

# DeKalb County Historic Preservation Commission

Monday, April 20, 2026- 6:00 P.M.

## Staff Report

### Consent Agenda

B. 914 Clifton Road, Eric Rothman. Construct an addition and covered porch on the rear of a historic house and install a pool and hardscape in the backyard. **1248061.**

Built in 1924 (18 003 02 017)

This property is in the Druid Hills Character Area #2 and the Druid Hills National Register Historic District.

- 04-19 941 Clifton Road (DH), Michael Detro. Application of limewash to exterior of home. 1243209. **Denied.**  
07-22 941 Clifton Road, John & Kayla Williams. Limewash the brick on a previously unpainted house. **Denied**  
08-24 941 Clifton Road, Heather Shuster. Construct a covered porch and addition on the rear of a historic house. 1247158. **Approved.**  
08-24 941 Clifton Road, Richard Shore. Install pool in backyard and install hardscaping in front yard. 1247165. **Approved with Modification.**

### Summary

The applicant proposes the following work on the rear of a historic property:

1. Construct an addition on the rear of the historic house. A two-story bump-out addition will be constructed on the rear of the historic house, expanding the existing living room towards the rear property line. The addition will expand the rear-façade wall on the Northern portion of the house approximately 3' into the backyard; the addition will only extend towards the rear property line and will not expand into side yard towards the Northern property line. The addition will be constructed with cementitious board and batten siding, painted composite windows, stone veneer foundation and supporting columns, and a hipped, architectural shingle roof to replace the existing cross-gable roof that extends out from the roof-ridge of the main block of the house. A lower portion of roofing facing towards the Northern property line will be installed on the lower story of the addition as well; two solar tubes will be installed on these roofing, facing towards the side yard.
2. Construct a covered porch on the rear of the historic house. A flat roof one-story porch addition will be added to the rear between the two-story addition and the existing rear facing porch gable. The porch will be constructed with a 36" metal guardrail between square stone columns, supporting a flat membrane roof. The existing set of French doors on the rear of the house will be replaced with a set of three sliding doors leading to the new porch. A set of stairs will 36' cable guard railing will be installed to the side of the porch, leading to the back porch area.
3. Construct a large shed-dormer on the rear of the historic house. A large, three-bay shed dormer will be installed on the rear of the historic house, over the existing one-story rear addition, towards the Southern property line. The dormer will be constructed with cementitious board and batten siding, painted composite windows, and slated, shed, architectural shingle roof. Three skylights with flashing will be installed in the roof of the dormer, towards the center portion of the house. The dormer will be set back from the façade of the Southern elevation by approximately 2.5' and the roof of the dormer will meet the ridge of the existing roof of the main block of the house.

4. Replace and modify the garage doors on the rear of the historic house. The two garage doors and the center dividing support on the rear of the house will be removed and replaced with a single garage door. The stone veneer surrounding the garage opening will be repaired as needed.
5. Install an indoor swimming pool in the backyard of the property. A 23'x19' partially above ground pool and hot top will be installed in the backyard of the property. The existing deck and pavilion structure in the backyard will be demolished, and the pool will be in the same area. A stone patio will be installed between the pool and the covered porch. A 5' aluminum fence will be installed around the perimeter of the backyard and connect to the rear corners of the house to enclose the pool area per health code requirements. An automatic gate will be installed across the existing driveway at the Northern corner of the house, and a pedestrian gate will be installed at the Southern corner.
6. Install landscaping and hardscape in the backyard of the property. A raingarden will be installed in the backyard, beside the proposed pool and towards the Northern property line. This will include a 15'x12' raised planting bed surrounded by stone veneer coping to match the coping around the proposed pool.

All work is proposed for the rear of the property aside from the replacement of the nonhistoric shutters and door on the front façade of the house, which will be replaced in-kind with wood shutters and a double-pane glass door.

### **Recommendation**

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

### **Relevant Guidelines**

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 6.1.2 *Architectural Details* (p52) Guideline - Stylistic details should be maintained and treated with sensitivity. The removal of such details or application of details inappropriate to the period or style of a house is strongly discouraged. Damaged elements should be repaired rather than replaced if at all possible. Historic details that have been lost or are beyond repair may be replaced with new materials, provided that their earlier presence can be substantiated by historical documentation and that the new materials match the original in composition, design, color, and texture.
- 7.0 *Additions & New Construction - Preserving Form & Layout* The Druid Hills Local Historic District continues to change and evolve over time. For this area to meet contemporary needs, additions are built, uses change, and new buildings are constructed. The challenge is not to prevent change but to ensure that, when it does inevitably happen, it is compatible with the historic character of the area.

