



Lorraine Cochran-Johnson

Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street,
Decatur, GA 30030

Wednesday, June 10, 2026

Planning Department Staff Analysis



Juliana A. Njoku

Director

D4. Case No: A-26-1247960

Parcel ID(s): 18 047 22 007

Commission District 04 Super District 06

Applicant: Kara Copeland & Elliott Hennington

PO Box 143028

Fayetteville, GA 30214

Owner: Lion Hardwood Floors LLC

2099 Old Dallas Highway

Marietta, GA 30064

Project Name: 439 Booker Avenue – New Single-Family Home Construction

Location: 439 Booker Avenue, Scottdale, GA 30079

Requests: Variance request from Section 27-3.36.10 of the DeKalb County Zoning Ordinance to:

- Reduce the front setback from 30 feet to 15 feet
Reduce the rear setback from 30 feet to 20 feet
Reduce the required landscape strip width from 5 feet to 1.5 feet
Reduce the minimum parking space size to 232 square feet

to facilitate development of a single-family home in the R-75 (Residential Medium Lot-75) zoning district and Scottdale Overlay District, Tier 2.

Staff Recommendation: Approval with Conditions

Conditions:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and conditions of approval.
2. The applicant shall provide the maximum feasible landscape strip, street tree planting, and/or frontage landscaping as determined by the Planning Department or other applicable reviewing agency during land development and building permit review.

STAFF FINDINGS:

The applicant proposes construction of a new single-family detached dwelling on a small legal lot of record located at 439 Booker Avenue in Scottsdale. The subject property is zoned R-75 and is located within the Scottsdale Overlay District, Tier 2. The updated civil site plan identifies a lot area of approximately 3,484.8 square feet, or 0.08 acres. The proposed development includes a three-story single-family dwelling, driveway, parking area, sidewalk, stormwater infiltration trench, and frontage improvements.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property, such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The subject property is affected by exceptional physical conditions related to lot size, depth, and configuration. The lot contains approximately 3,484.8 square feet and is substantially smaller than the minimum lot size generally associated with the Scottsdale Tier 2 Overlay District. The lot is also shallow, with a depth of approximately 64 to 71 feet. This limited depth makes strict compliance with both the 30-foot front setback and 30-foot rear setback challenging, as those setbacks would consume most of the available depth of the lot and leave little usable buildable area. The same constrained frontage area also affects the applicant's ability to provide the full required landscape strip while accommodating access, parking, sidewalk improvements, and the proposed residential structure.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The requested relief may not be substantial but directly related to the unusually small and shallow lot. A conforming 30-foot front setback and 30-foot rear setback would leave an extremely limited buildable area. The proposed front setback of 15 feet and rear setback of 20 feet allow a functional single-family building footprint while maintaining separation from the front and rear property lines.

The requested landscape strip reduction is also tied to the constrained frontage condition. The applicant is proposing residential infill on a small lot where the required landscape strip, driveway, parking area, sidewalk, and building placement must all be accommodated within a limited site area. The request to reduce the landscape strip from 5 feet to 1.5 feet should be mitigated by requiring the maximum feasible frontage landscaping, street tree planting, or equivalent landscape treatment during permitting.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The proposed use is a single-family detached dwelling in an area characterized by residential development. The updated site plan includes a driveway, parking area, sidewalk, stormwater notes, drainage controls, and an infiltration trench intended to address water quality and runoff. The site plan also states that drainage shall not adversely impact adjacent properties.

Potential impacts are primarily related to reduced setbacks, reduced frontage landscaping, and the constrained parking configuration. These impacts can be mitigated through conditions of approval and subsequent technical review. The applicant must still comply with all applicable building, fire, stormwater, land development, utility, transportation, and life-safety requirements. The permitting process and other reviewing agencies may require refinements during permitting to ensure drainage, frontage treatment, tree planting, access, and site improvements do not create adverse impacts.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

Strict application of the applicable setback, landscape strip, and parking dimensional standards would create an undue and unnecessary hardship due to the lot's shallow depth and limited area. The subject property is an existing lot of record in a residential zoning district. Without variance relief, the required front and rear setbacks would severely constrain the buildable area and would substantially limit the owner's ability to construct a functional single-family dwelling.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The Comprehensive Plan designates the area as Traditional Neighborhood, which generally supports the preservation and continuation of established residential neighborhoods, compatible infill development, and reinvestment in existing communities. The proposed construction of a single-family dwelling on an existing residential lot is consistent with the residential character of the area.

The intent of the Scottdale Overlay District includes maintaining community character, promoting appropriate frontage conditions, and ensuring that development contributes positively to the pedestrian and neighborhood environment. The property's small size and shallow depth limit the ability to meet every dimensional standard in full. However, the updated plan maintains a single-family residential use, proposes sidewalk improvements, includes stormwater management, and identifies proposed tree planting.

FINAL STAFF ANALYSIS:

The applicant requests variances from Section 27-3.36.10 of the DeKalb County Zoning Ordinance to facilitate construction of a single-family home at 439 Booker Avenue. The subject property is a small, shallow legal lot of record containing approximately 3,484.8 square feet. Its size and configuration create a constrained development area that makes strict compliance with the required front setback, rear setback, landscape strip width, and minimum parking space size impractical.

Staff finds that the lot's exceptional size and shallow depth create an undue hardship, that the requested variances are necessary to allow reasonable residential use of the property, and that the request can be accommodated without substantial detriment to the public welfare if properly conditioned. Staff further finds that the request is generally consistent with the Traditional Neighborhood character area and the residential intent of the R-75 zoning district and Scottdale Overlay District.

Staff Recommendation: Approval with Conditions

Recommended Conditions if Approved:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and conditions of approval.
2. The applicant shall provide the maximum feasible landscape strip, street tree planting, and/or frontage landscaping as determined by the Planning Department, Urban Forester, or other applicable reviewing agency during land development and building permit review.



DeKalb County
GEORGIA

3

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application

DATE: 01/09/2025

Applicant/Agent: [Signature]
Signature

TO WHOM IT MAY CONCERN:

(I)/ (WE) David Shanks, Lion Hardwood Floors LLC
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to:

Kara Copeland & Elliott Hennington

(Name of Applicant or Representative)

LIZATTE T. MARTIN
NOTARY PUBLIC
DeKalb County
State of Georgia
My Comm. Expires May 26, 2026

To file an application on (our) behalf
[Signature]
Notary Public

[Signature]
Owner

Notary Public

Owner

Notary Public

Owner



**ZONING BOARD OF APPEALS APPLICATION
AUTHORIZATION OF THE PROPERTY OWNER**

I hereby authorize the staff and members of the Zoning Board of Appeals
To inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 01/09/2025

Applicant: 
Signature

DATE: _____

Applicant: _____
Signature

Dear Members of the Zoning Board,

Please consider our Letter of Intent in support of the requested variances from the applicable provisions of the DeKalb County Zoning Ordinance for the building standards section 27-3.36.10. The property is located at 439 Booker Avenue, Scottdale, Georgia 30079, which is a confirmed legal lot of record. The purpose of this request is to obtain relief from strict application of the ordinance due to unique site conditions that create an undue and unnecessary hardship. We have outlined specific requests below with explanations.

