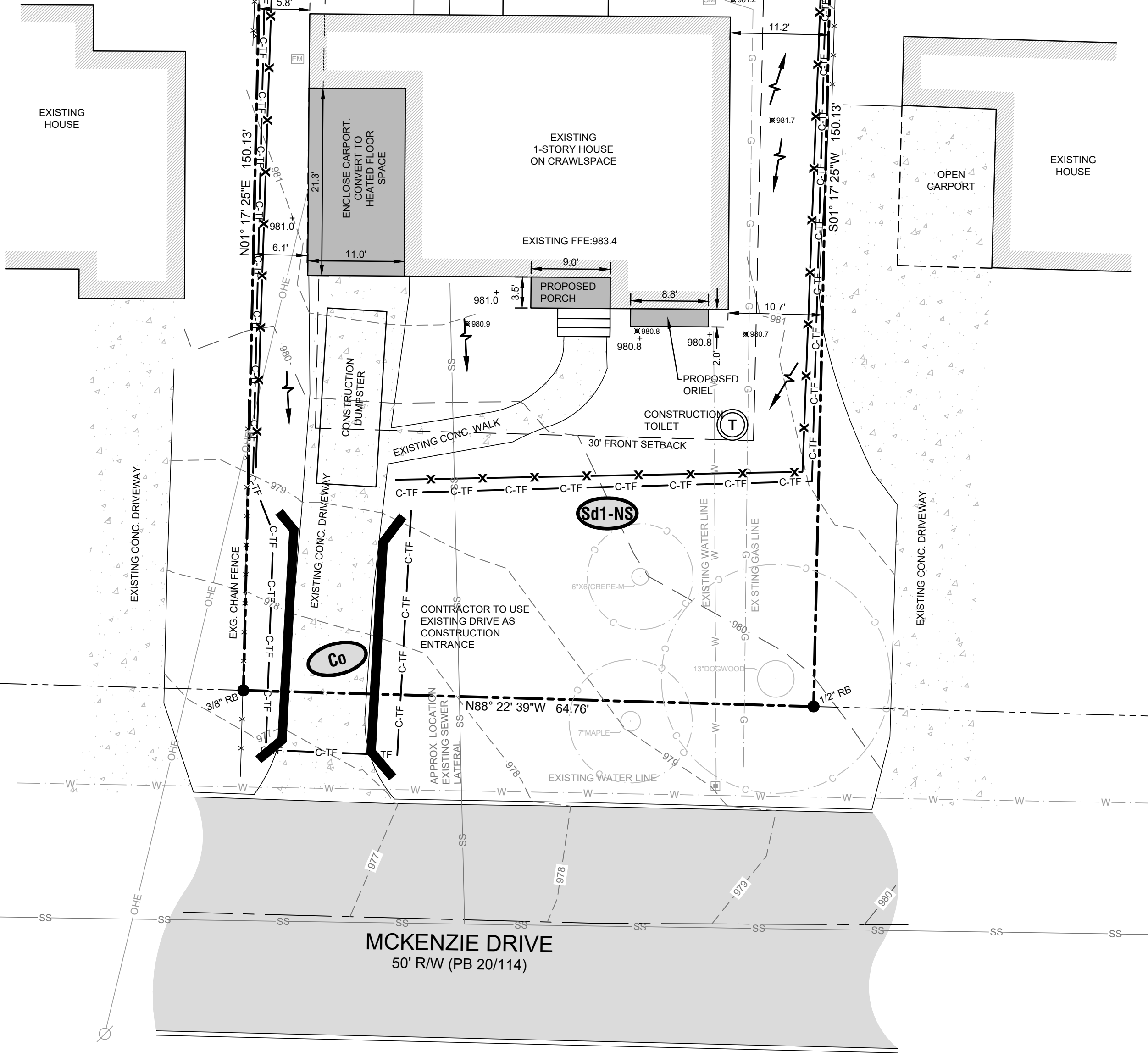
1. **OWNER/BUILDER:**  
WINDSOR DEVELOPMENT GROUP  
1310 ROCKBRIDGE RD, SUITE G  
STONE MOUNTAIN, GA 30087  
windsordevelopmentgrp@gmail.com  
404-944-8993
2. **24 HOUR EMERGENCY CONTACT:**  
REVAE DOWNEY  
1310 ROCKBRIDGE RD, SUITE G  
STONE MOUNTAIN, GA 30087  
windsordevelopmentgrp@gmail.com  
404-944-8993
3. **DESIGNER/SURVEYOR:**  
BRIAN J. DOUGLAS, GA RPLS# 3373  
960 EAGLES LANDING PKWY  
STOCKBRIDGE, GA 30281  
PH. 470-580-4397
4. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE PROJECT DESIGNER FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED. ALL DIMENSIONS SHOULD BE CALCULATED OR READ.
5. THE CONTRACTOR SHALL COORDINATE ANY AND ALL UTILITY RELOCATION WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF ANY UTILITY WORK.
6. A COPY OF THESE PLANS ARE TO BE KEPT ON SITE DURING THE DURATION OF THE PROJECT.
7. THIS IS NOT A BOUNDARY SURVEY AND IS NOT FOR RECORDING. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED LOCATION OF THE PROPOSED IMPROVEMENTS. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT IMMEDIATELY.
8. PROPERTY LINES SHOULD BE FIELD LOCATED BEFORE ANY LAND DISTURBING ACTIVITIES BEGIN. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN CONSULTANT IMMEDIATELY.
9. BUILDER TO PROVIDE 5% SLOPE AWAY FROM HOUSE FOR DRAINAGE PURPOSES.
10. ANY REVISIONS THAT WERE NOT DONE UNDER THE SUPERVISION OF THE ENGINEER OF RECORD WILL VOID THE CERTIFICATION OF THIS DOCUMENT.

I, BRIAN J. DOUGLAS, CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

**Brian J. Douglas**  
 No. 3373  
 PROFESSIONAL SURVEYOR  
 BIRTH SURVEYOR  
 4/18/2026

**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION

**Brian J. Douglas**  
 Level II Certified Design Professional  
 Certification Number: 000088319  
 Issued: 02/26/2023 Expires: 02/26/2029



DATE REVISION

HOUSE SITE PLAN / ES&PC PLAN:  
**1766 MCKENZIE DRIVE**  
 PREPARED FOR:  
**WINDSOR DEVELOPMENT GROUP**  
 PROJECT LOCATION:  
 LAND LOT(S): 186 | DISTRICT: 15th  
 DEKALB COUNTY | GEORGIA  
 APRIL 18, 2026

