

ZONING BOARD OF APPEALS (ZBA) APPLICATION

to Amend the Official Zoning Map of DeKalb County, Georgia

Subject Property Address: 1169 Oxford Road 30306

City: Atlanta State: GA Zip: 30309

Parcel ID Number(s): 18 002 04 005 Acreage: 0.3937

District: 18 Land Lot: 2 Block: 12 Parcel: 39

Commission District(s): 2 Super District: 6

Type of Hearing Requested (check one):

- [X] VARIANCE (from Development Standards causing undue hardship upon owners of property.)
[] SPECIAL EXCEPTIONS (to Reduce or Waive off-street parking or loading space requirements.)
[] OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

*PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4.

FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.*

I hereby authorize the staff of the Planning and Sustainable Department to inspect the property that is the subject of this application.

[] Owner [X] Agent

Signature David W. Price

Date 5-14-26

ZONING BOARD OF APPEALS (ZBA) APPLICATION FEE: \$300.00

DeKalb County does not require payment by wire transfer. Be aware of scammers and fraudulent emails.

Email plansustain@dekalbcountyga.gov with any questions



Planning & Sustainability Department Current Planning / Zoning Division

178 Sams Street
Decatur, GA 30030

Lorraine Cochran-Johnson
Chief Executive Officer

Juliana A. Njoku
Director

APPLICANT PERSONAL CONTACT INFORMATION PAGE

Applicant Name: David Price

Address: 1595 Nottingham Way City: Atlanta State: GA Zip: 30309

Telephone: 404-245-4244 Email: dave@priceresidentialdesign.com

Owner Name: Abigail Shefer

Address: 1169 Oxford Road City: Atlanta State: GA Zip: 30306

Telephone: 404-520-9384 Email: donwalter1011@gmail.com

Subject Property Address: 1169 Oxford Road

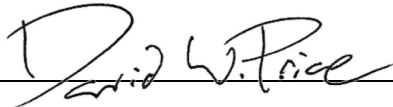
City: Atlanta State: GA Zip: 30306

District(s): 18 Land Lot(s): 2 Block: 12 Parcel(s): 39

Zoning Designation: R-85 Zoning District(s): Druid Hills Historic District

I hereby authorize the staff of the Planning and Sustainability Department, Current Planning/Zoning Division, to inspect the property that is the subject of this application.

Owner Agent

Signature of Applicant:  Date: 5-14-26

ZONING BOARD OF APPEALS (ZBA) APPLICATION FEE:
\$300.00

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DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

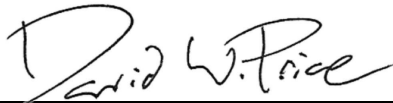
AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 5-14-26

Applicant Signature: 

DATE: _____

Applicant Signature: _____

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 5/14/2026 Applicant/Agent Signature: *David W. Price*

TO WHOM IT MAY CONCERN:

(I)/ (WE): *Abigail Shefer*
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

C Daley Fennell
Notary Public

Abigail Shefer
Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature

C DALEY FENNELL
NOTARY PUBLIC
DeKalb County
State of Georgia
My Comm. Expires Dec. 23, 2029

Price Residential Design
1595 Nottingham Way Atlanta, Georgia 30309
dave@priceresidentialdesign.com
404-245-4244

May 14, 2026

Zoning Board of Appeals
DeKalb County Department of Planning and Sustainability
178 Sams Street
Decatur, GA 30030

RE: **1169 Oxford Road** - Request for Variance from DeKalb County zoning ordinance sec. 27-2.2.1 to increase the lot coverage from 35% maximum to 42% existing to allow a minor expansion of a porch.

Dear Board members and staff:

We believe this request conforms to the criteria set forth in code and ask that the Board grant relief in this unique case.

(1) by reason of exceptional narrowness, shallowness, or shape of a specific lot, or by reason of exceptional topographic and other site conditions (such as, but not limited to, floodplain, major stand of trees, steep slope), which were not created by the owner or applicant, the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district.

The lot is a rectangular shape that meets the current R-85 zoning lot size minimum limit. The house and driveway was built in 1928 and is located in the Druid Hills Historic District. The swimming pool and its concrete deck also precedes the current Zoning Code, built in 1984. The size and shape of the pool was consistent with the style at that time. Since then, there has been no alteration to the exterior spaces, and the current owners bought the property in 2002.