- Reduce front setbacks from 30 feet to 15 feet
- Reduce rear setbacks from 30 feet to 20 feet
- Reduce required street trees to none
- Reduce Landscape strip width from 5 feet to 1.5 feet
- Increase minimum lot coverage from 35% to 69%
- Reduce minimum parking space size to 232 square feet
- Reduce minimum floor area from 1000 square feet to 616 square feet

1. The Exceptional physical site Conditions - irregular lot size and shape

The property is affected by exceptional physical conditions due to its unique shape being 64 feet to 71 feet deep and 50 feet wide. There are no current issues with slope or flooding, nor are there any trees located on the site. These conditions are inherent to the property and were not created by the owner or applicant. As a result, strict application of the zoning requirements would make it increasingly more difficult to build and enjoy ownership rights and privileges commonly enjoyed by other property owners within the same neighborhood.

2. Minimum Variance Necessary

The variance requested represents the minimum relief necessary to allow reasonable use of the property. It does not exceed what is required to address the hardship created by the site's physical constraints and does not constitute a special privilege inconsistent with the limitations placed on other properties within the same zoning district.

3. No Detriment to Public Welfare or Surrounding Properties

Granting the requested variance will not be materially detrimental to the public welfare, nor will it adversely affect neighboring lots, properties, or improvements within the zoning district. In fact it will add high-value and affordable options to the area. The proposed use and development will remain compatible with the surrounding area and will comply with all other applicable regulations and standards.

4. Undue and Unnecessary Hardship

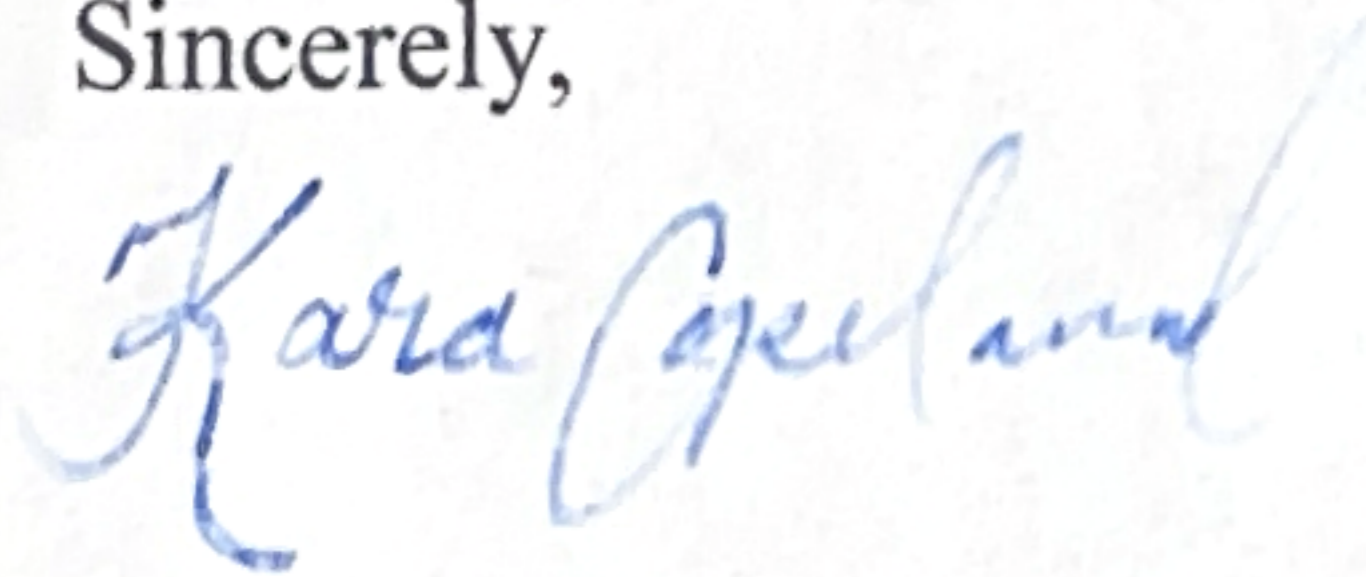
A literal interpretation and strict application of the zoning ordinance would impose an undue and unnecessary hardship on the property owner, preventing reasonable and practical use of the property. The hardship arises from the unique characteristics of the land rather than any actions taken by the owner. This constitutes an undue and unnecessary issue that includes the lot sizes, shapes, and separation that predate the current zoning ordinance.

5. Alignment with The Spirit of law - The proposed variance would be consistent with the Dekalb County Zoning Ordinance and Comprehensive Plan text.

The Overlay area of Scottdale is designated as Traditional Neighborhood land use in the 2050 Dekalb County Comprehensive Master Plan. We are proposing a new construction single family residential property which will have no adverse effects on the Master plan. It will create more housing diversity and affordability options to the neighborhood. Approval of this variance will support appropriate land use while maintaining the character and integrity of the community.

For these reasons, we respectfully request approval of the variance as submitted. Thank you for your time, consideration, and service to DeKalb County. We are committed to working collaboratively to ensure our proposed changes align with the goals and future intent of Dekalb County. Please do not hesitate to contact us should you require additional information.

Sincerely,



Kara Copeland

FLOODPLAIN NOTES:

1. THIS SITE IS NOT LOCATED WITHIN A FEMA-DESIGNATED FLOOD HAZARD AREA AS DEFINED BY THE FLOOD INSURANCE RATE MAP (FIRM) FOR DEKALB COUNTY, GEORGIA, PANEL NUMBER 13089CO067K, DATED EFF. 8/15/2019.
2. IF APPLICABLE, ALL DEVELOPMENT WITHIN THE FLOODPLAIN SHALL COMPLY WITH FEMA REGULATIONS AND DEKALB COUNTY FLOODPLAIN MANAGEMENT REQUIREMENTS.

STORMWATER & DRAINAGE NOTES:

1. SITE DRAINAGE SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTIES.
2. ALL STORMWATER RUNOFF SHALL BE MANAGED IN ACCORDANCE WITH DEKALB COUNTY AND CITY OF SCOTSDALE REQUIREMENTS.
3. EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED UNLESS OTHERWISE APPROVED.

TREE & ENVIRONMENTAL NOTES:

1. TREE PROTECTION AND REMOVAL SHALL COMPLY WITH CITY OF SCOTSDALE AND DEKALB COUNTY ORDINANCES.
2. NO TREE REMOVAL SHALL OCCUR OUTSIDE APPROVED AREAS WITHOUT PRIOR AUTHORIZATION.

FIRE & ACCESS NOTES:

1. FIRE ACCESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
2. FIRE LANES, HYDRANTS, AND EMERGENCY ACCESS SHALL COMPLY WITH CITY OF SCOTSDALE FIRE DEPARTMENT REQUIREMENTS.