A new building is compatible with its historic setting when it borrows design characteristics and materials from adjacent buildings and integrates them into a modern expression. Before undertaking new development, be it a new building or changes or additions to existing buildings, take time to evaluate what makes the property and the neighborhood distinctive. Evaluate what type of impact the new development will have on the property and neighborhood. Decide how the development can best be designed to complement the property and area.

The underlying guideline for new construction and additions is to consider one's neighbors and nearby structures and reinforce the existing historic character through sensitive, compatible design.

Note that many of these guidelines refer to new development or new construction but are equally applicable to additions to existing buildings.

- 7.3.1 *Additions* (p74) Guideline - Additions should not be added to the main facade of the building and should not appear to dominate the original structure. It is preferable to build new additions to the rear of a historic building, where it will have little or no impact on the streetscape facade. Design and materials should be compatible with the existing building. Avoid obscuring character-defining features of the historic building with the addition.
- 7.3.1 *Additions* (p74) Guideline - Additional stories should be set well back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.
- 7.3.1 *Additions* (p74) Recommendation - The Secretary of the Interior's Standards recommend that an addition be designed so that at a later date it can be removed without compromising the historic character of the building.
- 7.3.1 *Additions* (p74) Recommendation - While an addition should be compatible, it is acceptable and appropriate for it to be clearly discernible as an addition rather than appearing to be an original part of the building. Consider providing some differentiation in material, color, and/or detailing and setting additions back from the historic building's wall plane.
- 7.3.1 *Additions* (p74) Recommendation - These guidelines do not recommend adding false historical details to a noncontributing building in an effort to make it more compatible with surrounding historic buildings. Every effort should be made, however, to ensure that additions and alterations to the property do not detract further from the character of the historic environment, keeping in mind the design concepts discussed in Section 7.2.
- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use. In the review of the installation of fencing, the front yard shall be defined as the portion of land between the front entrance of the main structure on the property and the Right of Way of which the property is addressed.
- 9.4 *Enclosures and Walls* (p90) Guideline - The plantings of shrubbery to create a hedge is considered fencing and will require review by the preservation commission.
- 9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to "soften" the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.

## DEPARTMENT OF PLANNING & SUSTAINABILITY

Chief of Executive Officer  
Lorraine Cochran-Johnson

Director  
Juliana A. Njoku

### Application for Certificate of Appropriateness

Date Submitted: \_\_\_\_\_

Subject Property Address: \_\_\_\_\_

Property Parcel ID No: \_\_\_\_\_

Date(s) of Construction on all structures on the property: \_\_\_\_\_  
(This information can be found in the DeKalb County property accessory and tax records database.)

Nature of Work (check all that apply):

- |                   |                        |                             |
|-------------------|------------------------|-----------------------------|
| New construction  | New Accessory Building | Other Building Changes      |
| Demolition        | Landscaping            | Other Environmental Changes |
| Addition          | Fence/wall             | Other                       |
| Moving a building | Sign Installation      |                             |

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc.

**\*PLEASE REVIEW THE FILING GUIDELINES BEGINNING ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS OR A DEFERRAL OF APPLICATION.**

Owner      Agent      \_\_\_\_\_  
Applicant/Owner Signature      Date

To Be Completed by Staff:      Date Received: \_\_\_\_\_

**CERTIFICATE OF APPROPRIATENESS APPLICATION FEE:  
CURRENTLY NO FEE**

DeKalb County does not require payment by wire transfer.  
Be aware of scammers and fraudulent emails.