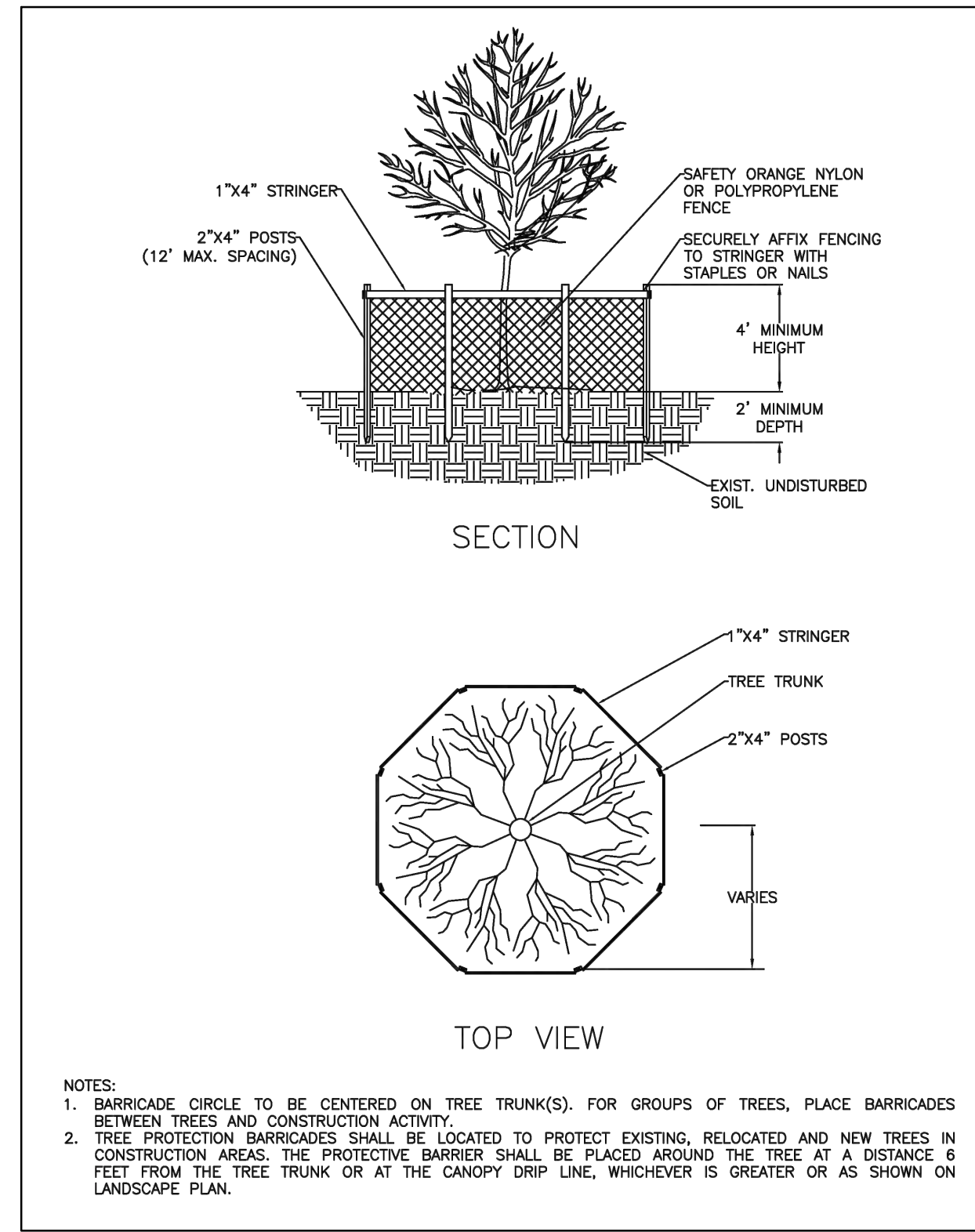


PROFESSIONAL SEAL:  
**Brian J. Douglas**  
 No. 3373  
 PROFESSIONAL SURVEYOR  
 BIRTH SURVEYOR

GSWCC LEVEL II NUMBER 88319

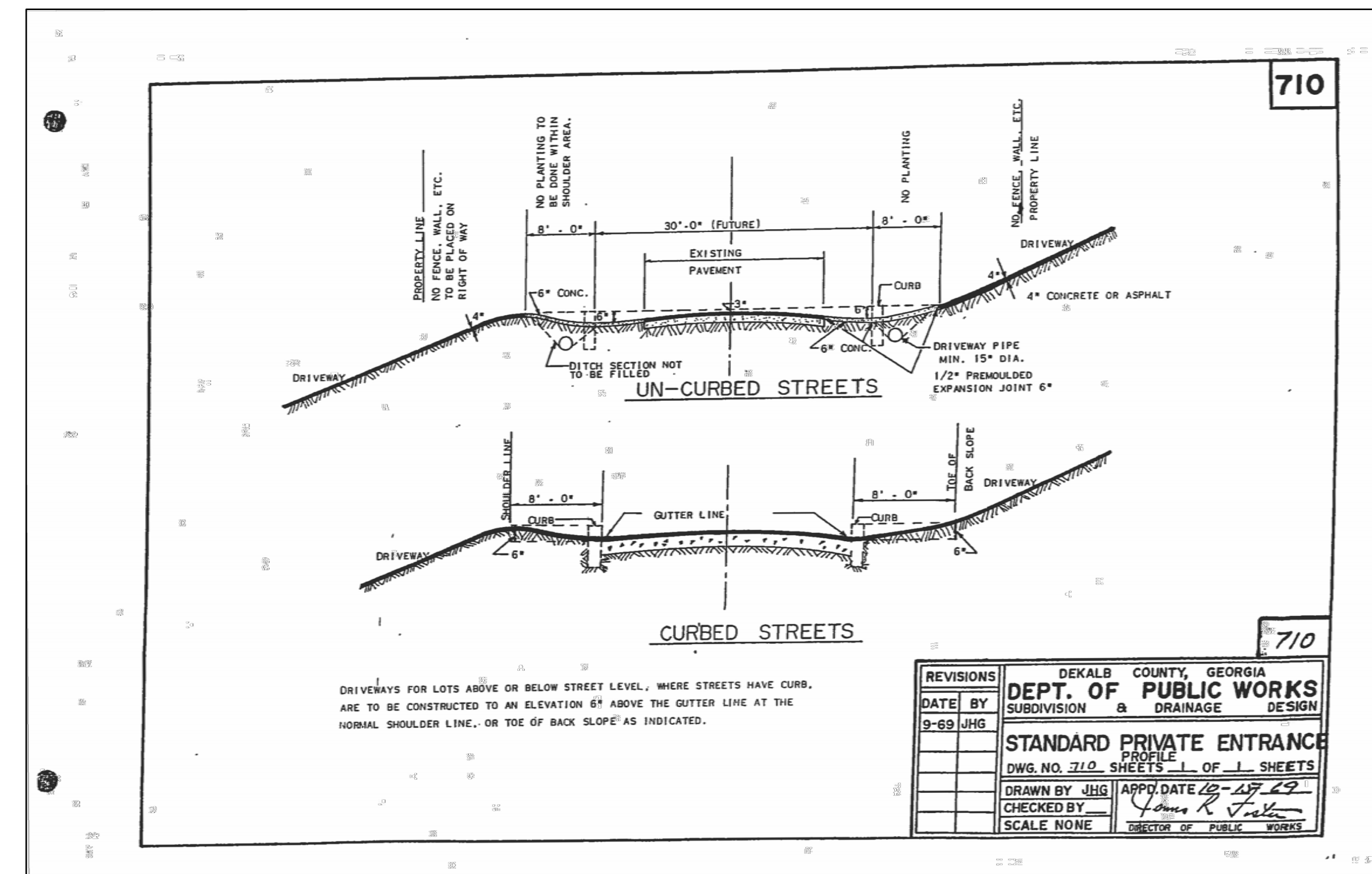
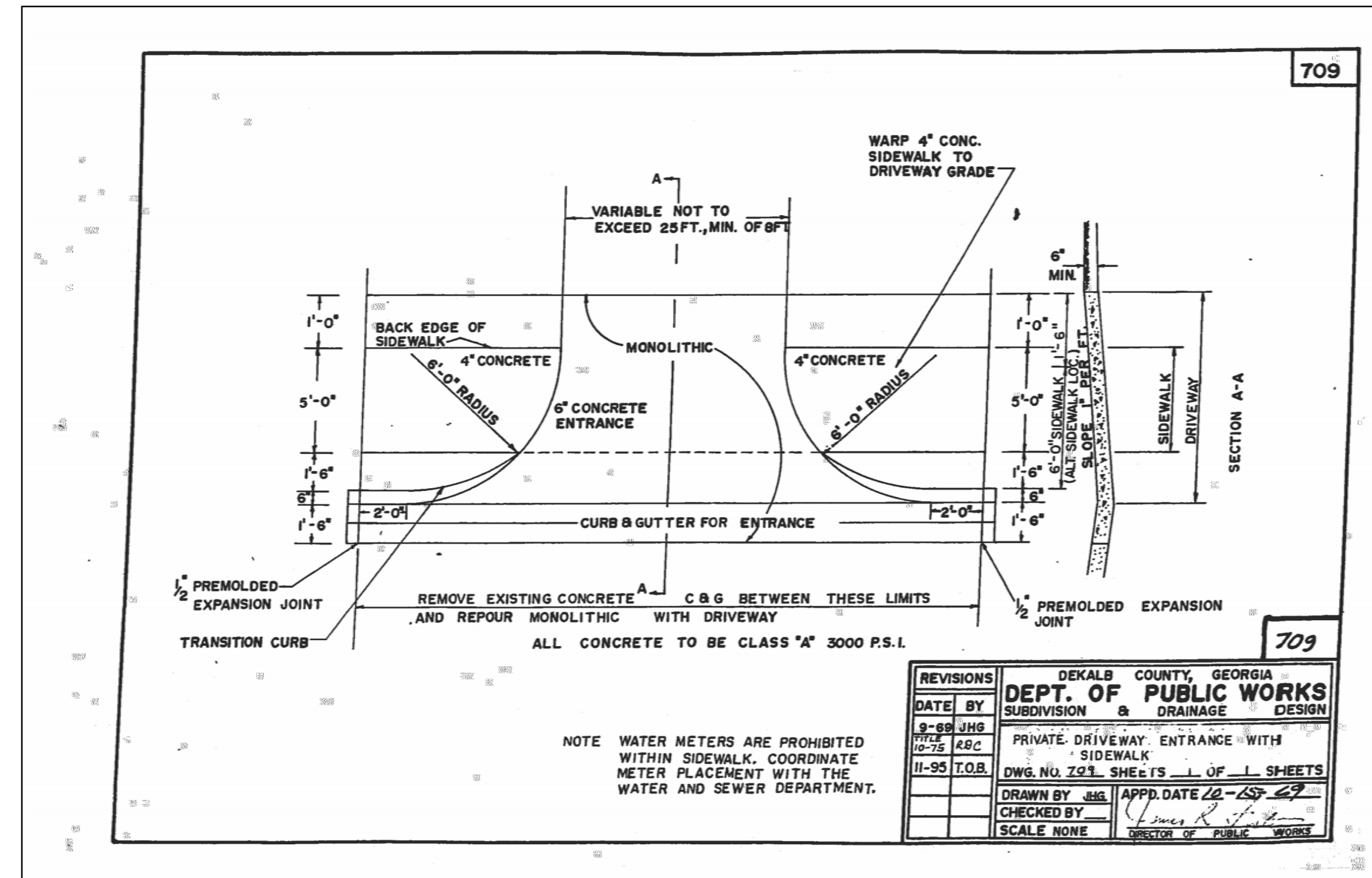
PLS PROJECT #: 26-A80  
 DRAWN BY: BJD  
 CHECKED BY: BJD  
 SHEET SIZE: 24"x36" (arch D)

SHEET NUMBER	TOTAL SHEETS
1	4



- No one **SHALL** encroach, place solvents, building machinery, building debris or any other material within 6' outside the periphery of the CRZ or within any Tree Save Area, transitional buffer zone, stream buffer, or state buffer zone.
- All Tree Fence and other tree protection devices must remain in functioning condition until completion of the project or until the CO is issued.
- A tree that is designated to be saved, but is damaged during construction, **SHALL** be replaced with 4" caliper trees equal to the unit value of the tree removed. Any specimen tree damaged **SHALL** be replaced with 4" caliper trees equal to 1.5 times the DBH of the damaged specimen tree.

- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOT ZONE (CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
- NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS (CRZ).
- ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.



DATE	REVISION

**DETAILS & CALCULATIONS:**

**1766 MCKENZIE DRIVE**

PREPARED FOR  
**WINDSOR DEVELOPMENT GROUP**

PROJECT LOCATION:  
LAND LOT(S): 186 | DISTRICT: 15th  
DEKALB COUNTY | GEORGIA

APRIL 18, 2026

**PROVIDENCE**  
LAND SURVEYING

950 Eagles Landing Pkwy, Box 986 www.providencesurveying.com  
Suwanee, Georgia 30068 1-478-580-8571  
GA CON. LCR-001426 | Providence Land Surveying PC

Genesis 22:14(b) - As it is said to this day, "On the mount of the LORD it shall be provided."

PROFESSIONAL SEAL:

GSWCC LEVEL II NUMBER 88319

PLS PROJECT #: 26-A80  
DRAWN BY: BJD  
CHECKED BY: BJD  
SHEET SIZE: 24"x36" (arch D)

SHEET NUMBER	TOTAL SHEETS
1	4

**INTERIOR REMODELING**  
**1766 McKenzie Dr, PROJECT**  
**1766 McKenzie Dr, Decatur GA, 30033**  
**RELEASED FOR CONSTRUCTION 04.27.2026**

**SCOPE OF WORK**

Interior remodeling adding the carport area to heated area and installing 2 LVL for open concept.  
 New master bathroom and half bathroom.  
 New decking and handrails for existing back deck.

# STORIES	1.0	LOT SIZE (SF)	9,583
# ROOMS	3.0	EXISTING HEATED AREA (SF)	1187,07
# BATHS	2.5	CARPORT (SF)	208,32
# KITCHEN	1.0	NEW HEATED AREA (SF)	1438,41
EXTERIOR FINISH	BRICK AND SIDING	DECK (SF)	150,00
ROOF FINISH	SHINGLES	ENTRY PORCH (SF)	20,17
		BUILDING VALUATION	\$80,000

**INDEX OF DRAWINGS**

- C-1 COVER SHEET
- A-1.0 EXISTING FLOOR PLAN & DEMOLITION PLAN
- A-2.0 EXISTING ROOF PLAN
- A-3.0 FOUNDATION PLAN
- A-4.0 PROPOSED FLOOR PLAN
- A-5.0 PROPOSED ROOF PLAN
- A-6.0 - EXISTING FRONT ELEVATION - PROPOSED FRONT ELEVATION
- A-7.0 - EXISTING RIGHT ELEVATION - PROPOSED RIGHT ELEVATION
- A-8.0 - EXISTING LEFT ELEVATION - PROPOSED LEFT ELEVATION
- A-9.0 - EXISTING BACK ELEVATION - PROPOSED BACK ELEVATION
- A-10.0 PROPOSED FRAMING PLAN
- A-11.0 FRAMING ROOF PLAN
- A-12.0 PROPOSED ELECTRICAL FLOOR PLAN
- A-13.0 DETAILS

**CODE COMPLIANCE INFORMATION**

- 2026 Georgia Amendments to the 2023 National Electric Code (NEC).
- 2024 International Residential Code (IRC) with Amendments 2026.
- 2024 International Building Code (IBC) with Amendments 2026.
- 2024 International Fire Code (IFC)
- 2023 National Electric Code (NEC) with Amendments 2026.
- 2024 International Fuel Gas Code (IFGC) with Amendments 2026.
- 2024 International Mechanical Code (IMC) with Amendments 2026.
- 2024 International Plumbing Code (IPC) with Amendments 2026.

**OWNER OF RECORD**

Windsor Development Group, LLC  
 Michelle, Shanelle, and Revae Downey  
 Phone number: 404 944 8993  
 windsordevelopmentgrp@gmail.com

**PROJECT TEAM**

<b>GENERAL CONTRACTOR</b> ESTEBAN MOSQUERA 786 342 4348 emosquera@3buildersgeorgia.com	<b>PERMIT AGENT</b> SANTIAGO MOSQUERA 770 508 4848 smosquera@3buildersgeorgia.com
---	--

DRAWN BY: <b>LMLB</b>	SHEET: <b>C-1.0</b>
DATE: April 27th, 2026	
SCALE: <b>1 / 2" = 1' - 0"</b>	