ZONING NOTES:

ZONING: R-75
 CLASS: R3
 LAND USE: TN
 OVERLAY DISTRICT: SCOTSDALE OVERLAY DISTRICT TIER: 2
 SETBACKS: FRONT - 30 FEET
 SIDE - 7.5 FEET
 REAR - 30 FEET
 MINIMUM OFFSTREET PARKING - 2 SPACES
 MINIMUM LOT SIZE - 5000 S.F.
 MINIMUM LOT WIDTH - 50 FEET
 MINIMUM HOUSE SIZE - 1000 S.F.
 MAXIMUM BUILDING HEIGHT - 32 FEET
 MAXIMUM LOT COVERAGE - 35%
 LANDSCAPE STRIP - 5 FEET MIN.
 SIDEWALK - MINIMUM 4 FEET FROM CURB
 FRONT YARD TREES - 3.5' TREE EVERY 30 FEET MIN.

$R_v = 0.05 + 0.009(30.5) = 0.3245$
 $WQ_v = ((1.2)(0.3245)(3484)) + 12 = 113.06$
 TOTAL STORAGE REQUIRED = 113 CF
 INFILTRATION TRENCH TO BE UTILIZED
 EFFECTIVE VOID STORAGE: $312(0.4) = 124.8$ CF
 TRENCH DIMENSIONS: 4' d x 6' w x 13' L
 GRAVEL VOLUME: 312 CF
 TOTAL STORAGE PROPOSED: 124.8 CF

ALL RUNOFF FROM ROOF DRAINS SHALL BE DIRECTED TO THE WATER QUALITY BMP

OVERFLOW FROM THE WATER QUALITY BMP SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES

NO GRADED SLOPES SHALL EXCEED 3H:1V ON ALL DISTURBED AREAS.

Ds1 Ds2 Ds3 Ds4

DISTURBED AREA = 3354 SQFT
 0.077 ACRES

CUT/FILL VOLUMES:

FILL VOLUME = 28 CU YARDS
 CUT VOLUME = 28 CU YARDS
 NET EARTHWORK = BALANCED
-FINAL EARTHWORK QUANTITIES SHALL BE VERIFIED BY CONTRACTOR BASED ON FIELD CONDITIONS, FINAL GRADES AND APPROVED CONSTRUCTION DOCUMENTS.

001 CIVIL SITE PLAN (VARIANCES)
 SCALE: 1:100

FLOOR AREA:

FIRST LEVEL = 616 SQFT
 SECOND LEVEL = 879 SQFT
 THIRD LEVEL = 879 SQFT
 TOTAL = 2374 SQFT

LOT AREA:
 3484.8 SQFT
 0.08 AC.

NO EXISTING TREES ON SITE

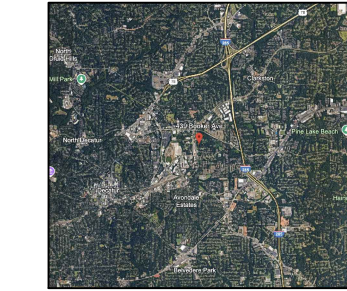
24-HOUR CONTACT:

KARA COPELAND
 (404) 323 6166
 KOPELANDANDCO@GMAIL.COM

OWNER:

LION HARDWOOD FLOORS LLC
 (646) 371 5964
 INFO@DEVLINDEVELOPMENT.COM

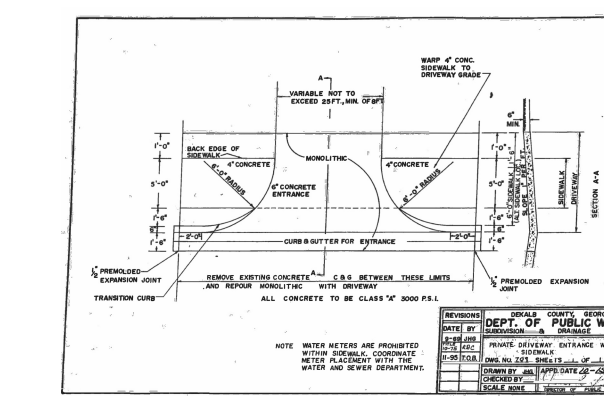
VICINITY MAP



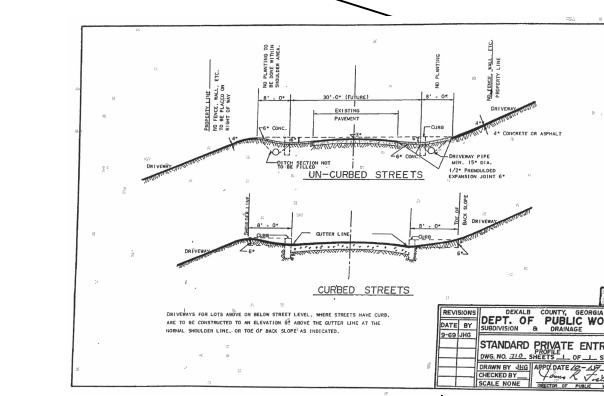
IMPERVIOUS COVERAGE CALCULATIONS			
DESCRIPTION	AREA (sqft)	AREA (acres)	COVERAGE
TOTAL LOT AREA	3484	0.080	-
FRONT LOT AREA	821	0.019	-
A. DRIVEWAY	75	0.002	-
B. SIDEWALK*	500	0.007	-
C. APRON*	75	0.002	-
D. FOOTPRINT OF STRUCTURE	987	0.023	30.48%
TOTAL LOT COVERAGE	1062	-	9.14%
FRONT LOT COVERAGE	75	-	-

*SIDEWALK, APRON, CURB & GUTTER LIE OUTSIDE OF THE RESIDENTIAL PROPERTY LINE AT 439 BOOKER AVE & HAVE NOT BEEN INCLUDED IN FRONT YARD IMPERVIOUS CALCULATIONS.

PRIVATE DRIVEWAY ENTRANCE WITH SIDEWALK



STANDARD PRIVATE ENTRANCE



81

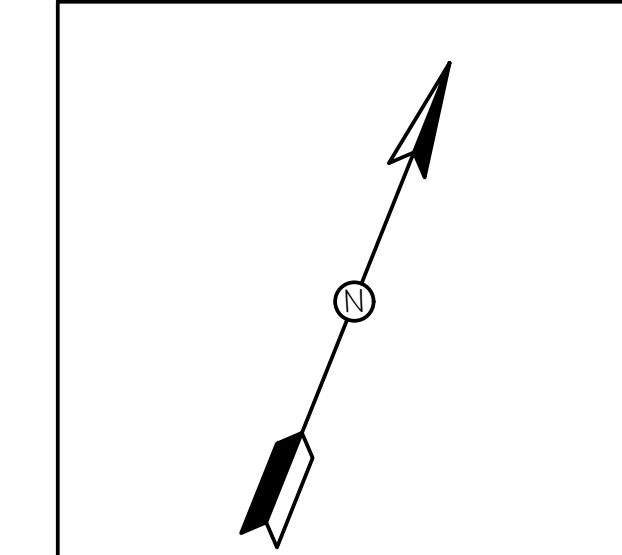
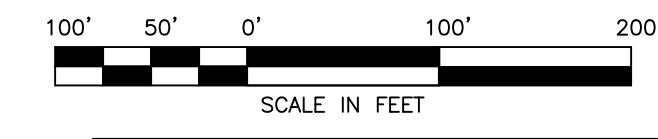
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83

84

VARIANCE REQUESTS:

1. REDUCE FRONT SETBACK FROM 30 FEET TO 15 FEET.
2. REDUCE REAR SETBACK FROM 30 FEET TO 20 FEET.
3. REDUCE MINIMUM FLOOR AREA FROM 1000 SF TO 879 SF.