**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

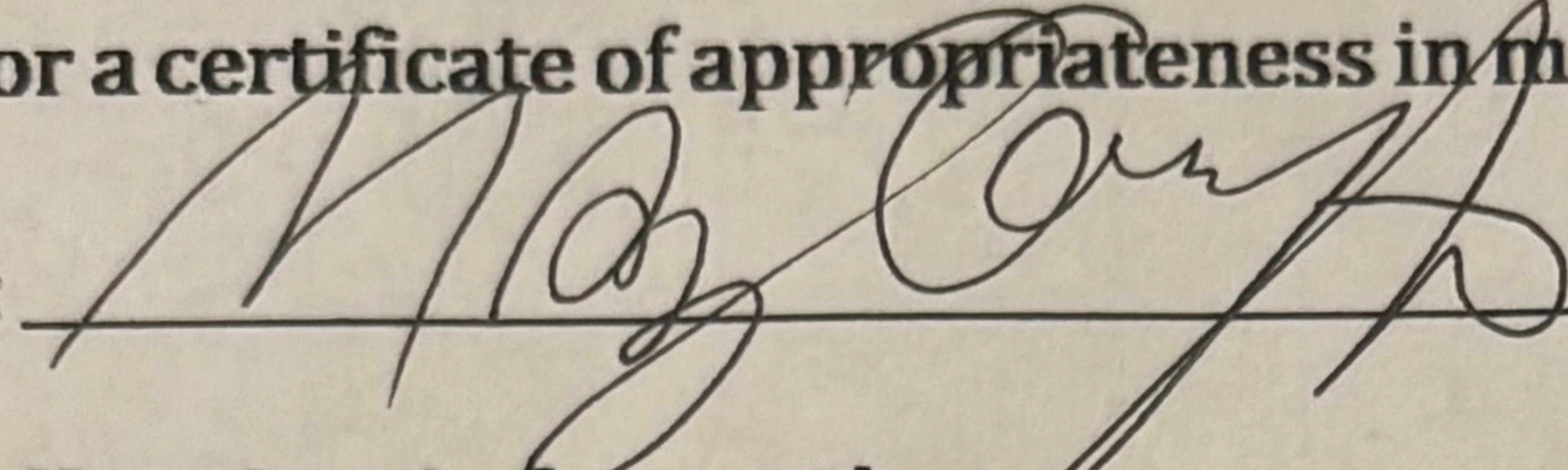
This form is required if the individual making the request **is not** the owner of the property.

I/ We: Mary & Brad Grafton

being owner(s) of the property at: 914 Clifton Road NE

hereby delegate authority to: Eric Rothman

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):  Date: 3/16/26

**Please review the following information**

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. **If work is performed that is not in accordance with the scope of work approved by the issued certificate, a Stop Work Order may be issued for the property and a new Certificate of Appropriateness will need to be obtained.**

If your project requires that the County issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness, a Certificate of Occupancy will not be issued. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void, and you will need to apply for a new certificate if you still intend to do the work.

**Please check the box below to confirm that the applicant has completed the following:**

- ✓ Reviewed the information provided and understand the Certificate of Appropriateness process
- ✓ Reviewed the Historic Preservation Commission Meeting calendar
- ✓ Reviewed the appropriated design manual and guidelines for the historic district in which the subject property is located
- ✓ Reviewed the DeKalb County Tree Ordinance.
- ✓ Reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

The applicant has completed the check list above and understands the process to obtain a Certificate of Appropriateness

**SITE NOTES:**

- THE SITE CONTAINS: 0.473 ACRES / 20,614 SF  
TOTAL DISTURBANCE: 0.070 ACRES
- SITE ADDRESS: 914 CLIFTON ROAD, DEKALB COUNTY, GA 30307
- SURVEY INFORMATION IS TAKEN FROM SURVEY PERFORMED BY SURVEY SYSTEMS ATLANTA. DATED 02-20-2025.
- THIS PROPERTY IS NOT LOCATED INSIDE DESIGNATED F.I.A SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE RATE MAP #13089C0064K DATED AUGUST 15, 2019
- THERE ARE NO KNOWN WETLANDS ON THE PROJECT SITE.
- THERE ARE NO WATERS OF THE STATE OF GEORGIA ON OR WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS THAT EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
- THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
- CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
- ALL DEMOLITION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
- UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
- THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

**POST-CONSTRUCTION LOT COVERAGE:**

Proposed Impervious Area	
<b>Existing Impervious</b>	
Ex House	2450
Ex Conc. DW	1777
Ex Stone SW	555
Ex Proch	13
Ex Steps	20
Ex Concrete	703
Ex Planter	71
<b>Total Existing Impervious To Remain</b>	<b>5589</b>
<b>Proposed New Impervious Area</b>	
Proposed Covered Porch	393
Proposed House Addition	72
Proposed Pool Deck	389
Proposed Pool	408
Proposed Spa	66
Proposed Pool Coping	131
Proposed Stairs	112
Proposed Walls	53
<b>Total Proposed Impervious Area</b>	<b>1624</b>
<b>Total Post-Construction Impervious Area</b>	<b>7213</b>
<b>Lot Coverage</b>	<b>34.99%</b>

TOTAL SITE ACRES = 0.473 ACRES  
TOTAL DISTURBED AREAS = 0.070 ACRES  
TOTAL PROPOSED IMPERVIOUS AREA = 1,624 S.F.