(2) the requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.

The variance does not constitute a grant of special privilege or go beyond the minimum necessary to afford relief because the pool was built by prior owners when the County was less restrictive on lot coverage and the owners had no part in its construction. There will be no expansion of lot coverage because the portion of the new porch that will cover currently uncovered dirt will be offset by removing a stone patio with a slightly larger area.

We have closely examined other areas where existing coverage could be reduced and found none. Typically, a driveway grass strip can be added but this driveway was built with a swale down the middle to direct water to the rear (see water stains on the attached driveway photos). If we cut a strip in that area, water will constantly erode out the dirt and grass and cause a permanent maintenance nightmare. The pool deck was built with the 42-year-old pool and a pool company told the owner the control joints were poured years ago, "messing with the pool deck will cause future problems I don't want to create".

The expansion of the porch creates only 61 square feet of new coverage, and 71 square feet will be removed. Any wholesale reduction of coverage will balloon the scope of work well beyond

what makes sense to continue, so we hope the Board will allow the existing hardscapes to remain.

(3) the grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located.

The granting of the variance would not be detrimental to the public welfare or injurious to the surrounding properties because all of the coverage has been in place for 42 years on a house nearly 100 years old. We hope that the Historic Preservation Commission will approve our project, concluded that the work is appropriate to the District.

While much of the coverage is 100% impervious, there are existing areas that either are not fully impervious or do not contribute to runoff like fully impervious coverage would. The 170 sq ft brick entry walk does have mortar between the bricks but water can infiltrate that coverage to some extent. The pool itself is 913 square feet, and it will retain rainwater rather than allowing it to run to the stormwater system. If these areas are removed from the fully impervious calculation, the lot coverage is reduced to 35.5%.

(4) the literal interpretation and strict application of the applicable provisions or requirements of this Chapter would cause undue and unnecessary hardship.

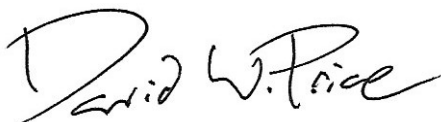
The literal interpretation and strict application of the current setbacks would cause undue and unnecessary hardship because the current owners of the property are not currently allowed to do any work of any size to the property, even though they had nothing to do with the lot coverage overage and we believe the coverage had been done in accordance with the law at the time. This is a legal non-conforming situation where any large-scale reduction of coverage will incur such costs to the owners as to make the project not viable.

The owners have been long-term residents that plan to remain, with this expanded porch a major point of enjoyment in the future. The owner has been an active for years on the Board of the County-owned Callenwolde Fine Arts Center Foundation and her husband is a past chair of the Emory Village Alliance, where he has been active for years.

(5) the requested variance would be consistent with the spirit and purpose of this chapter and the DeKalb County Comprehensive Plan text.

The requested variance would be consistent with the spirit and purpose of this chapter and the DeKalb County Comprehensive Plan text since the purpose of the variance process is to encourage flexibility when dealing with odd or non-conforming existing conditions such as the existing non-conformities on historic properties. The HPC will hopefully conclude that the project is appropriate and we hope the ZBOA will concur.

Thank you for your consideration,

A handwritten signature in black ink that reads "David W. Price". The signature is written in a cursive, flowing style.

David W. Price, Applicant
For Abigail Shefer, Owner



Stains show existing years-old swale in current driveway, making grass strip impractical



Existing front walk, we believe it is not 100% impervious

ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.