UTILITY NOTE:
 LOCATIONS, SIZES, DEPTHS, AND ELEVATIONS OF ALL EXISTING AND PROPOSED UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. UTILITIES SHOWN ARE CONCEPTUAL AND ARE INTENDED FOR GENERAL ROUTING AND COORDINATION PURPOSES ONLY. ACTUAL ALIGNMENTS, CONNECTION POINTS, AND INVERT ELEVATIONS SHALL BE COORDINATED WITH FIELD CONDITIONS AND APPLICABLE UTILITY PROVIDERS. THE CONTRACTOR SHALL CONTACT GEORGIA 811 AND OBTAIN ALL REQUIRED UTILITY LOCATES PRIOR TO ANY EARTHWORK OR CONSTRUCTION ACTIVITIES.

- Co - CONSTRUCTION EXIT
- 61-3 - TYPE 'S' SILT-FENCE

GENERAL SHEET NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPROVED SITE PLAN, APPLICABLE ORDINANCES OF THE CITY OF SCOTSDALE, AND THE REQUIREMENTS OF DEKALB COUNTY, GEORGIA.
2. ALL WORK SHALL COMPLY WITH THE CURRENT ADOPTED EDITIONS OF THE INTERNATIONAL BUILDING CODE, INTERNATIONAL ZONING CODE, INTERNATIONAL FIRE CODE, AND ALL OTHER APPLICABLE STATE AND LOCAL CODES, AS AMENDED.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN PROFESSIONAL BEFORE PROCEEDING WITH WORK.
4. PROPERTY LINES, EASEMENTS, RIGHTS OF WAY, AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORDS AND SURVEYS. FIELD VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. NO WORK SHALL COMMENCE UNTIL ALL REQUIRED PERMITS HAVE BEEN OBTAINED FROM THE CITY OF SCOTSDALE AND DEKALB COUNTY.
6. ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL CONTACT GEORGIA 811 PRIOR TO ANY EXCAVATION.
7. ANY DAMAGE TO EXISTING UTILITIES, SIDEWALKS, CURBS, PAVEMENT, OR ADJACENT PROPERTIES RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
8. ALL DISTURBED AREAS SHALL BE STABILIZED AND RESTORED UPON COMPLETION OF CONSTRUCTION.
9. CONSTRUCTION ACCESS, MATERIAL STAGING, DUMPSTER PLACEMENT, AND LAYDOWN AREAS SHALL BE COORDINATED TO MINIMIZE IMPACTS TO ADJACENT PROPERTIES AND PUBLIC RIGHTS OF WAY.
10. ALL REQUIRED INSPECTIONS SHALL BE SCHEDULED AND APPROVED BY THE CITY OF SCOTSDALE AND DEKALB COUNTY PRIOR TO CONCEALMENT OF WORK.



CLIENT
 KARA COPELAND
 439 BOOKER AVE
 SCOTSDALE, GA 30079
 UNITED STATES

DATE
 2026.05.21

REVISION	DESCRIPTION	DATE

PROJECT NAME
 NEW CONSTRUCTION AT 439 BOOKER AVE

SEAL

DRAWING DESCRIPTION
 CIVIL SITE PLAN (VARIANCES)