**ZONING CONFORMANCE:**

SITE ZONING: R-75  
REQUIRED SETBACKS:  
MINIMUM LOT AREA: 10,000 SQ. FT.  
MINIMUM LOT WIDTH STREET FRONTAGE: 75 FT  
MINIMUM LOT WIDTH AT BUILDING LINE: 75 FT  
MINIMUM LOT WIDTH AT CUL-DE-SAC: 35 FT  
MAXIMUM LOT COVERAGE: 35%  
FRONT THOROUGHFARES: 45 FT  
FRONT ARTERIALS: 35 FT  
FRONT COLLECTOR: 30 FT  
FRONT WITH ALLEY ACCESS: 25 FT  
MINIMUM SIDE INTERIOR SETBACK: 7.5 FT  
MINIMUM SIDE CORNER LOT ON PUBLIC STREET SETBACK: 7.5 FT  
REAR SETBACK: 40 FT  
UNIT SIZE: 1,600 SQ. FT.  
BUILDING HEIGHT: NO MORE THAN 35 FEET  
OPEN SPACE: 20%

**DIRT STATEMENT:**

CUT: 110.0 CY (ESTIMATED)  
FILL: 10.0 CY (ESTIMATED)  
HAUL VOLUMES: 100.0 CU YDS - TO BE HAULED OFF SITE.  
NET EARTHWORK VOLUMES ARE LESS THAN 500 CUBIC YARDS. THEREFORE, A HAUL ROUTE PERMIT IS NOT REQUIRED.

**DEKALB COUNTY NOTES:**

- GRADE TO DRAIN AWAY FROM FOUNDATION.
- ALL GRADED SLOPES TO BE AT A 3:1 SLOPE OR GREATER.
- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE. CALL FOR FINAL INSPECTION AT 404-371-4913.
- ALL CONSTRUCTION MUST CONFORM TO DEKALB COUNTY STANDARDS.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS, THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, CERTIFIED AS-BUILTS WILL ALSO BE REQUIRED.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE IN-SITE INSPECTOR.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET OR TREE PROTECTION AREA OR RIGHT-OF-WAY.
- ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR OR A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S)
- NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE/CRITICAL ROOT ZONE.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:  
MONDAY-FRIDAY 7:00am-7:00pm  
SATURDAY 8:00am-5:00pm