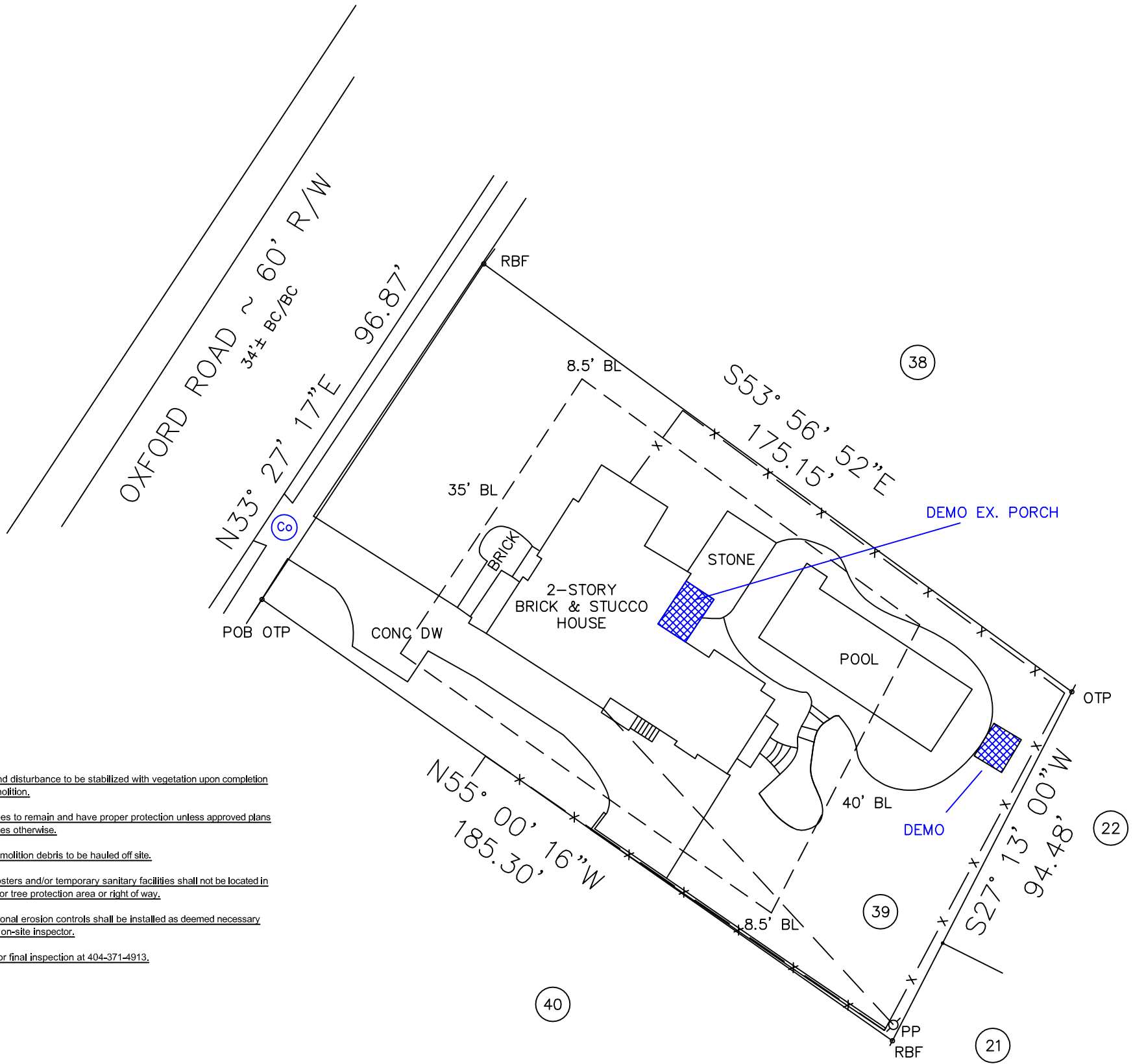
NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.

NOTE: PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS SURVEY IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.

*** L E G E N D ***

NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.
 AKA ALSO KNOWN AS
 APD AS PER DEED
 APP AS PER PLAT
 BL BUILDING (SETBACK) LINE
 CP COMPUTED POINT
 CTP CRIMP TOP PIPE FOUND
 D DEED (BOOK/PAGE)
 DW DRIVEWAY
 EP EDGE OF PAVEMENT
 FFE FINISH FLOOR ELEVATION
 FKA FORMERLY KNOWN AS
 IPF IRON PIN FOUND
 HWD HARD WOOD TREE
 L ARC LENGTH
 LL LAND LOT
 LLL LAND LOT LINE
 N NEIGHBOR'S
 N/F NOW OR FORMERLY
 NAIL NAIL FOUND
 P PLAT (BOOK/PAGE)
 POB POINT OF BEGINNING
 POC POINT OF COMMENCEMENT
 R RADIUS LENGTH
 R/W RIGHT-OF-WAY
 RBF REINFORCING BAR FOUND (1/2" UNO)
 RBS 1/2" REINFORCING BAR SET
 SW SIDEWALK
 UNO UNLESS NOTED OTHERWISE
 W/ WITH
 -X- FENCE LINE
 OTP OPEN TOP PIPE FOUND