DESIGNED BY: NF SHEET
 DRAFTED BY: ZH
 CHECKED BY: SM C-101

100% DESIGN - ISSUED FOR PERMIT

THERE ARE NO TREES ON THE SUBJECT PARCEL

AFTER DEVELOPMENT OF SAID PARCEL ONE 2" CALIPER GEORGIA OAK WILL BE PLANTED

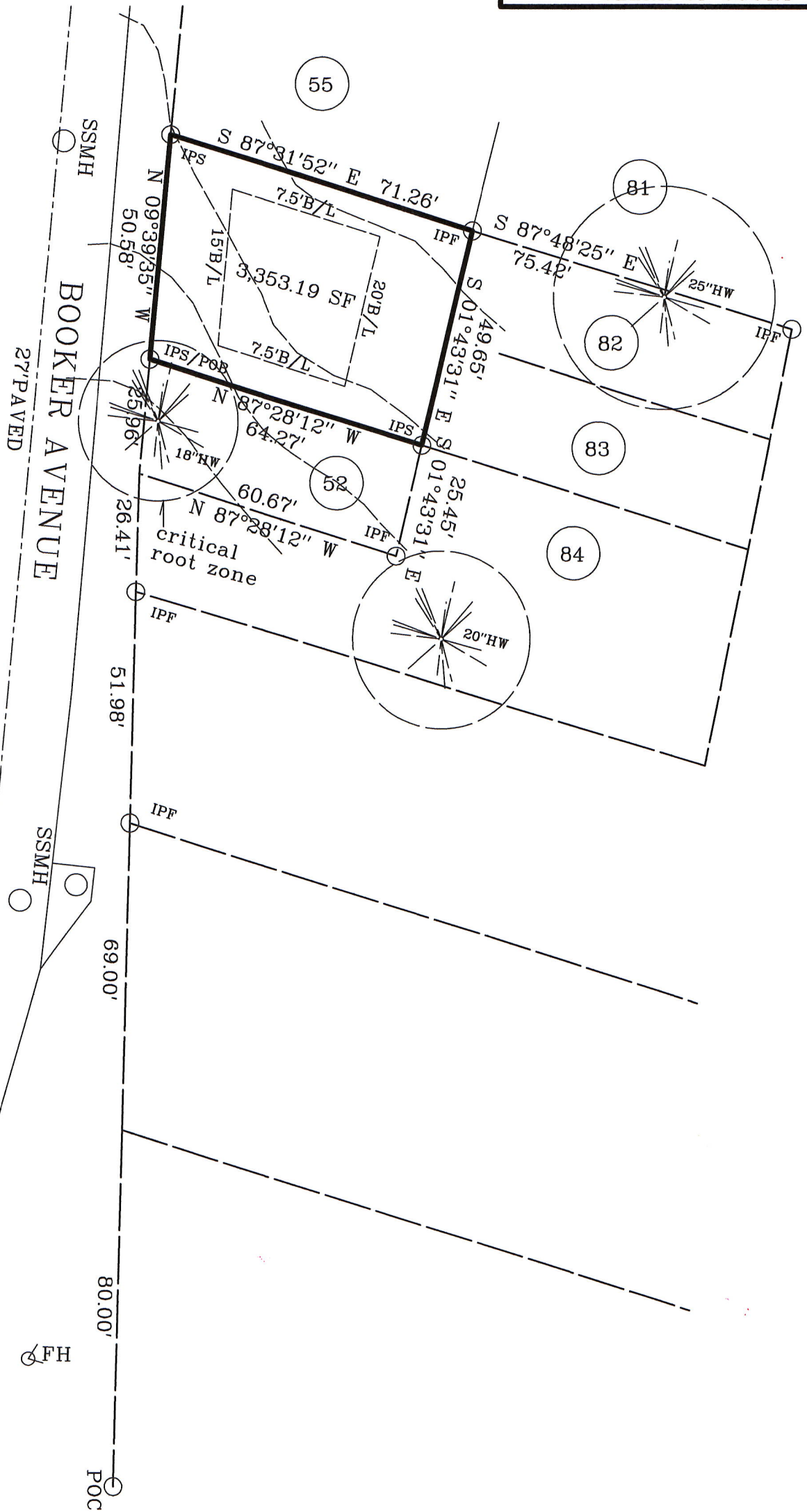
ALL TREES SHOWN ON ADJACENT PROPERTIES ARE EXISTING



CLERK OF COURT

LOTS 53&54 OF MEADOW BROOK
439 BOOKER AVENUE
TAX ID-18-047-22-007
ZONED R75
SCOTSDALE OVERLAY
TIER II

LEGEND
POC-POINT OF COMMENCEMENT
IPF-IRON PIN FOUND
IPS-IRON PIN SET
SSMH-SANITARY SEWER MANHOLE



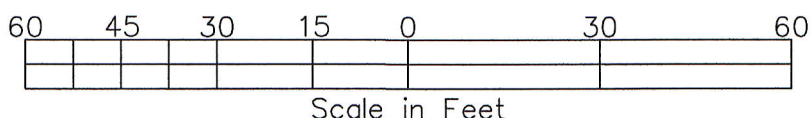
PROCTOR AVE

SURVEY FOR:

MEKURIA RELAESTAE, LLP
LAND LOT 46&47
18th DISTRICT

DEKALB COUNTY, GEORGIA

SCALE: 1" = 30'
DATE: 03-10-2021
UPDATED 04-06-2026



GENERAL NOTES

- 1.0 GENERAL**
- 1.1 MATERIALS AND CONSTRUCTION SHALL CONFORM TO DESIGN DRAWINGS, STANDARD DRAWINGS (INCLUDING GENERAL NOTES) AND PROJECT SPECIFICATIONS. IN CASE OF A CONFLICT BETWEEN THESE DOCUMENTS, THE ORDER OF AUTHORITY SHALL BE:
 FIRST - DESIGN DOCUMENTS
 SECOND - STANDARD DRAWINGS
 THIRD - PROJECT SPECIFICATIONS
- 1.2 CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318) UNLESS NOTES OTHERWISE. SITE PREPARATION AND EARTHWORK SHOULD BE IN ACCORDANCE TO LOCAL AUTHORITIES, AS WELL AS RECOMMENDED MEANS AND METHODS OF CONTRACTOR.
- 1.3
- 2.0 ELEVATIONS & DIMENSIONS**
- 2.1 ALL DIMENSIONS, DIAMETERS, AND SPACINGS ON DESIGN AND STANDARD DRAWINGS ARE IN U.S. CUSTOMARY UNITS.
- 2.2 ALL ELEVATIONS DEPICT THE EXISTING FORM OF THE STRUCTURE AND SHALL BE CONFIRMED IN THE FIELD.
- 3.0 MATERIALS**
- 3.1 CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI, UNLESS NOTED OTHERWISE.
- 3.2 REBAR SHALL CONFORM TO ASTM A615. REINFORCING STEEL SHALL NOT BE HEATED, STRAIGHTENED, OR RE-BENT WITHOUT THE APPROVAL OF THE DESIGN ENGINEER.
- 3.3 COLD BENDING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318.
- 3.4 ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A1064, $F_y = 70 \text{ksi}$
- 4.0 CONCRETE COVER**
- 4.1 THE SPECIFIED CONCRETE COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS.
- A. CONCRETE EXPOSED TO EARTH 3" MIN.
 B. CONCRETE EXPOSED TO WEATHER 2" MIN.
- 5.0 CONCRETE SURFACE FINISHES**
- 5.1 UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS, CONCRETE SURFACES SHALL BE FINISHED AS FOLLOWS:
- A. FORMED SURFACES NOT VIEW DO NOT REQUIRE A FINISHED SURFACE BUT SHALL BE FREE OF VOIDS, HONEYCOMBING, ETC.
 B. FORMED SURFACES EXPOSED TO VIEW SHALL HAVE A SMOOTH, HARD, UNIFORM TEXTURE. FORM MATERIALS WITH RAISED GRAIN, TORN SURFACES, WORN EDGES, PATCHES, DENTS OR OTHER DEFECTS SHALL NOT BE USED.
- 6.0 JOINTS**
- 6.1 JOINT MATERIALS
 -JOINT SEALANT SHALL BE A TWO-COMPONENT POLYSULFIDE JOINT SEALANT. SEALANT MATERIAL SHALL BE FLEXIBLE TO ACCOMMODATE CONCRETE EXPANSION AND CONTRACTION. SEALANT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 -UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS, WATERSTOPS SHALL BE ADEKA MC-2005T HYDROPHILIC WATERSTOPS BY ADEKA ULTRA SEAL, OR APPROVED EQUAL.
- 6.2 ISOLATION JOINTS SHALL BE LOCATED AS SHOWN ON THE DESIGN DRAWINGS.
- 7.0 MISCELLANEOUS**
- 7.1 ALL EMBEDDED ITEMS SHALL BE PROPERLY POSITIONED AND SECURELY HELD IN PLACE PRIOR TO PLACING CONCRETE.
- 7.2 FORGING EMBEDDED ITEMS INTO WET CONCRETE IS STRICTLY PROHIBITED.
- 8.0 CODE INFORMATION**
- 8.1 SEE G-001 FOR APPLICABLE CODES.