SHEET TITLE:  
**COVER SHEET**  
 RELEASED FOR CONSTRUCTION

PROJECT NAME & ADDRESS:  
**1766 McKenzie Dr,  
 Decatur GA, 30033**

SCOPE OF WORK:  
**INTERIOR REMODELING**

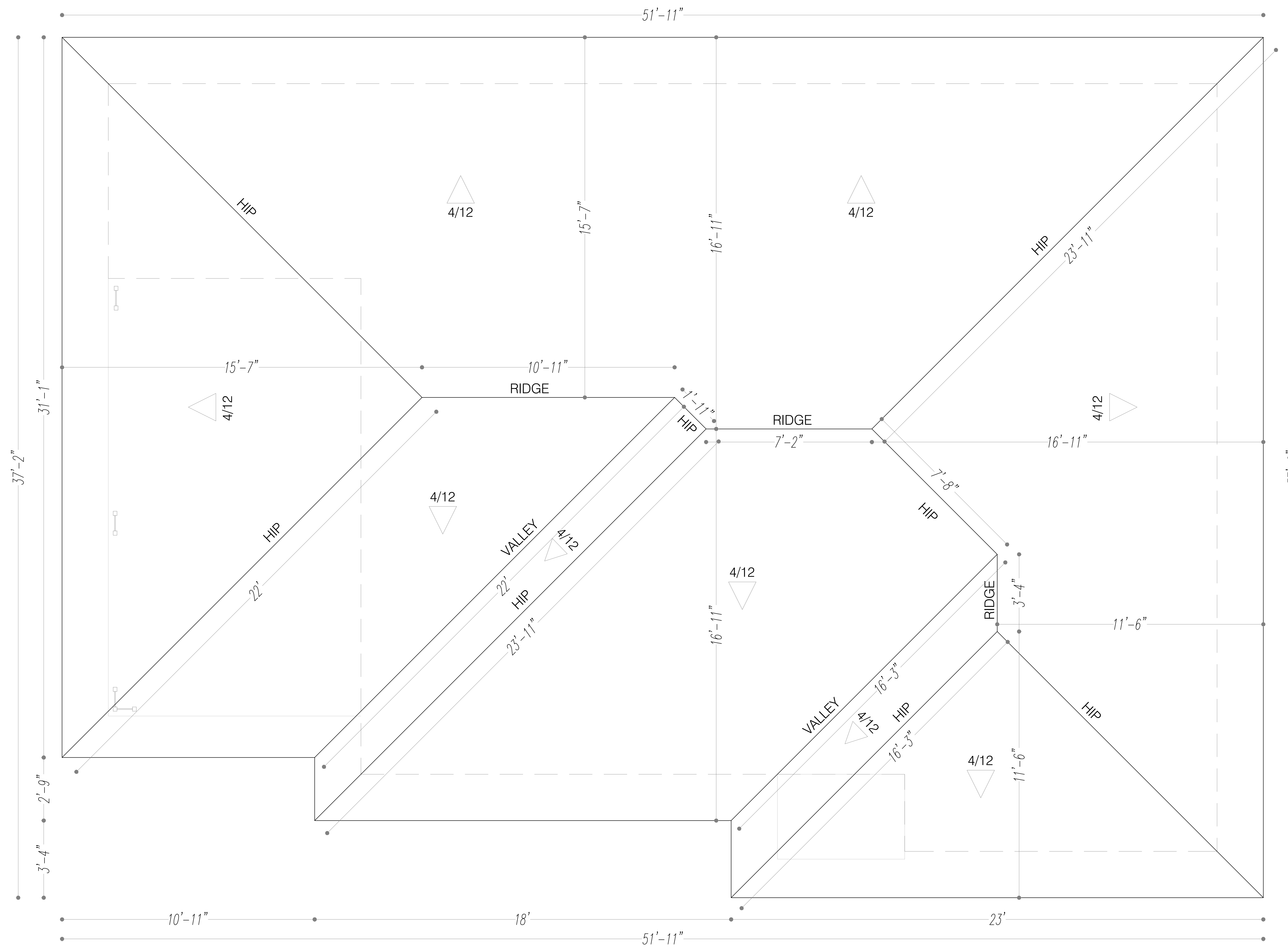
**OSB Design LLC**  
 Assumes no liability For any home constructed From this plan. It is the responsibility of the purchaser of this plan to conduct the following before commencing construction.

1. Builder or contractor must verify all dimensions, structural requirements, and specifications before commencing actual construction.
2. Builder or contractor must verify compliance with all local, state and Federal building codes and regulations where the home is to be constructed.
3. Builder or contractor will hire a structural engineer to verify any structural engineering aspects necessary prior to commencing any construction.

Property of Windsor Development Group, LLC

OWNER OF RECORD  
**Windsor Development Group, LLC**  
**windsordevelopmentgrp@gmail.com**  
**404 944 8993**





**EXISTING ROOF PLAN**  
SCALE 1/2" = 1'-0"

Contact: Santiago Mosquera  
ph: 770-508-4848  
Email: smosquera@3buildersgeorgia.com

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Property of  
**Windsor Development Group, LLC**

PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
Decatur GA, 30033**

SHEET TITLE:

**EXISTING ROOF  
PLAN**

RELEASED FOR CONSTRUCTION

DRAWN BY:

**LMLB**

SHEET:

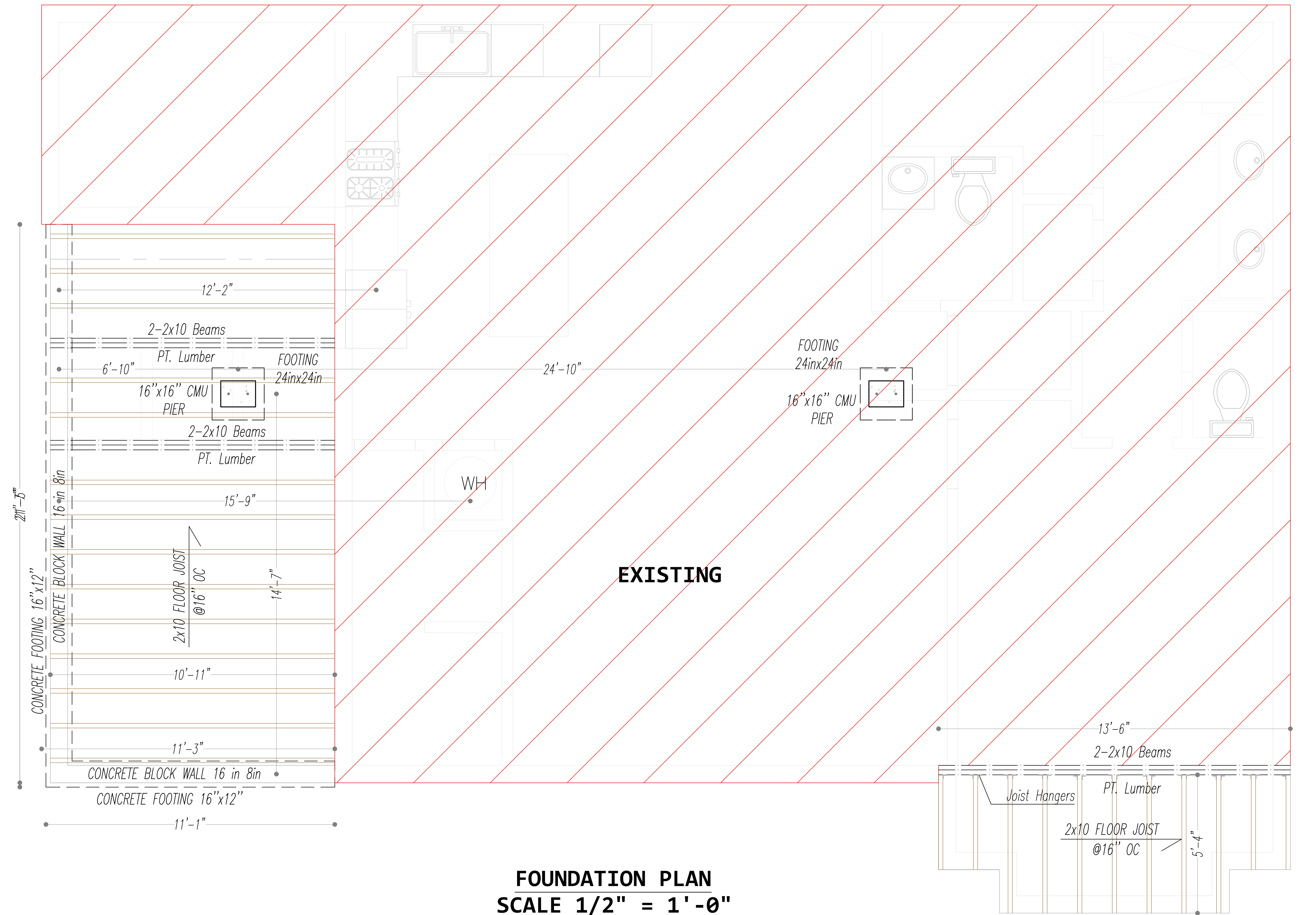
**A-2.0**

DATE:

**April 27th, 2026**

SCALE:

**1/2" = 1'-0"**



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ph: 770-508-4848  
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PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
Decatur GA, 30033**

SHEET TITLE:

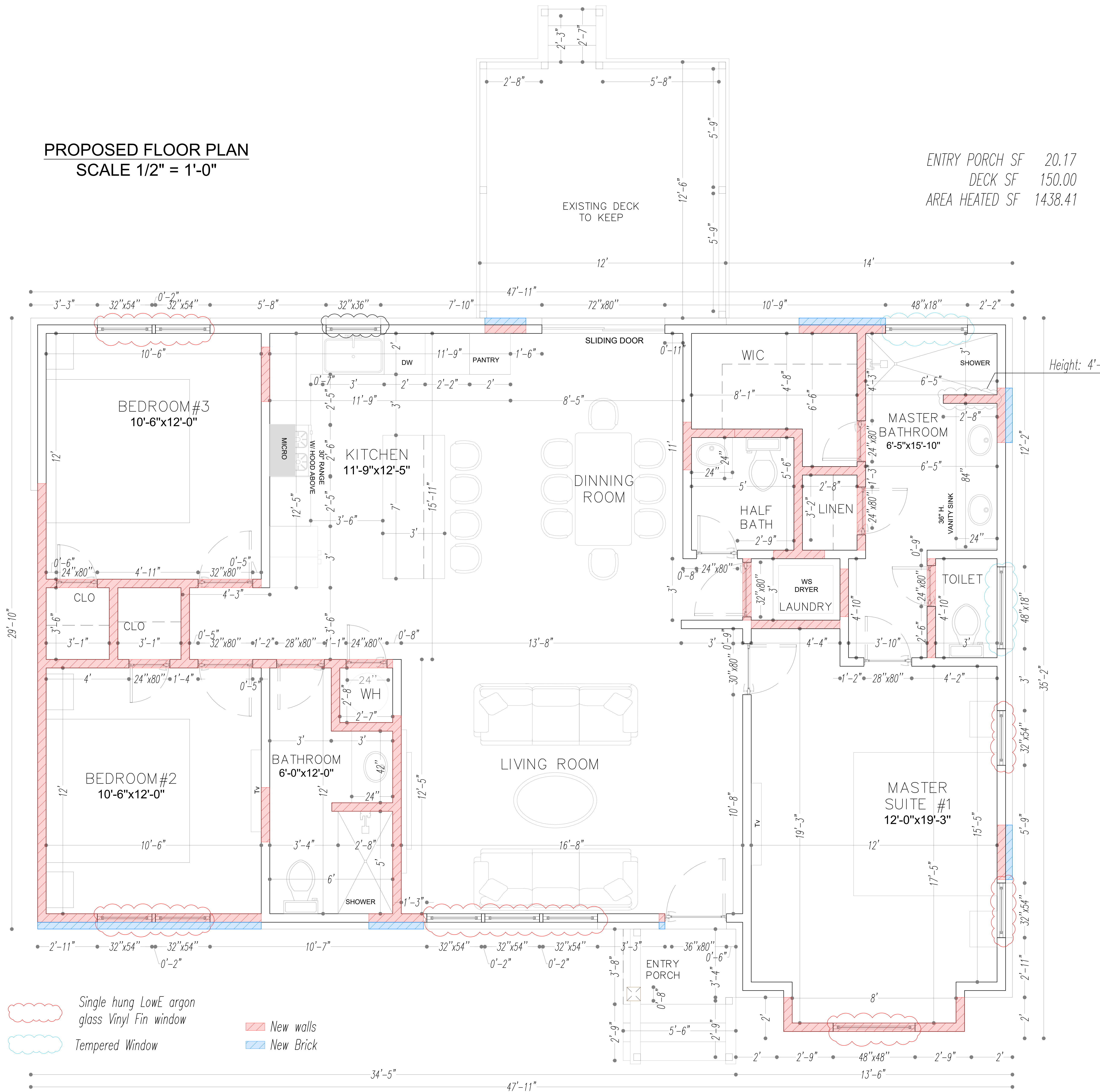
**FOUNDATION  
PLAN**

RELEASED FOR CONSTRUCTION

DRAWN BY: <b>LMLB</b>	SHEET:
DATE: <b>April 27th, 2026</b>	<b>A-3.0</b>
SCALE: <b>1/2" = 1'-0"</b>	