Notes

- All land disturbance to be stabilized with vegetation upon completion of demolition.
- All trees to remain and have proper protection unless approved plans indicates otherwise.
- All demolition debris to be hauled off site.
- Dumpsters and/or temporary sanitary facilities shall not be located in street or tree protection area or right of way.
- Additional erosion controls shall be installed as deemed necessary by the on-site inspector.
- Call for final inspection at 404-371-4913.

24 HOUR CONTACT:
 Dave Price
 HOME: 404-724-9570
 CELL: 404-245-4244



AS PER PLANS: INTERIOR RENOVATIONS OF HOUSE ARE PLANNED AND WILL NOT AFFECT FOOTPRINT OR DISTURB AREA AROUND FOOTPRINT.
 EXISTING DRIVEWAY TO BE USED AS CONSTRUCTION ENTRANCE AND MATERIAL STORAGE.

PROPERTY ADDRESS:
 1169 OXFORD RD
 ATLANTA, GA

LAND AREA:
 17148 SF
 0.3937 AC
 IMPERVIOUS AREA:
 HSE= 2234 SF
 STOOPS= 174 SF
 BRICK= 149 SF
 STONE= 292 SF
 PORCH= 99 SF
 DW= 1900 SF
 FD= 71 SF
 POOL= 2293 SF
 EXIST= 7212 SF~42%
 MAX=35%
 ZONING: R-85

DEMO PLAN PREPARED FOR:
 Donald M. Walter & Abigail Walter

LOT 39 BLOCK 12-B SUBDIVISION DRUID HILLS

LAND LOT 2 18th DISTRICT

DeKALB COUNTY, GEORGIA

FIELD: DATE 6-18-2015

UNINCORP

DRWN: DATE 6-22-2015

PLAT BOOK , PAGE

ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED

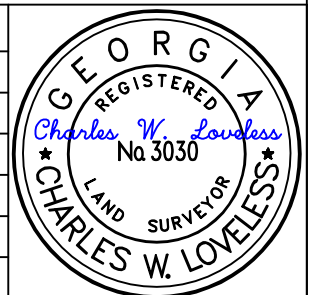
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

0 30

 SCALE 1" = 30'

SURVEY SYSTEMS & ASSOC., INC.
 657 Lake Drive, Snellville, GA 30039
 COA # LSF000867

CELL 770-558-7895
 OFFICE 404-760-0010
 INFO@SURVEYSYSTEMSATLANTA.COM



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.

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 FKA FORMERLY KNOWN AS RBS 1/2" REINFORCING BAR SET
 IPF IRON PIN FOUND SW SIDEWALK
 HWD HARD WOOD TREE UNO UNLESS NOTED OTHERWISE
 L ARC LENGTH W/ WITH
 LL LAND LOT -X- FENCE LINE
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Notes