LEGEND

BL	DENOTES BUILDING LINE
PL	DENOTES PROPERTY LINE
R/W	DENOTES RIGHT-OF-WAY
CL	DENOTES CENTERLINE
BC	DENOTES BACK OF CURB
G	DENOTES GUTTER
EP	DENOTES EDGE OF PAVING
TW	DENOTES TOP OF WALL
BW	DENOTES BOTTOM OF WALL
X — X	DENOTES FENCE
RCP	DENOTES REINFORCED CONCRETE PIPE
CMP	DENOTES CORRUGATED METAL PIPE
PP	DENOTES POWER POLE
LP	DENOTES LIGHT POLE
GW	DENOTES GUY WIRE
P — P	DENOTES POWER LINE
PM	DENOTES POWER METER
PB	DENOTES POWER BOX
FO	DENOTES FIBER OPTIC
A/C	DENOTES AIR CONDITION
TB	DENOTES TELEPHONE BOX
GM	DENOTES GAS METER
GV	DENOTES GAS VALVE
GLM	DENOTES GAS LINE MARKER
WM	DENOTES WATER METER
WV	DENOTES WATER VALVE
FH	DENOTES FIRE HYDRANT
MW	DENOTES MONITORING WELL
HW	DENOTES HEADWALL
JB	DENOTES JUNCTION BOX
DI	DENOTES DROP INLET
S — S	DENOTES SANITARY SEWER LINE
SSMH	DENOTES SANITARY SEWER MANHOLE
CO	DENOTES CLEAN OUT
P.O.B.	DENOTES POINT OF BEGINNING
P.O.C.	DENOTES POINT OF COMMENCEMENT
	DENOTES SECTION CALLOUT

ABBREVIATIONS:

AC	ACRE	REQD	REQUIRED
ALT	ALTERNATE	SECT	SECTION
ABT	ABOUT	SF	SQUARE FEET
ADDL	ADDITIONAL	SPEC	SPECIFICATION
APPROX	APPROXIMATELY	SQ	SQUARE
BLDG	BUILDING	STD	STANDARD
BM	BEAM	STL	STEEL
BRG	BEARING	TOC	TOP OF CONCRETE
CMU	CONCRETE MASONRY UNIT	VERT	VERTICAL
CONC	CONCRETE	WWR	WELDED WIRE REINFORCEMENT
DIM	DIMENSION		
DWG	DRAWING		
EL	ELEVATION		
ELEV	ELEVATION		
ENG	ENGINEERED		
EXIST	EXISTING		
FDN	FOUNDATION		
FF	FINISHED FLOOR		
FLR	FLOOR		
FTG	FOOTING		
GALV	GALVANIZED		
HORZ	HORIZONTAL		
HR	HAND RAIL		
LOC	LOCATION		
MAX	MAXIMUM		
MECH	MECHANICAL		
MIN	MINIMUM		
NTS	NOT TO SCALE		
NO	NUMBER		
OC	ON CENTER		
OD	OUTSIDE DIAMETER		
OPNG	OPENING		
POS	POINT OF SUPPORT		
PT	PRESSURE TREATED		
QTY	QUANTITY		
R	RADIUS		
REF	REFERENCE		



CLIENT
 KARA COPELAND
 439 BOOKER AVE
 SCOTSDALE, GA 30079
 UNITED STATES

DATE
 2026.01.09

REVISION	DESCRIPTION	DATE

PROJECT NAME
 NEW CONSTRUCTION
 AT
 439 BOOKER AVE

SEAL

DRAWING DESCRIPTION
 GENERAL NOTES, LEGENDS & ABBREVIATIONS



FLOODPLAIN NOTES:

1. THIS SITE IS NOT LOCATED WITHIN A FEMA-DESIGNATED FLOOD HAZARD AREA AS DEFINED BY THE FLOOD INSURANCE RATE MAP (FIRM) FOR DEKALB COUNTY, GEORGIA, PANEL NUMBER 13089CO067K, DATED EFF. 8/15/2019.
2. IF APPLICABLE, ALL DEVELOPMENT WITHIN THE FLOODPLAIN SHALL COMPLY WITH FEMA REGULATIONS AND DEKALB COUNTY FLOODPLAIN MANAGEMENT REQUIREMENTS.

STORMWATER & DRAINAGE NOTES:

1. SITE DRAINAGE SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTIES.
2. ALL STORMWATER RUNOFF SHALL BE MANAGED IN ACCORDANCE WITH DEKALB COUNTY AND CITY OF SCOTSDALE REQUIREMENTS.
3. EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED UNLESS OTHERWISE APPROVED.

TREE & ENVIRONMENTAL NOTES:

1. TREE PROTECTION AND REMOVAL SHALL COMPLY WITH CITY OF SCOTSDALE AND DEKALB COUNTY ORDINANCES.
2. NO TREE REMOVAL SHALL OCCUR OUTSIDE APPROVED AREAS WITHOUT PRIOR AUTHORIZATION.

FIRE & ACCESS NOTES:

1. FIRE ACCESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
2. FIRE LANES, HYDRANTS, AND EMERGENCY ACCESS SHALL COMPLY WITH CITY OF SCOTSDALE FIRE DEPARTMENT REQUIREMENTS.

ZONING NOTES:

ZONING: R-75
 CLASS: R3
 LAND USE: TN
 OVERLAY DISTRICT: SCOTSDALE OVERLAY DISTRICT TIER: 2
 SETBACKS: FRONT - 30 FEET
 SIDE - 7.5 FEET
 REAR - 30 FEET
 MINIMUM OFFSTREET PARKING - 2 SPACES
 MINIMUM LOT SIZE - 5000 S.F.
 MINIMUM LOT WIDTH - 50 FEET
 MINIMUM HOUSE SIZE - 1000 S.F.
 MAXIMUM BUILDING HEIGHT - 32 FEET
 MAXIMUM LOT COVERAGE - 35%
 LANDSCAPE STRIP - 5 FEET MIN.
 SIDEWALK - MINIMUM 4 FEET FROM CURB
 FRONT YARD TREES - 3.5' TREE EVERY 30 FEET MIN.

$R_v = 0.05 + 0.009(55.6) = 0.5504$
 $WQ_v = ((1.2)(0.5504)(3859)) + 12 = 212$
 TOTAL STORAGE REQUIRED = 212 CF
 INFILTRATION TRENCH TO BE UTILIZED
 GRAVEL VOIDS: 212/0.4 = 530 CF
 TRENCH DIMENSIONS: 8' d x 6' w x 13' L
 GRAVEL VOLUME: 624 CF
 TOTAL STORAGE PROPOSED: 212.6 CF

ALL RUNOFF FROM ROOF DRAINS SHALL BE DIRECTED TO THE WATER QUALITY BMP
 OVER FLOW FROM THE WATER QUALITY BMP SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES

NO GRADED SLOPES SHALL EXCEED 3H:1V ON ALL DISTURBED AREAS.

DS1 DS2 DS3 DS4

DISTURBED AREA = 3859 SQFT
 0.089 ACRES

CUT/FILL VOLUMES:

FILL VOLUME = 28 CU YARDS
 CUT VOLUME = 28 CU YARDS
 -SITE TO BE BALANCED
 -QUANTITIES ARE APPROXIMATE

001 CIVIL SITE PLAN (VARIANCES)
 SCALE: 1:100

FLOOR AREA:

FIRST LEVEL = 616 SQFT
 SECOND LEVEL = 879 SQFT
 THIRD LEVEL = 879 SQFT
 TOTAL = 2374 SQFT

LOT AREA:
 3484.8 SQFT
 0.08 AC.