**PROPOSED FLOOR PLAN**  
SCALE 1/2" = 1'-0"

ENTRY PORCH SF 20.17  
DECK SF 150.00  
AREA HEATED SF 1438.41



Contact: Santiago Mosquera  
ph: 770-508-4848  
Email: smosquera@3buildersgeorgia.com

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**1766 McKenzie Dr,  
Decatur GA, 30033**

PROJECT NAME & ADDRESS:

**PROPOSED  
FLOOR PLAN**

SHEET TITLE:

RELEASED FOR CONSTRUCTION

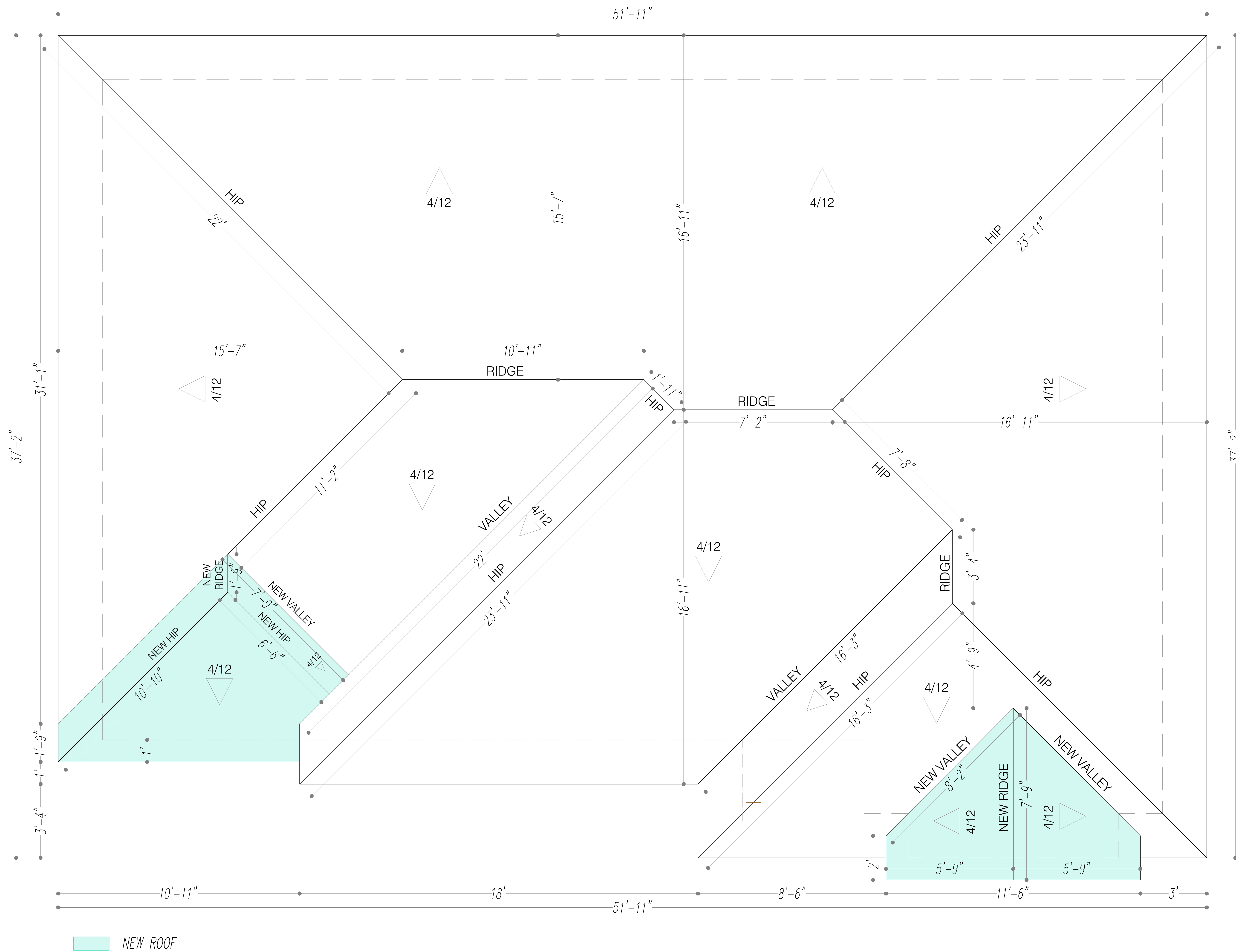
DRAWN BY:  
**LMLB**

SHEET:

DATE:  
**April 27th, 2026**

**A-4.0**

SCALE:  
**1/2" = 1'-0"**



**PROPOSED ROOF PLAN**  
**SCALE 1/2" = 1'-0"**

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 ph: 770-508-4848  
 Email: smosquera@3buildersgeorgia.com

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PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
 Decatur GA, 30033**

SHEET TITLE:

**PROPOSED  
 ROOF PLAN**

RELEASED FOR CONSTRUCTION

DRAWN BY:

**LMLB**

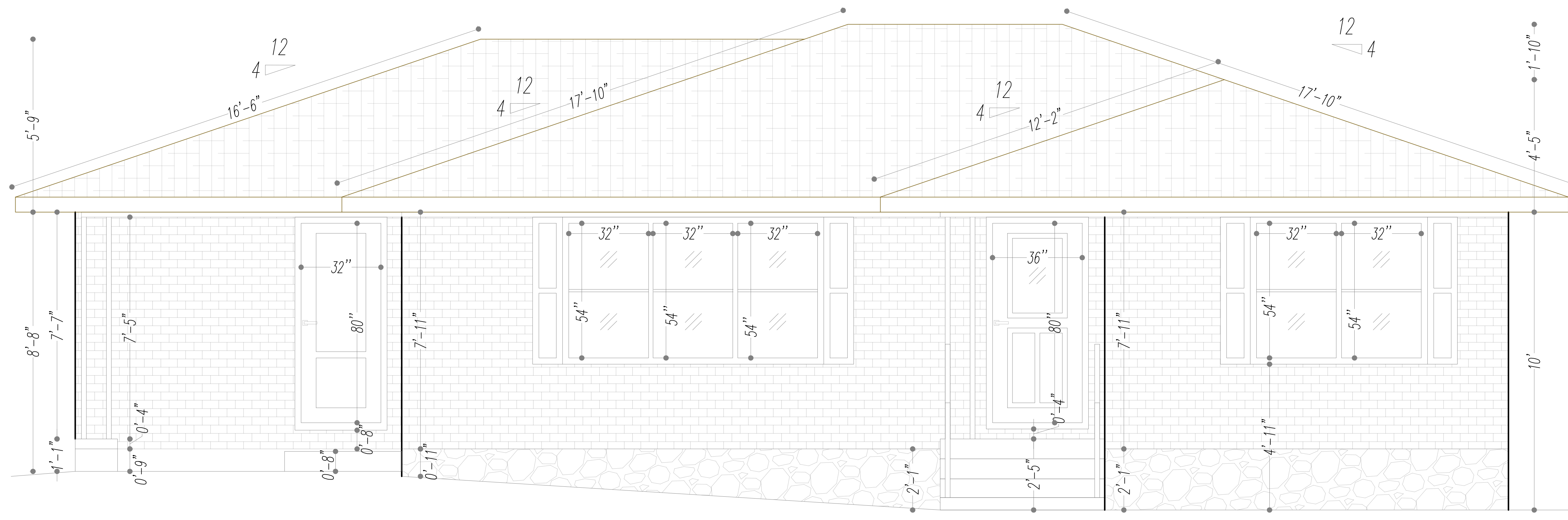
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DATE:  
**April 27th, 2026**

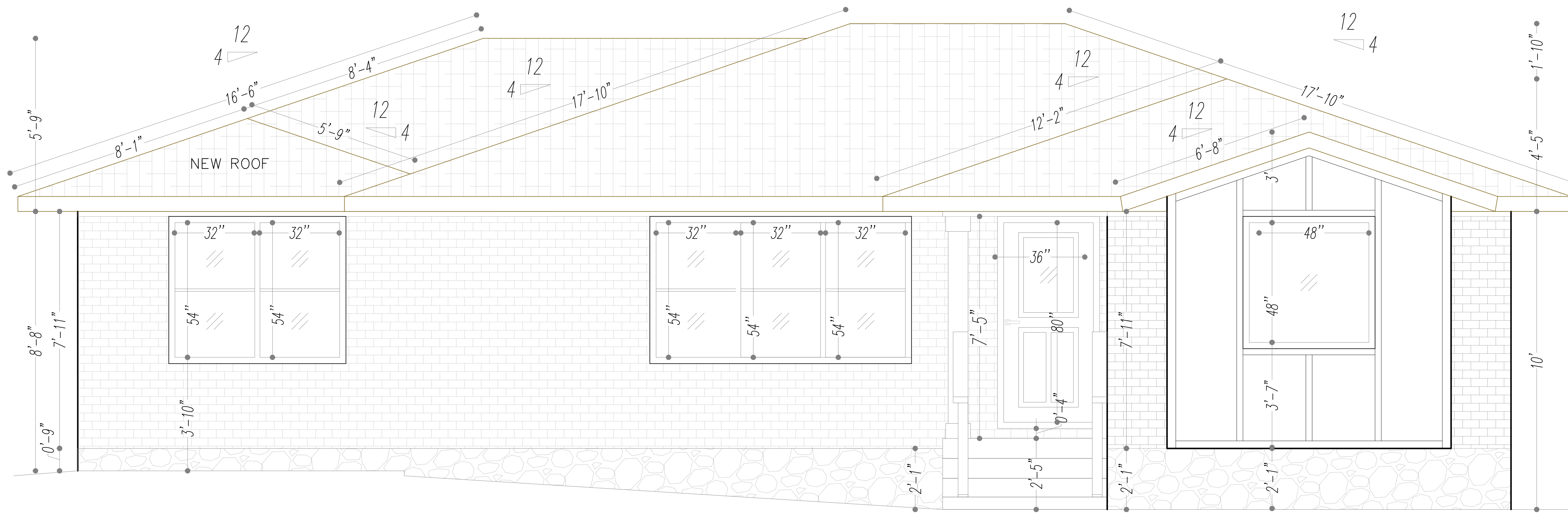
**A-5.0**

SCALE:

**1/2" = 1'-0"**



**EXISTING FRONT ELEVATION**  
**SCALE 1/2" = 1'-0"**



**PROPOSED FRONT ELEVATION**  
**SCALE 1/2" = 1'-0"**

Contact: Santiago Mosquera  
 ph: 770-508-4848  
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Property of  
**Windsor Development Group, LLC**

PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
 Decatur GA, 30033**

SHEET TITLE:

**- EXISTING FRONT ELEVATION**  
**- PROPOSED FRONT ELEVATION**

RELEASED FOR CONSTRUCTION

DRAWN BY:

**LMLB**

DATE:

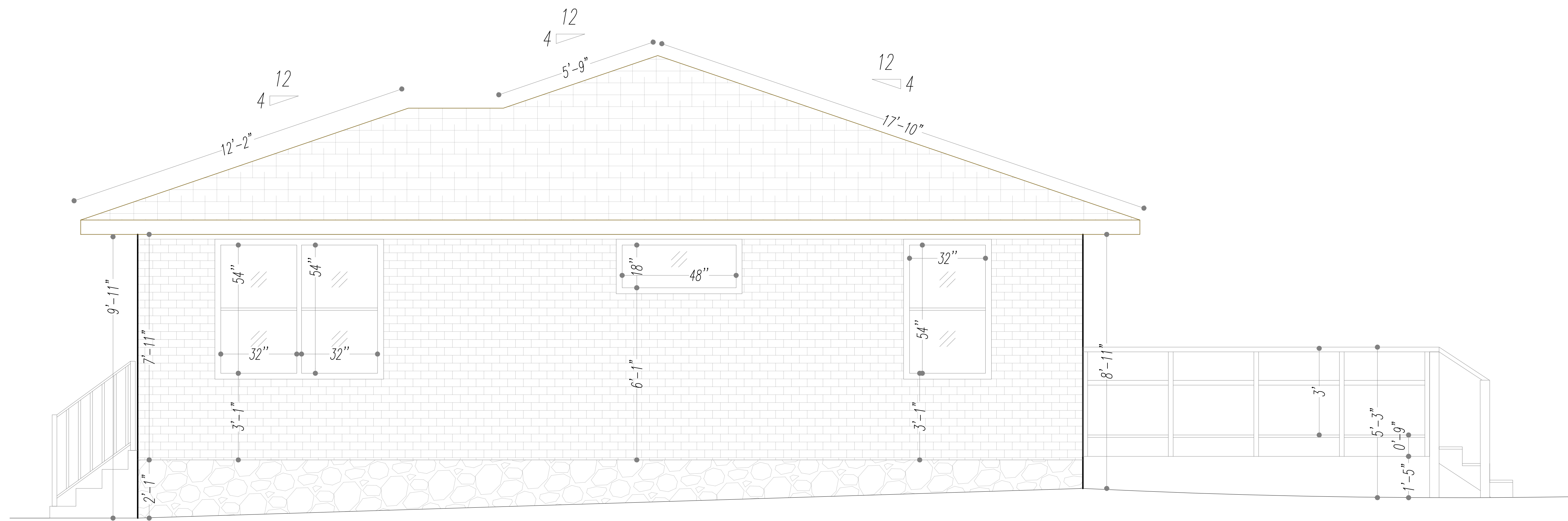
**April 27th, 2026**

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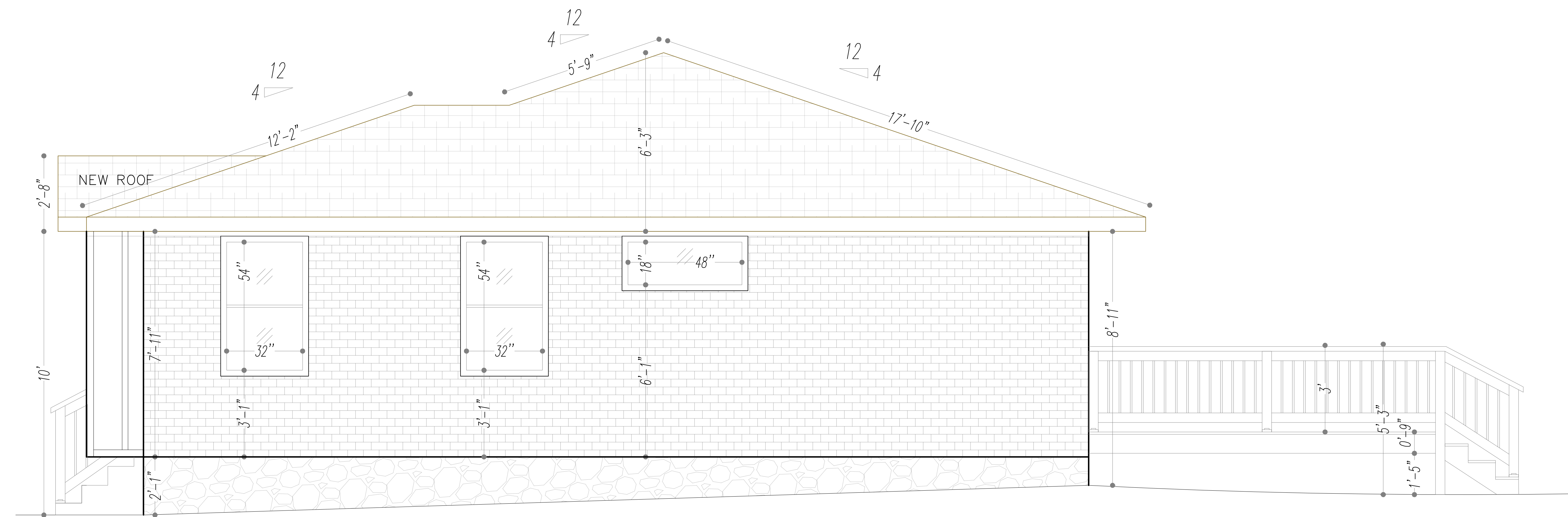
**1/2" = 1'-0"**

SHEET:

**A-6.0**



**EXISTING RIGHT ELEVATION**  
**SCALE 1/2" = 1'-0"**



**PROPOSED RIGHT ELEVATION**  
**SCALE 1/2" = 1'-0"**

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 ph: 770-508-4848  
 Email: smosquera@3buildersgeorgia.com

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Property of  
 Windsor Development Group, LLC

PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
 Decatur GA, 30033**

SHEET TITLE:

**- EXISTING RIGHT ELEVATION**  
**- PROPOSED RIGHT ELEVATION**

RELEASED FOR CONSTRUCTION

DRAWN BY:

**LMLB**

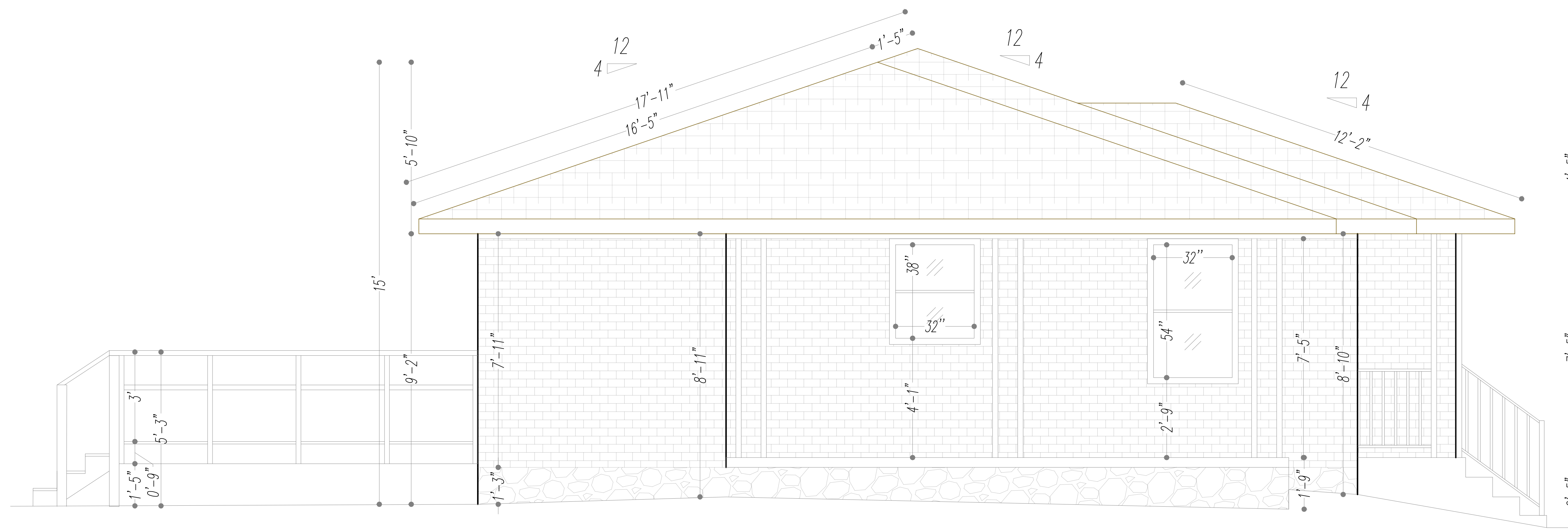
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**April 27th, 2026**

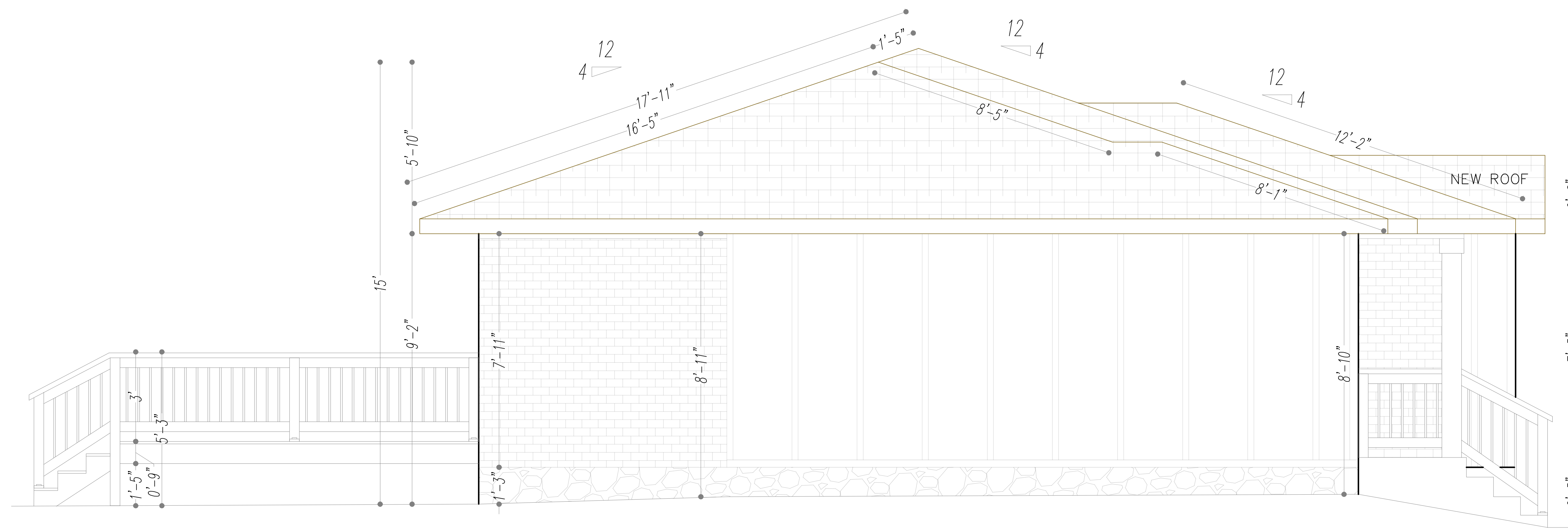
**A-7.0**

SCALE:

**1/2" = 1'-0"**



**EXISTING LEFT ELEVATION**  
**SCALE 1/2" = 1'-0"**



**PROPOSED LEFT ELEVATION**  
**SCALE 1/2" = 1'-0"**

Contact: Santiago Mosquera  
 ph: 770-508-4848  
 Email: smosquera@3buildersgeorgia.com

**OSB Design LLC**

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Property of  
 Windsor Development Group, LLC

PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
 Decatur GA, 30033**

SHEET TITLE:

**- EXISTING LEFT ELEVATION**  
**- PROPOSED LEFT ELEVATION**

RELEASED FOR CONSTRUCTION

DRAWN BY:

**LMLB**

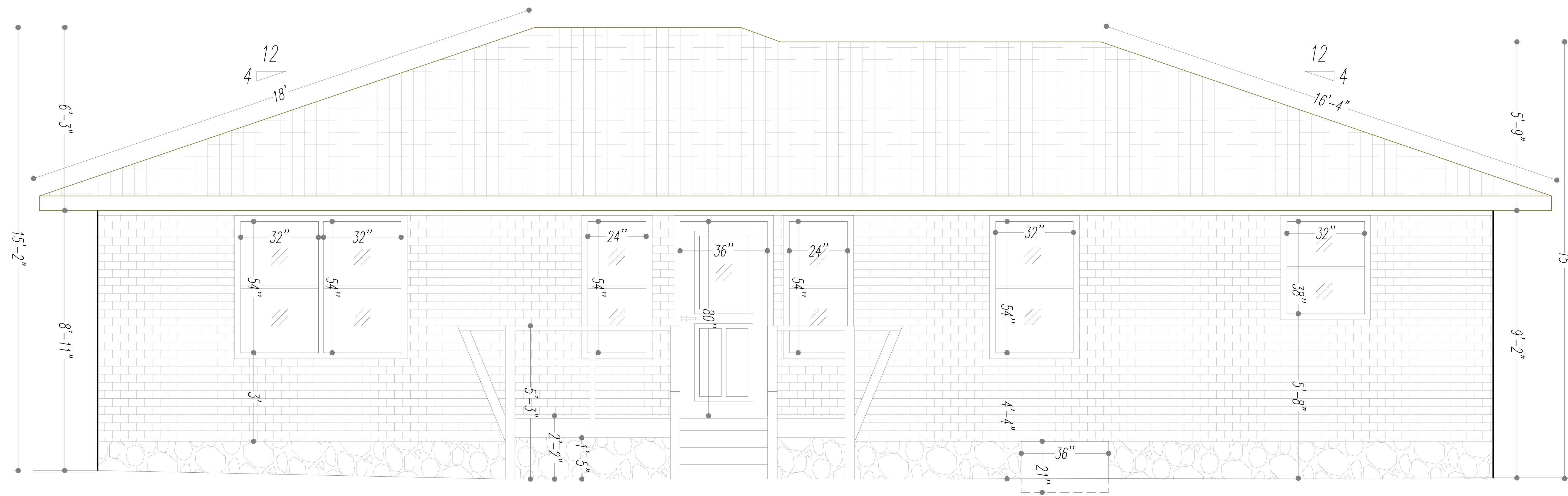
SHEET:

DATE:  
**April 27th, 2026**

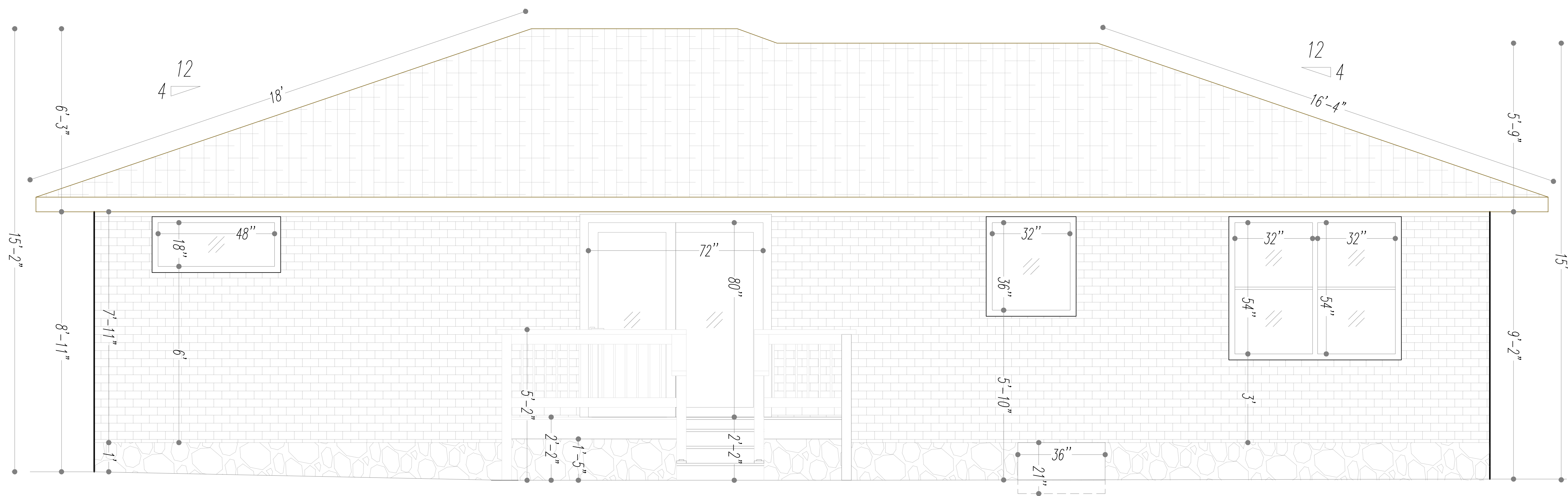
**A-8.0**

SCALE:

**1/2" = 1'-0"**



**EXISTING BACK ELEVATION**  
**SCALE 1/2" = 1'-0"**



**PROPOSED BACK ELEVATION**  
**SCALE 1/2" = 1'-0"**

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PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
 Decatur GA, 30033**

SHEET TITLE:

**- EXISTING BACK ELEVATION**  
**- PROPOSED BACK ELEVATION**

RELEASED FOR CONSTRUCTION

DRAWN BY:

**LMLB**

DATE:

**April 27th, 2026**

SCALE:

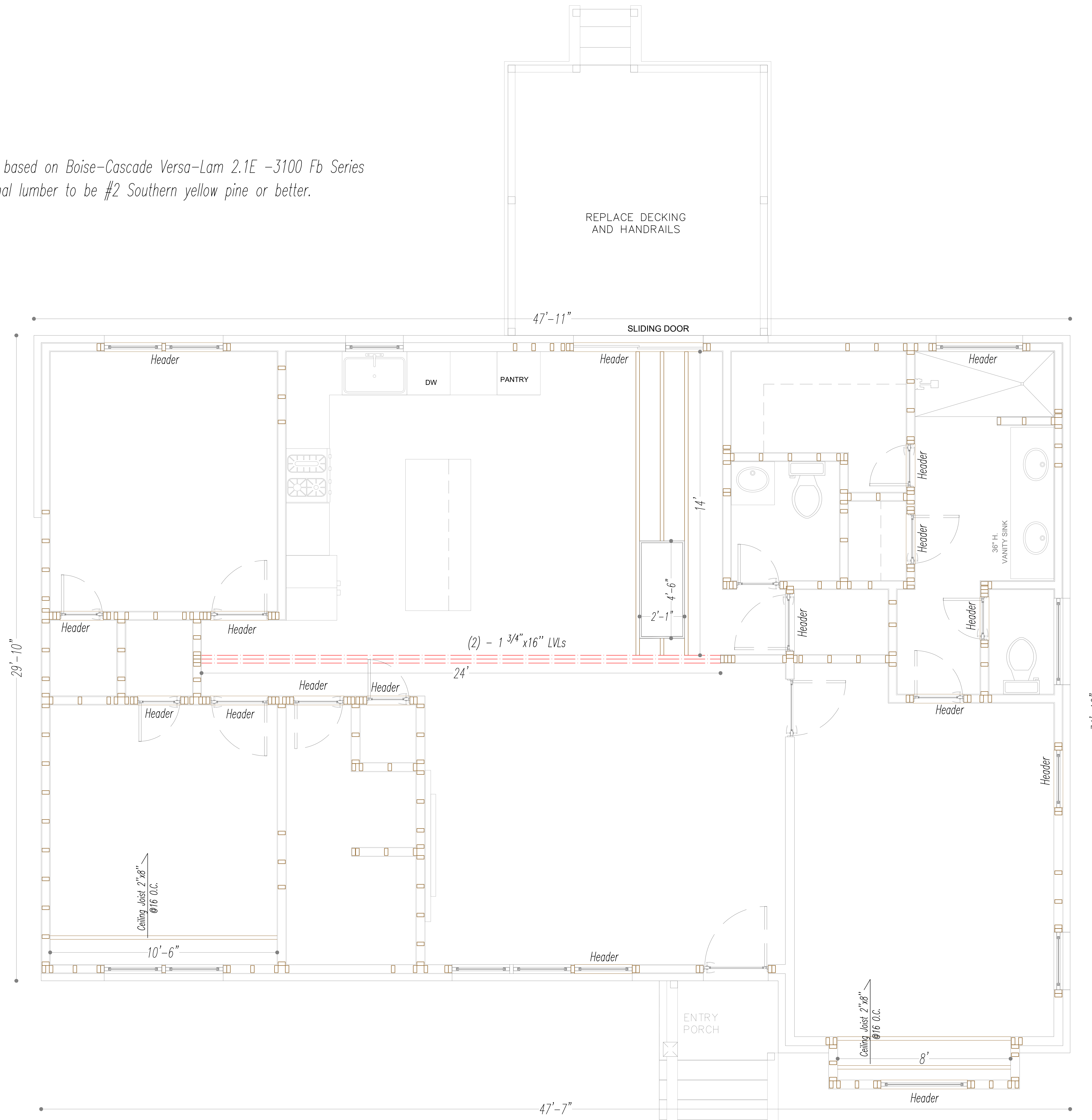
**1/2" = 1'-0"**

SHEET:

**A-9.0**

Note:

1. All LVL's are based on Boise-Cascade Versa-Lam 2.1E -3100 Fb Series
2. All dimensional lumber to be #2 Southern yellow pine or better.



**PROPOSED FRAMING PLAN**  
SCALE 1/2" = 1'-0"

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PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
Decatur GA, 30033**

SHEET TITLE:

**PROPOSED  
FRAMING PLAN**

RELEASED FOR CONSTRUCTION

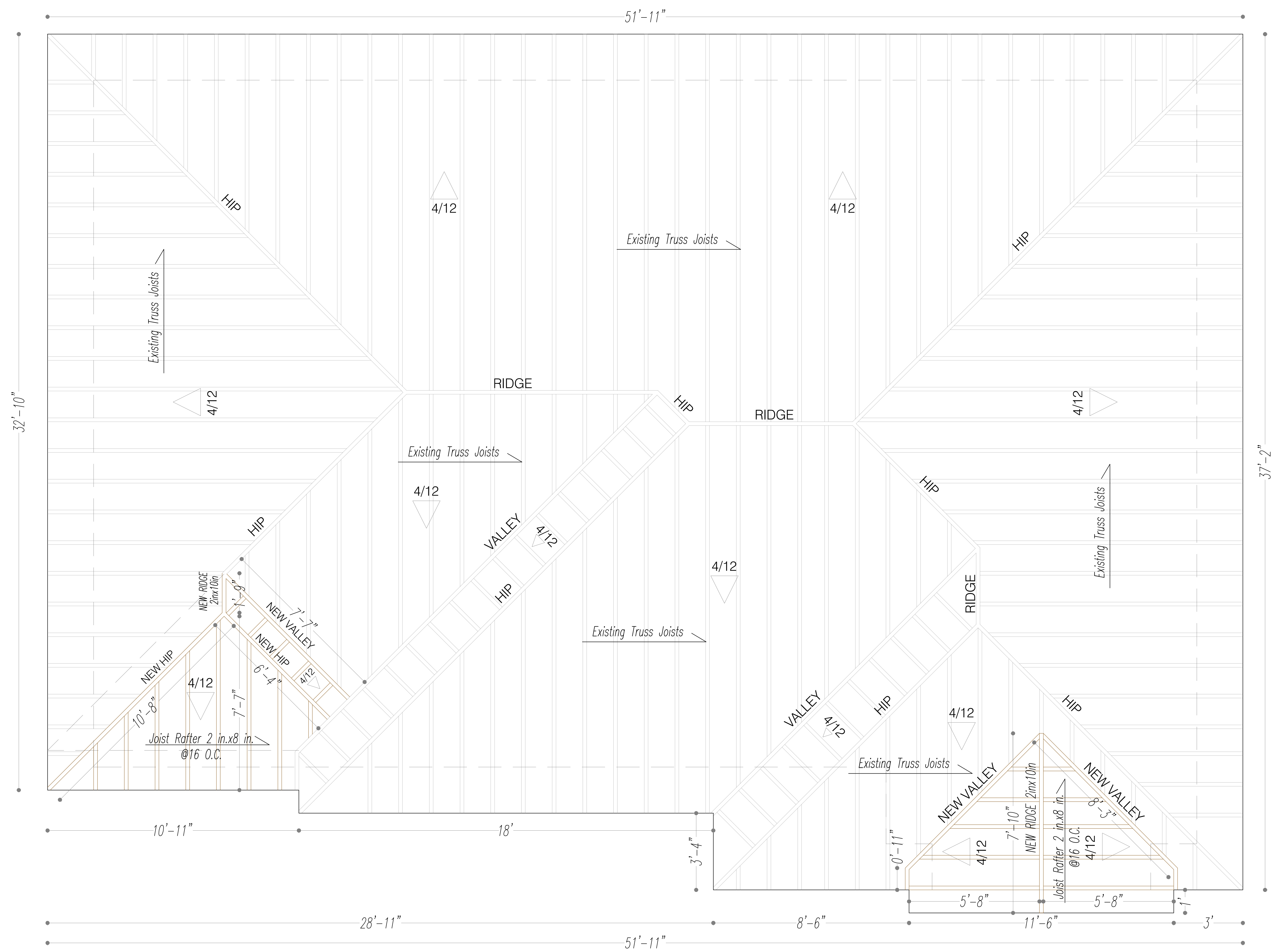
DRAWN BY:  
**LMLB**

DATE:  
**April 27th, 2026**

SCALE:  
**1/2" = 1'-0"**

SHEET:

**A-10.0**



**FRAMING ROOF PLAN**  
SCALE 3/8" = 1'-0"

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**Windsor Development Group, LLC**

PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
Decatur GA, 30033**

SHEET TITLE:

**FRAMING ROOF PLAN**

RELEASED FOR CONSTRUCTION

DRAWN BY: <b>LMLB</b>	SHEET:
DATE: <b>April 27th, 2026</b>	<b>A-11.0</b>
SCALE: <b>1/2" = 1'-0"</b>	

# ELECTRICAL LEGEND

	SWITCH
	CEILING FIXTURE OUTLET
	WALL MOUNT FIXTURE
	RECESSED DOWN LIGHT
	110V RECEPTACLES: DUPLEX, WEATHER PROOF, GFCI
	EXHAUST FAN
	CEILING FAN
	SMOKE DETECTOR
	CO SMOKE DETECTOR
	ELECTRICAL PANEL
	FLOOD LIGHT



**PROPOSED ELECTRICAL FLOOR PLAN**  
SCALE 1/2" = 1'-0"

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Windsor Development Group, LLC

PROJECT NAME & ADDRESS:

**1766 McKenzie Dr,  
Decatur GA, 30033**

SHEET TITLE:

**PROPOSED  
ELECTRICAL  
FLOOR PLAN**

RELEASED FOR CONSTRUCTION

DRAWN BY:  
**LMLB**

DATE:  
**April 27th, 2026**

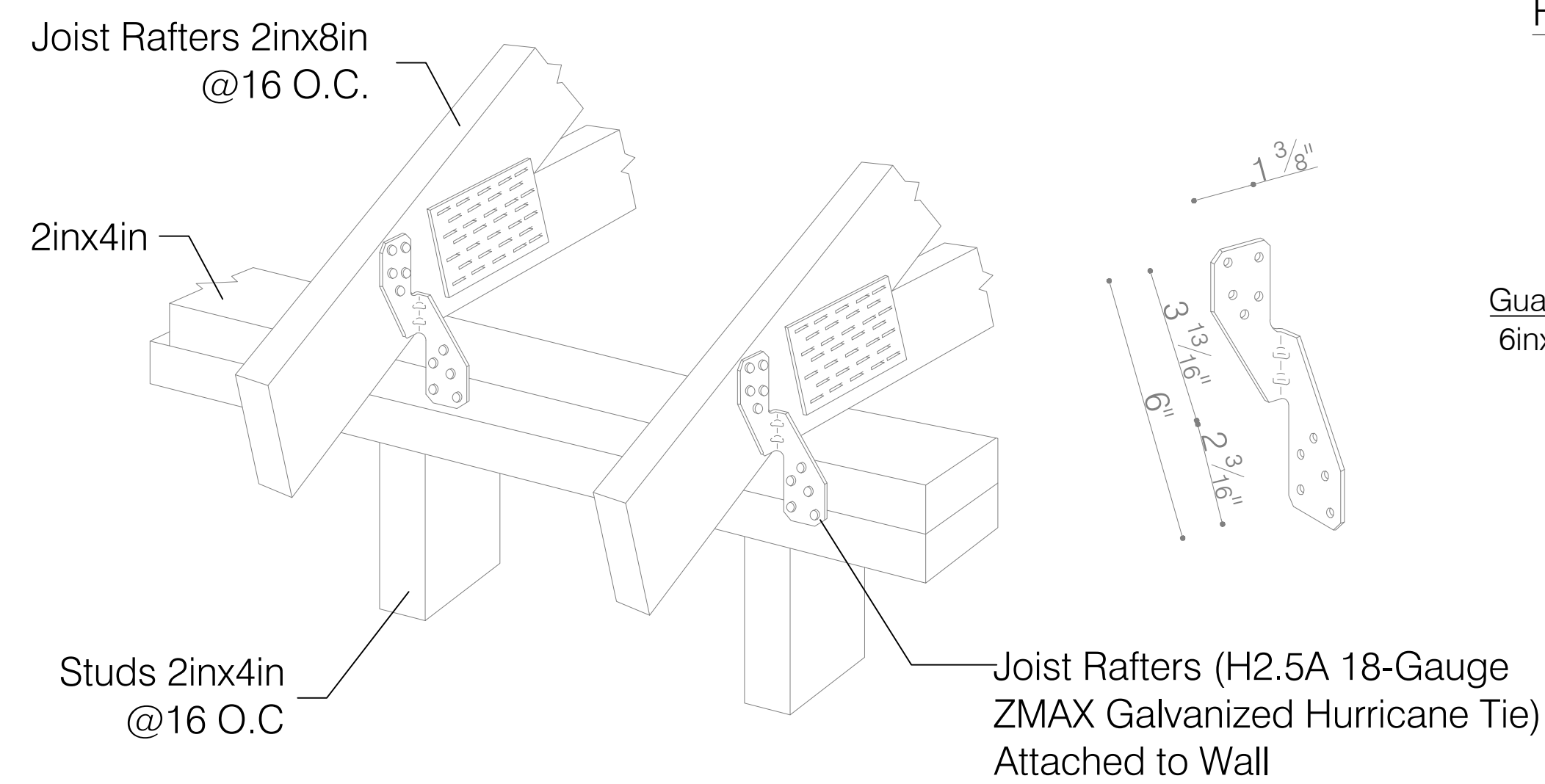
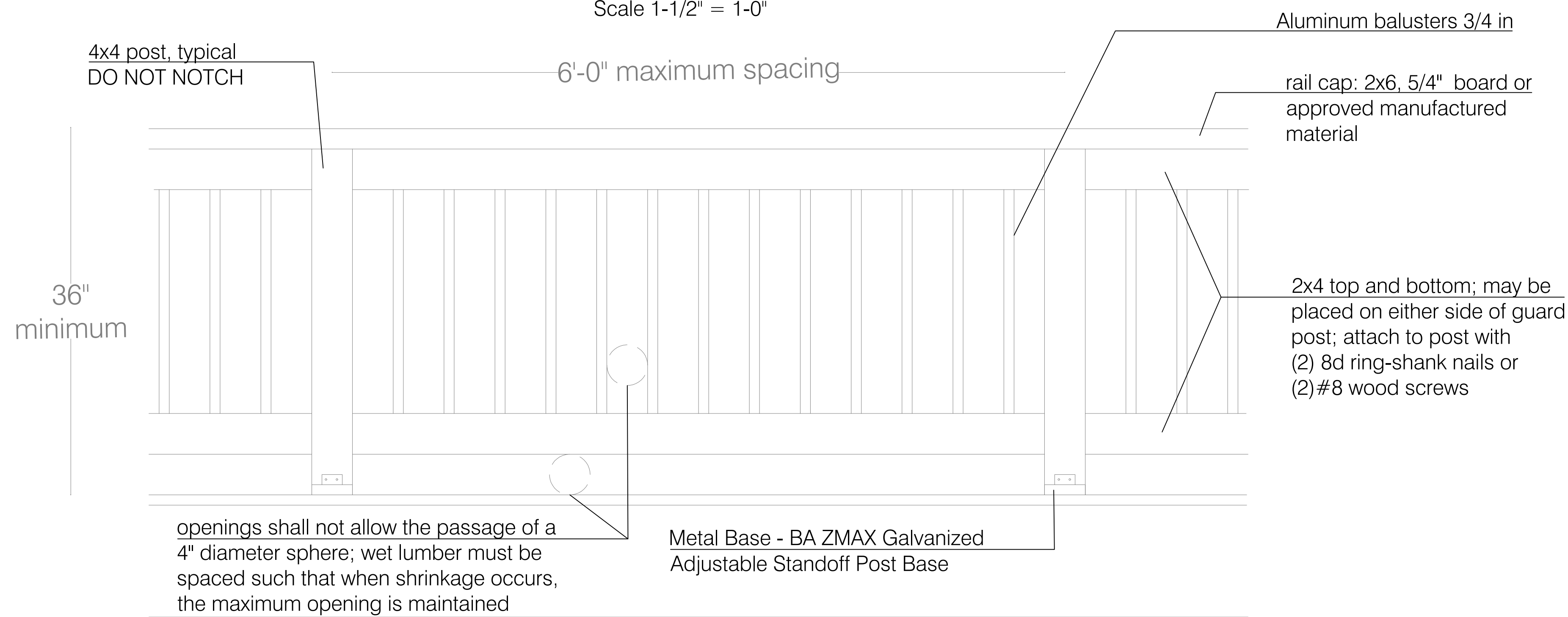
SCALE:  
**1/2" = 1'-0"**

SHEET:

**A-12.0**

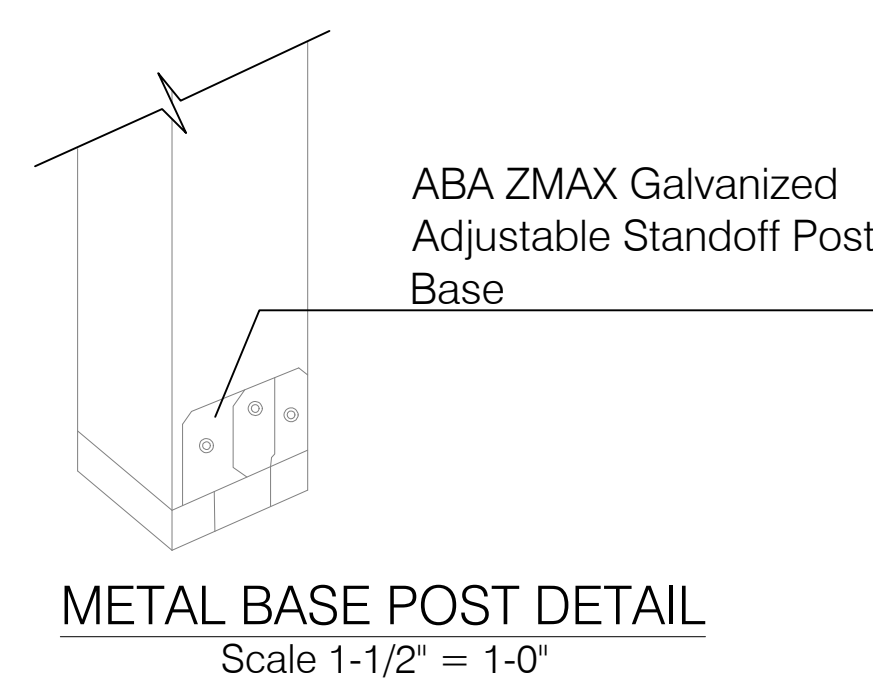
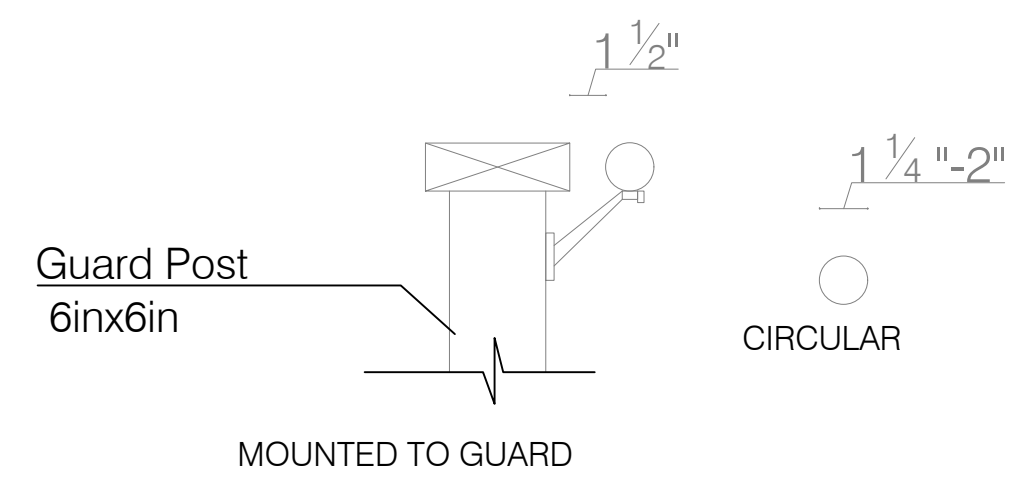
**TYPICAL GUARD DETAIL**

Scale 1-1/2" = 1-0"