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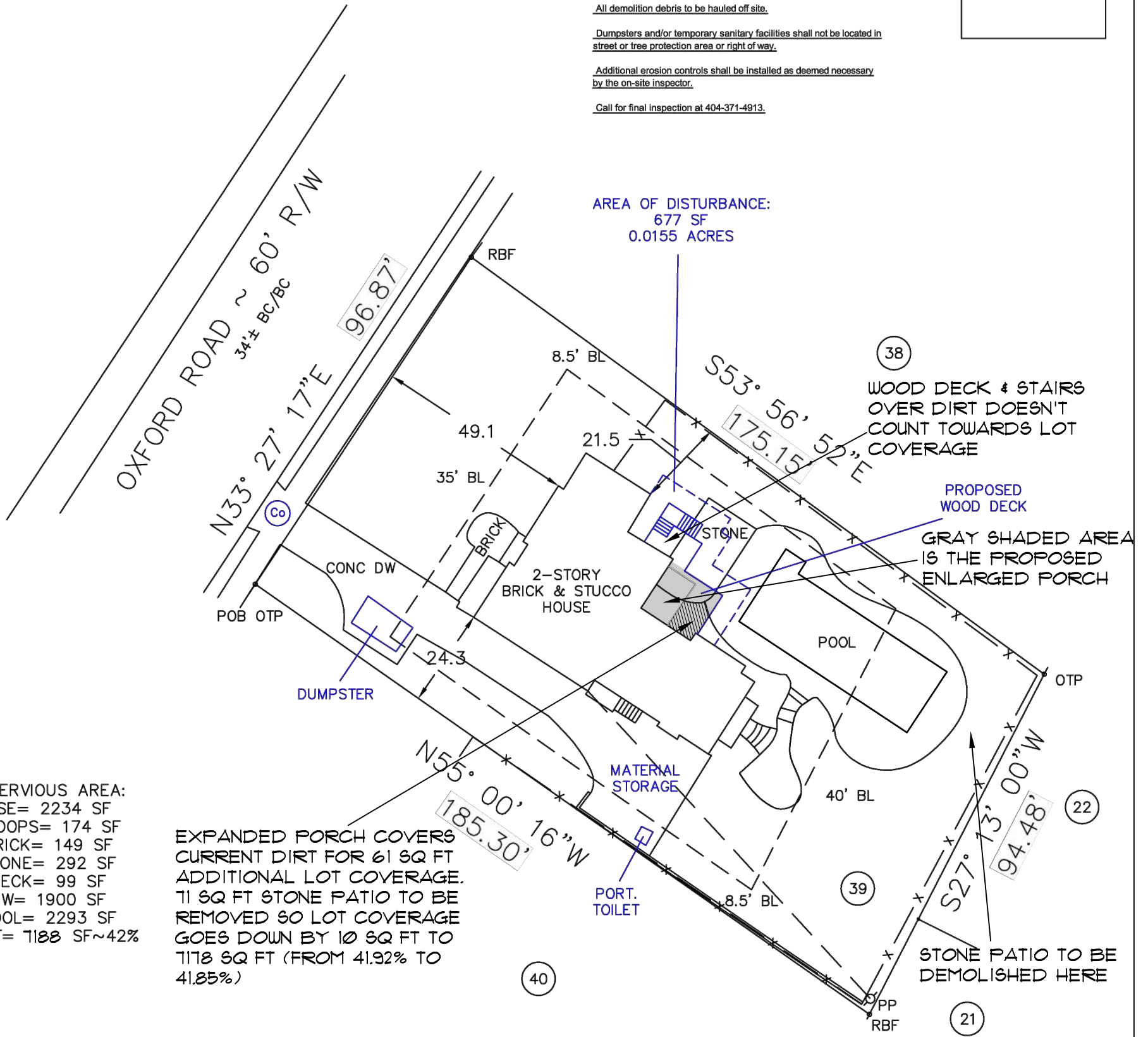
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Additional erosion controls shall be installed as deemed necessary by the on-site inspector.

Call for final inspection at 404-371-4913.

DIRT STATEMENT:
 NO GRADING
 CUT=0 CU. YDS.
 FILL=0 CU. YDS.



AREA OF DISTURBANCE:
 677 SF
 0.0155 ACRES

IMPERVIOUS AREA:
 HSE= 2234 SF
 STOOPS= 174 SF
 BRICK= 149 SF
 STONE= 292 SF
 DECK= 99 SF
 DW= 1900 SF
 POOL= 2293 SF
 EXIST= 7188 SF ~42%

EXPANDED PORCH COVERS CURRENT DIRT FOR 61 SQ FT ADDITIONAL LOT COVERAGE. 71 SQ FT STONE PATIO TO BE REMOVED SO LOT COVERAGE GOES DOWN BY 10 SQ FT TO 7178 SQ FT (FROM 41.92% TO 41.85%)

AS PER PLANS: INTERIOR RENOVATIONS OF HOUSE ARE PLANNED AND WILL NOT AFFECT FOOTPRINT OR DISTURB AREA AROUND FOOTPRINT.

EXISTING DRIVEWAY TO BE USED AS CONSTRUCTION ENTRANCE AND MATERIAL STORAGE.