NO EXISTING TREES ON SITE

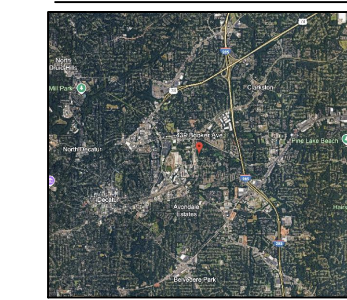
24-HOUR CONTACT:

KARA COPELAND
 (404) 323 6166
 KOPELANDANDCO@GMAIL.COM

OWNER:

LION HARDWOOD FLOORS LLC
 (646) 371 5964
 INFO@DEVLINDEVELOPMENT.COM

VICINITY MAP

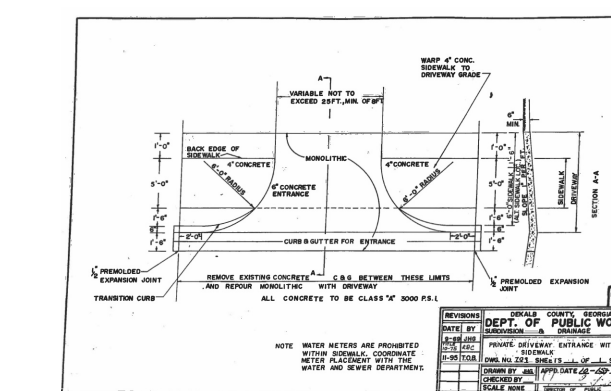


IMPERVIOUS COVERAGE CALCULATIONS

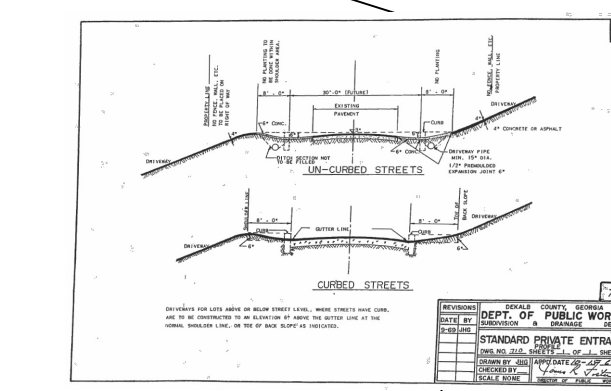
DESCRIPTION	AREA (sqft)	AREA (acres)
TOTAL LOT AREA	4356	0.100
FRONT LOT AREA	821	0.019
A. DRIVEWAY	191	0.004
B. SIDEWALK	300	0.007
C. APRON	75	0.002
D. FOOTPRINT	878	0.020
TOTAL LOT COVERAGE	3319	0.762
FRONT LOT COVERAGE	689	0.158
TOTAL IMPERVIOUS AREA	566	0.013
IMPERVIOUS COVERAGE W/O B. & C.	2320	0.535
IMPERVIOUS COVERAGE W/ B. & C.	689	0.158

*SIDEWALK, APRON, CURB & GUTTER ARE OUTSIDE OF THE RESIDENTIAL PROPERTY LINE AT 439 BOOKER AVE.

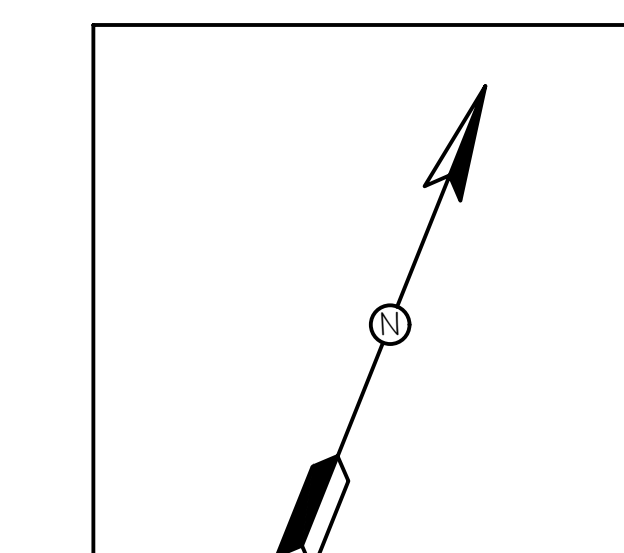
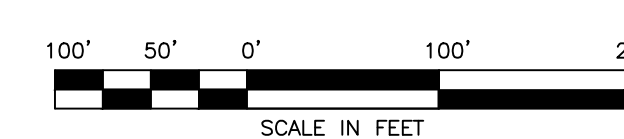
PRIVATE DRIVEWAY ENTRANCE WITH SIDEWALK



STANDARD PRIVATE ENTRANCE



- VARIANCE REQUESTS:**
1. REDUCE FRONT SETBACK FROM 30 FEET TO 15 FEET.
 2. REDUCE REAR SETBACK FROM 30 FEET TO 20 FEET.
 3. INCREASE MINIMUM LOT COVERAGE FROM 35% TO 69%.
 4. REDUCE LANDSCAPE STRIP WIDTH FROM 5 FEET TO 1.5 FEET.
 5. REDUCE MINIMUM FLOOR AREA FROM 1000 SF TO 879 SF.



GENERAL SHEET NOTES:

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4. PROPERTY LINES, EASEMENTS, RIGHTS OF WAY, AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORDS AND SURVEYS. FIELD VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
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CLIENT
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 SCOTSDALE, GA 30079
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DATE
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REVISION	DESCRIPTION	DATE

PROJECT NAME
 NEW CONSTRUCTION AT
 439 BOOKER AVE

SEAL

DRAWING DESCRIPTION
 CIVIL SITE PLAN (VARIANCES)

DESIGNED BY: NF SHEET
 DRAFTED BY: ZN
 CHECKED BY: GM C-101

90% DESIGN - ISSUED FOR REVIEW

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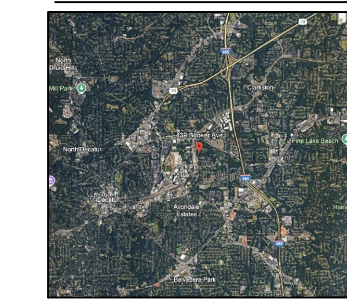
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VICINITY MAP