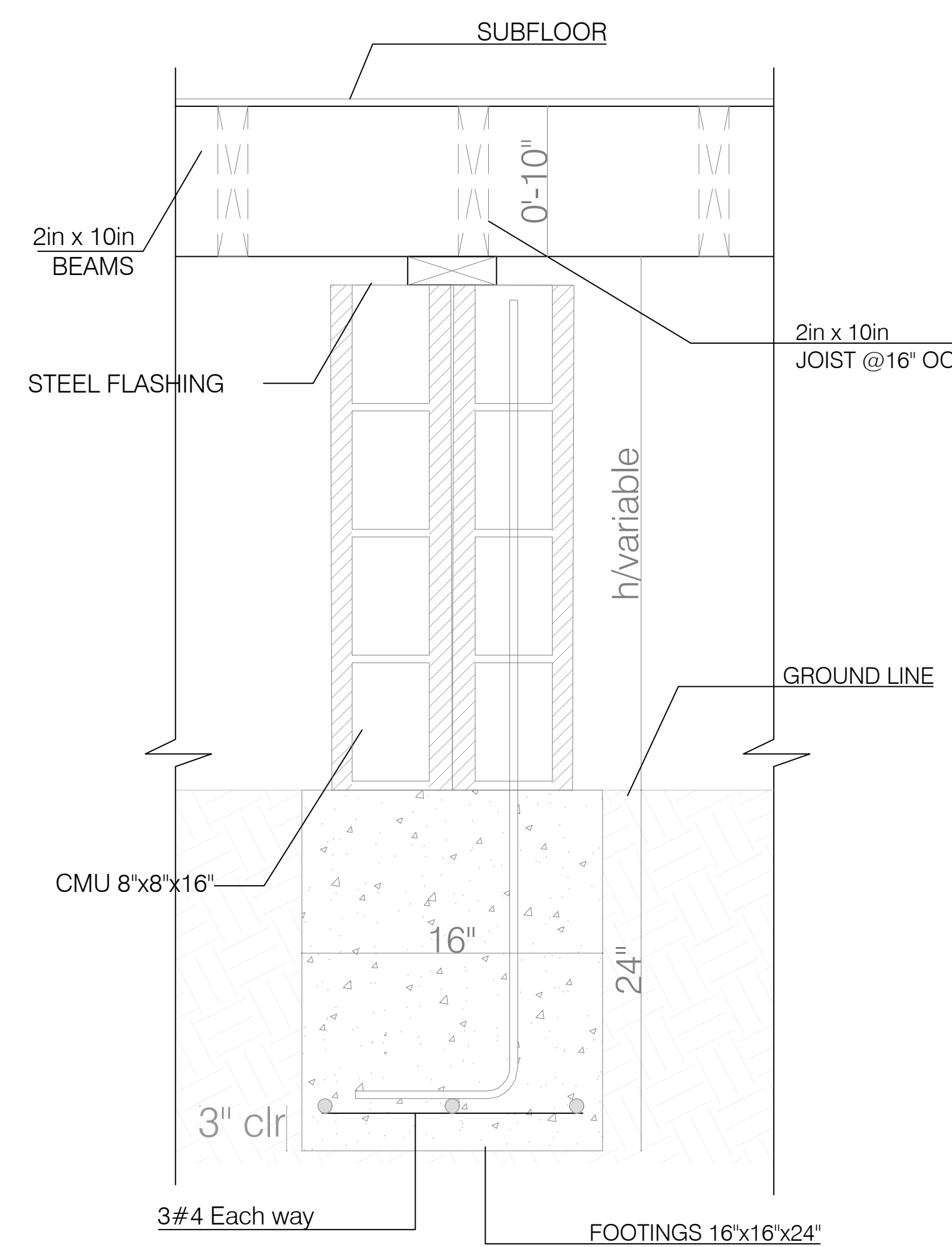


**DETAIL 1**  
Scale 2" = 1-0"

**HANDRAIL REQUIREMENTS**  
Scale 1-1/2" = 1-0"

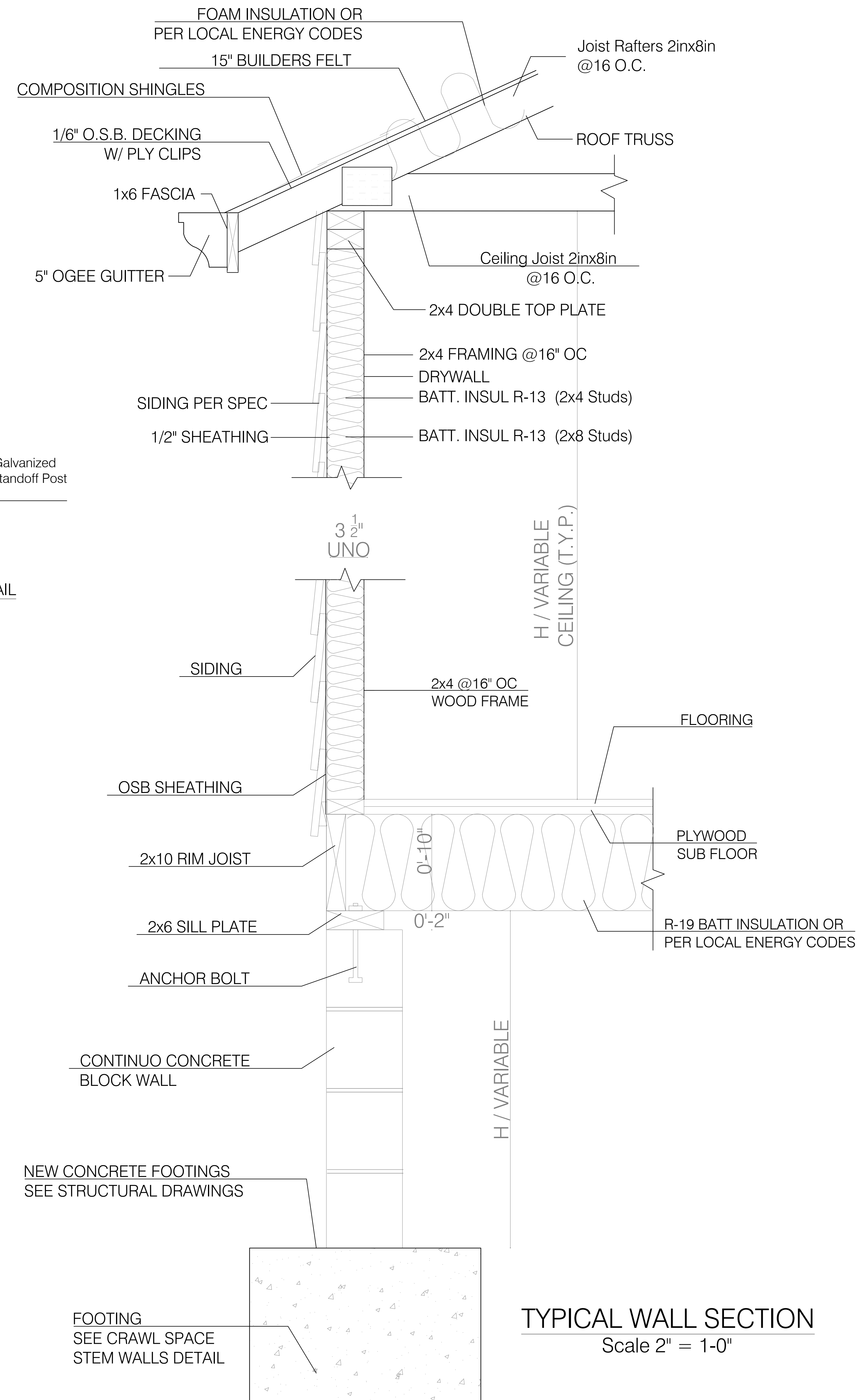
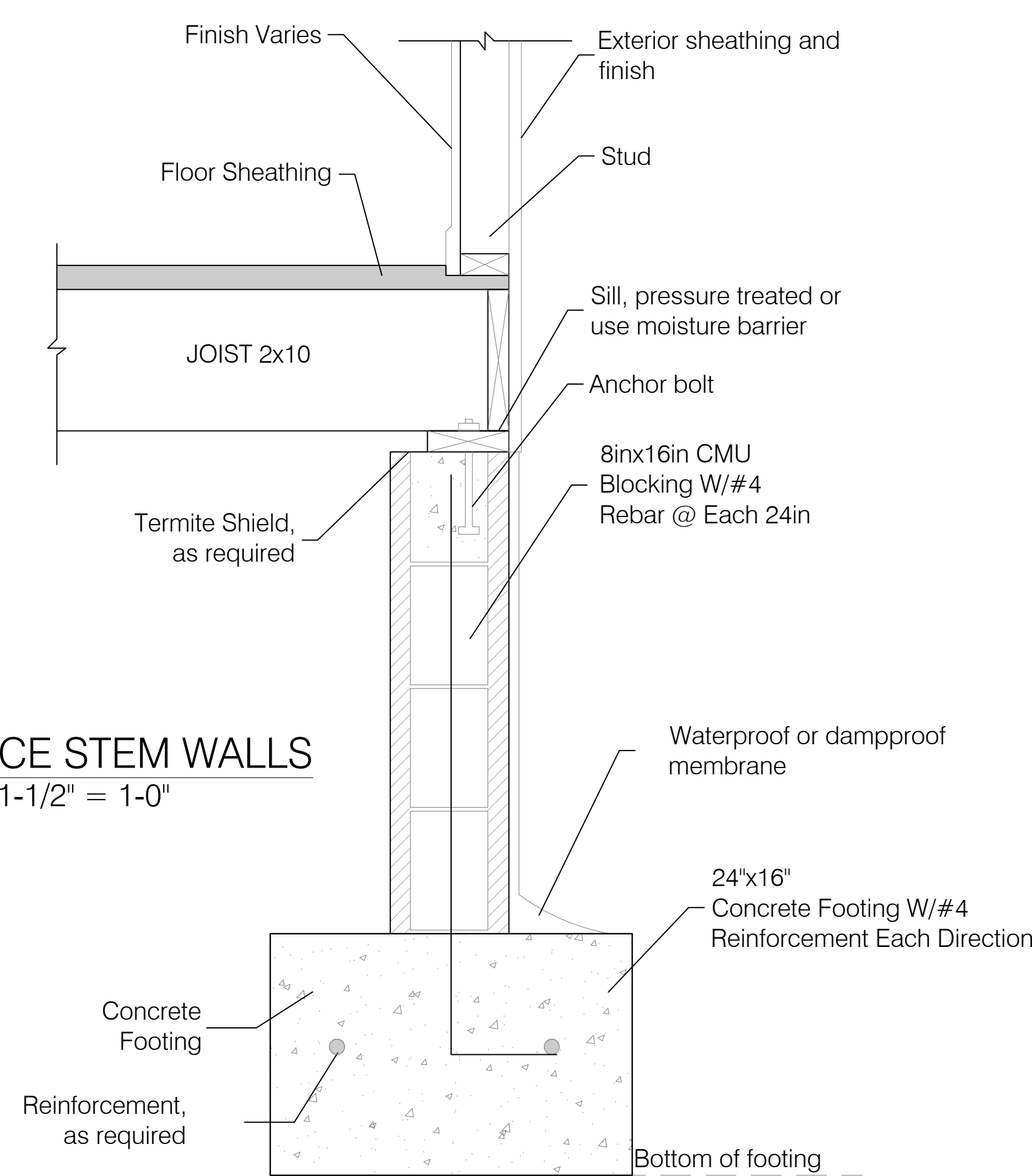


- Note:
1. Concrete to be 3,000 PSI (Min)
  2. Reinforcing to be grade 60 ASTM A615
  3. Minimum allowable Soil bearing pressure to be 2,000 PSF



**PIER DETAILS**  
Scale 1-1/2" = 1-0"

**CRAWL SPACE STEM WALLS**  
Scale 1-1/2" = 1-0"



**TYPICAL WALL SECTION**  
Scale 2" = 1-0"

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PROJECT NAME & ADDRESS:

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Decatur GA, 30033**

SHEET TITLE:

**DETAILS**

RELEASED FOR CONSTRUCTION

DRAWN BY:

**LMLB**

DATE:

**April 27th, 2026**

SCALE:

**INDICATED**

SHEET:

**A-13.0**

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