ZONING: R-85



PROPERTY ADDRESS:
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 ATLANTA, GA

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SITE PLAN PREPARED FOR:
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LOT 39 BLOCK 12-B SUBDIVISION DRUID HILLS

LAND LOT 2 18th DISTRICT

DeKALB COUNTY, GEORGIA

UNINCORP

PLAT BOOK , PAGE
 DEED BOOK , PAGE

FIELD: DATE 6-18-2015

DRWN: DATE 6-22-2015

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7-17-2015

7-15-2015

^REVISED^

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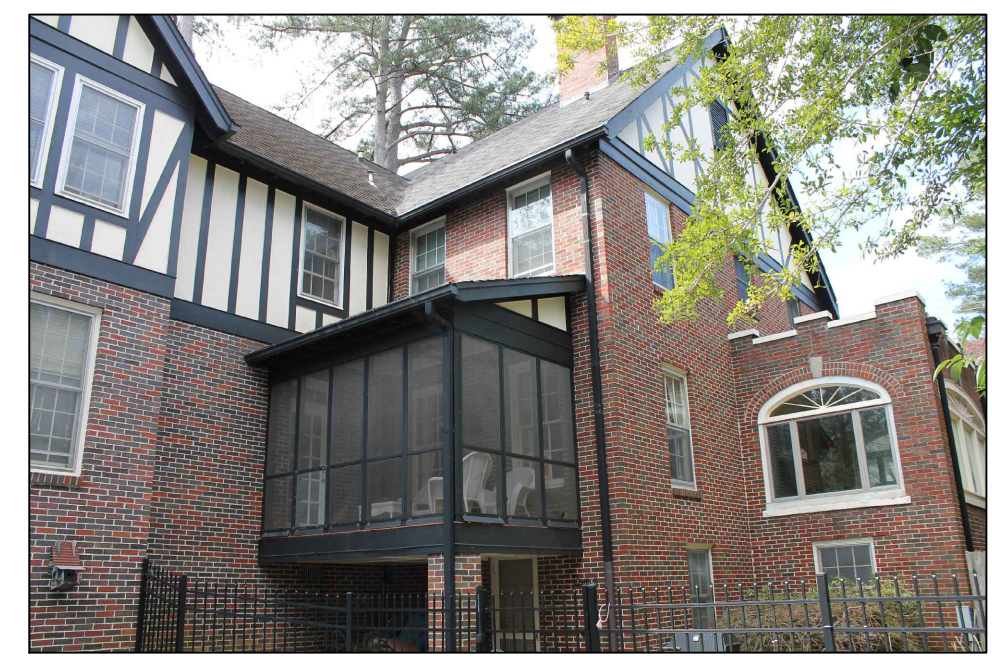
PRICE RESIDENTIAL DESIGN
 1535 NOTTINGHAM WAY
 ATLANTA, GEORGIA
 30303
 dave@priceresidentialdesign.com
 404-245-4244



PORCH LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



PORCH REAR ELEVATION
 SCALE: 1/4" = 1'-0"