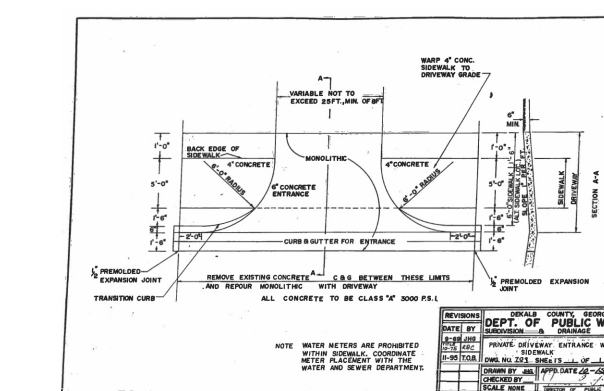


IMPERVIOUS COVERAGE CALCULATIONS

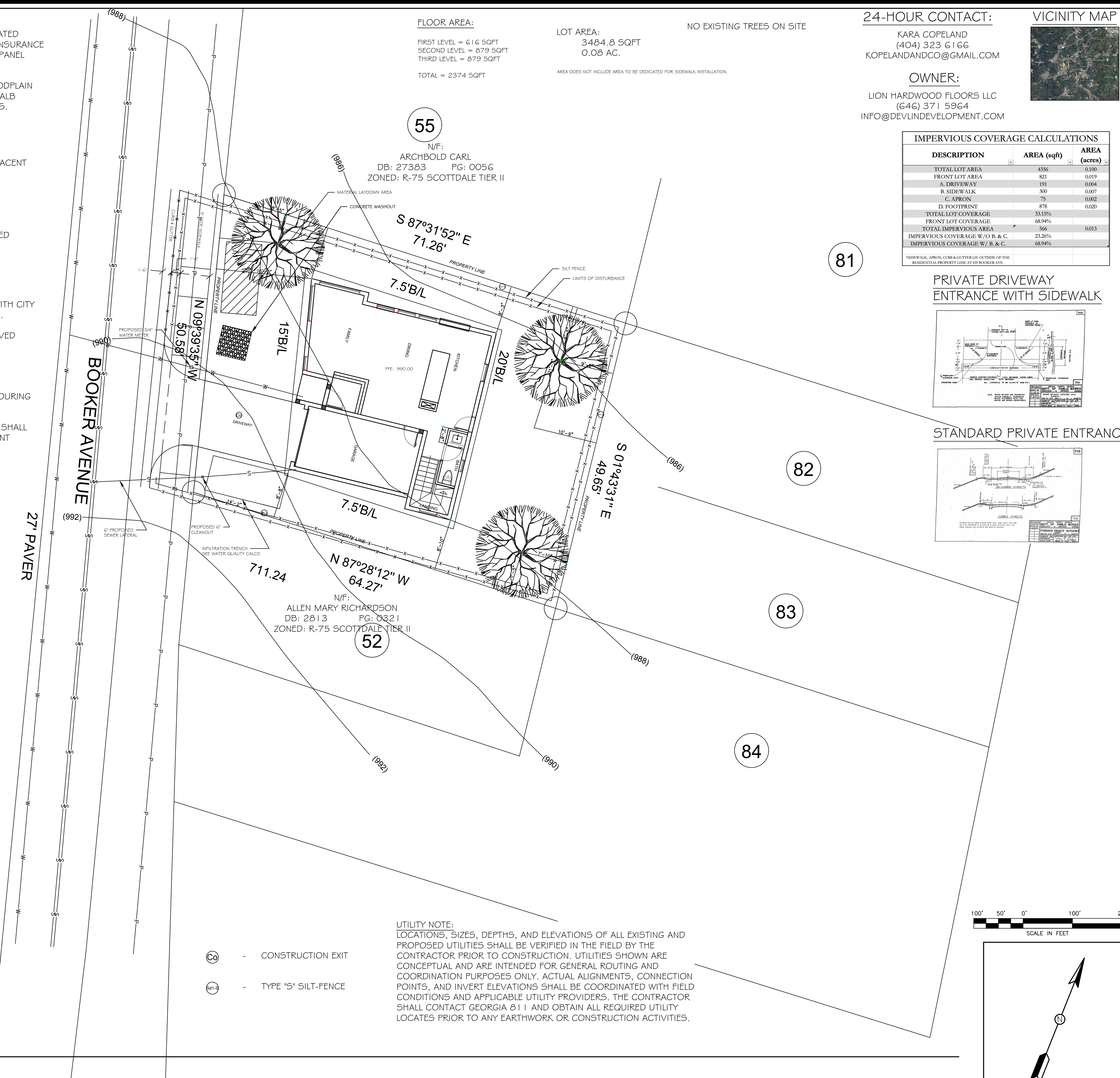
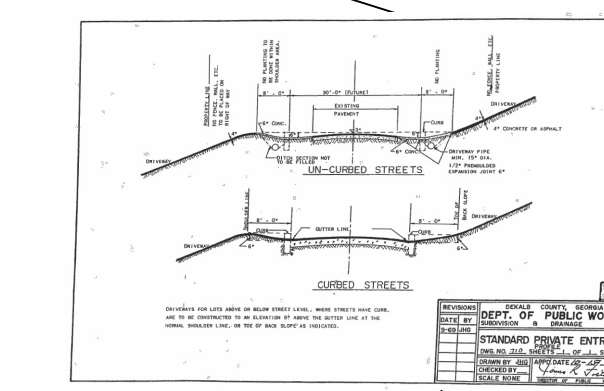
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PRIVATE DRIVEWAY ENTRANCE WITH SIDEWALK

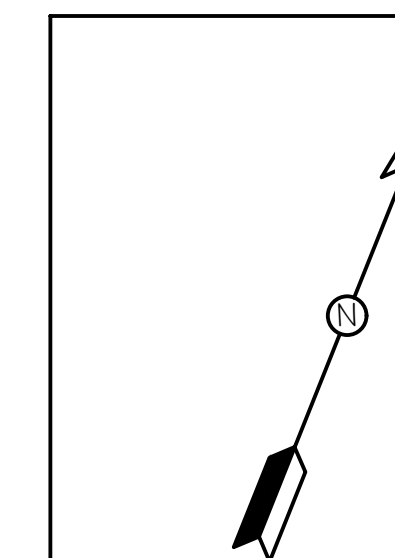
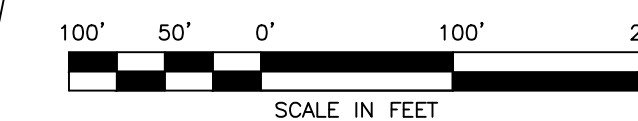


STANDARD PRIVATE ENTRANCE



UTILITY NOTE:
 LOCATIONS, SIZES, DEPTHS, AND ELEVATIONS OF ALL EXISTING AND PROPOSED UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. UTILITIES SHOWN ARE CONCEPTUAL AND ARE INTENDED FOR GENERAL ROUTING AND COORDINATION PURPOSES ONLY. ACTUAL ALIGNMENTS, CONNECTION POINTS, AND INVERT ELEVATIONS SHALL BE COORDINATED WITH FIELD CONDITIONS AND APPLICABLE UTILITY PROVIDERS. THE CONTRACTOR SHALL CONTACT GEORGIA 811 AND OBTAIN ALL REQUIRED UTILITY LOCATES PRIOR TO ANY EARTHWORK OR CONSTRUCTION ACTIVITIES.

- CO - CONSTRUCTION EXIT
- 5'-0" - TYPE '5' SILT-FENCE



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