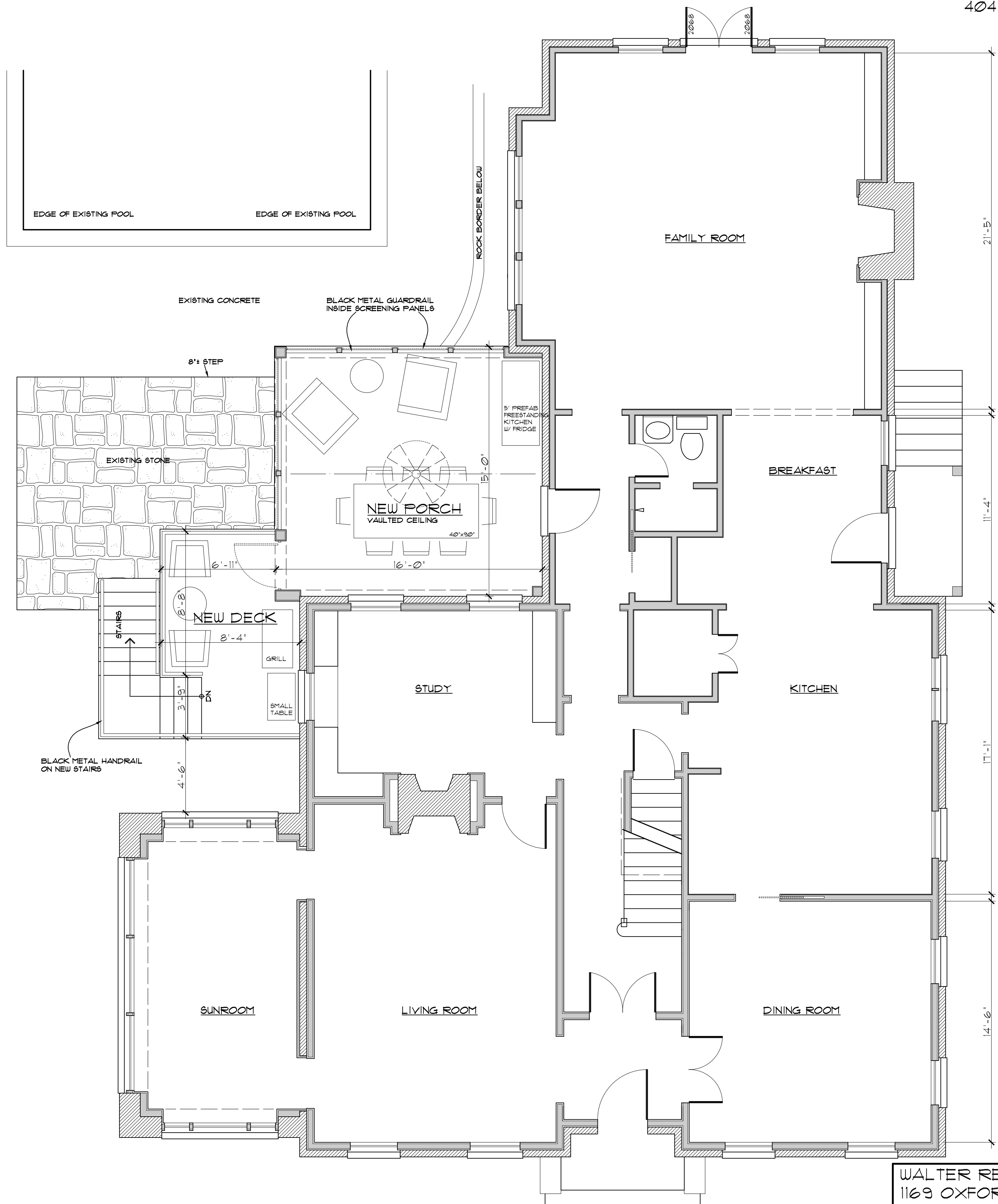
THESE PHOTOS ARE FROM THE 2015 WHEN THE PORCH WAS PREVIOUSLY APPROVED



WALTER RESIDENCE
 1163 OXFORD ROAD
 ATLANTA, GEORGIA
 PROPOSED PORCH /
 DECK ELEVATIONS
 SHEET A-1
 APRIL 17, 2026



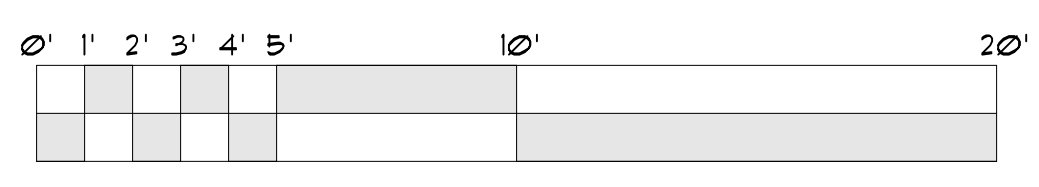
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PRICE RESIDENTIAL DESIGN
 WALTER RESIDENCE
 1169 OXFORD ROAD

PRICE RESIDENTIAL DESIGN

PROPOSED MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"



WALTER RESIDENCE
 1169 OXFORD ROAD
 ATLANTA, GEORGIA
 MAIN FLOOR PORCH
 ADDITION
 SHEET A-2
 APRIL 17, 2026