24 HOUR EMERGENCY CONTACT: MARY GRAFTON 404-542-9809



Prepared By:  
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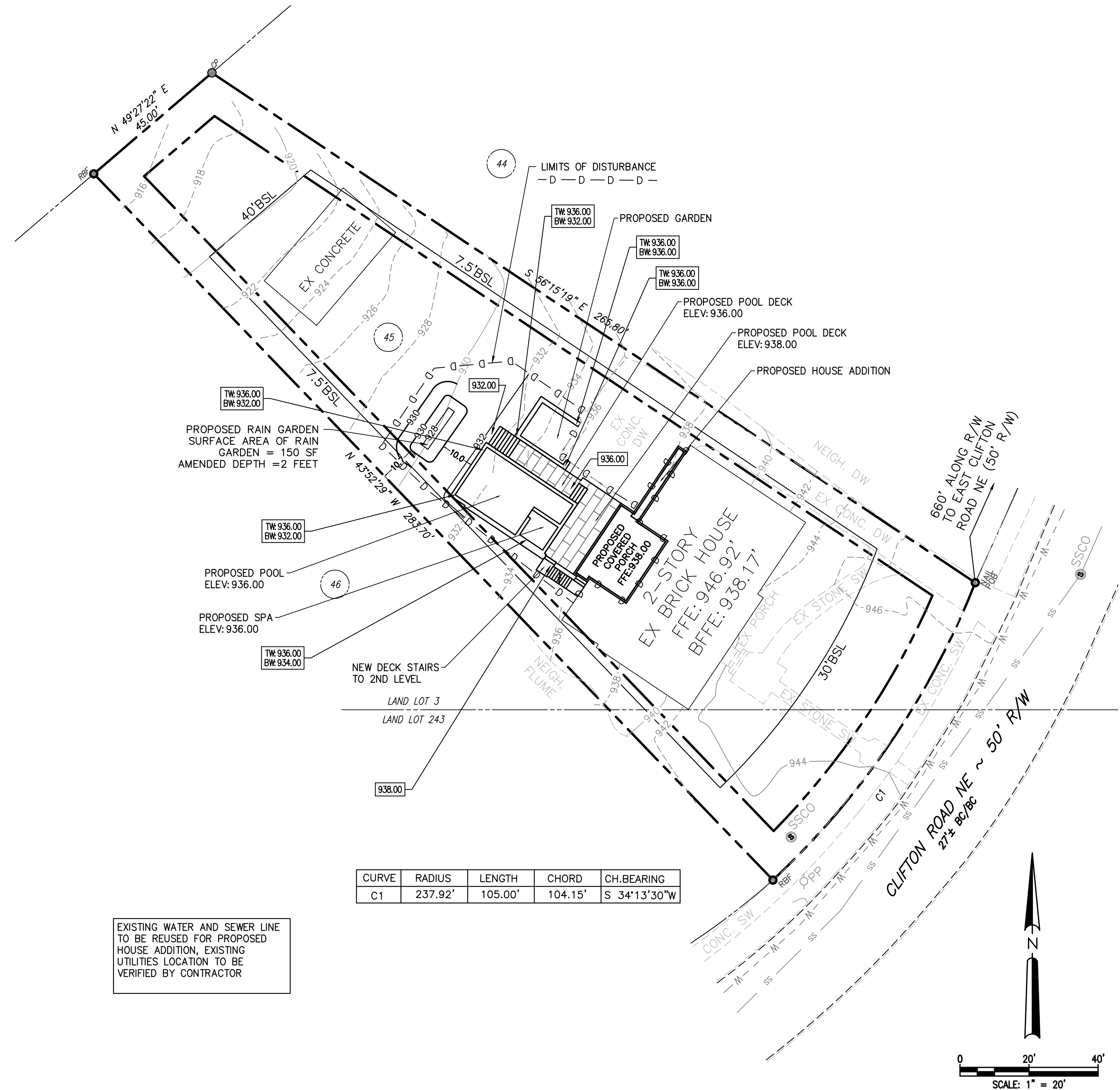
DESIGNED	SWS
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CHECKED	LIZ
IN CHARGE	GHB
DATE	02 MAR 2026

**PRELIMINARY SITE PLAN**

CONSTRUCTION PLANS FOR:  
**914 CLIFTON ROAD**  
LAND LOT 3, 18TH DISTRICT & LAND LOT 243, 15TH DISTRICT  
DEKALB COUNTY, GEORGIA

CVE PI # 26-088

SHEET NO.  
**C-1**





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- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S)
- NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE/CRITICAL ROOT ZONE.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:  
MONDAY-FRIDAY 7:00am-7:00pm  
SATURDAY 8:00am-5:00pm

**POST-CONSTRUCTION LOT COVERAGE:**

Proposed Impervious Area	
<b>Existing Impervious</b>	
Ex House	2450
Ex Conc. DW	1777
Ex Stone SW	555
Ex Proch	13
Ex Steps	20
Ex Concrete	703
Ex Planter	71
<b>Total Existing Impervious To Remain</b>	<b>5589</b>
<b>Proposed New Impervious Area</b>	<b>SF</b>
Proposed Covered Porch	393
Proposed House Addition	72
Proposed Pool Deck	389
Proposed Pool	408
Proposed Spa	66
Proposed Pool Coping	131
Proposed Stairs	112
Proposed Walls	53
<b>Total Proposed Impervious Area</b>	<b>1624</b>
<b>Total Post-Construction Impervious Area</b>	<b>7213</b>
<b>Lot Coverage</b>	<b>34.99%</b>

TOTAL SITE ACRES = 0.473 ACRES  
TOTAL DISTURBED AREAS = 0.070 ACRES  
TOTAL PROPOSED IMPERVIOUS AREA = 1,624 S.F.

**ZONING CONFORMANCE:**

SITE ZONING: R-75  
REQUIRED SETBACKS:  
MINIMUM LOT AREA: 10,000 SQ. FT.  
MINIMUM LOT WIDTH STREET FRONTAGE: 75 FT  
MINIMUM LOT WIDTH AT BUILDING LINE: 75 FT  
MINIMUM LOT WIDTH AT CUL-DE-SAC: 35 FT  
MAXIMUM LOT COVERAGE: 35%  
FRONT THOROUGHFARES: 45 FT  
FRONT ARTERIALS: 35 FT  
FRONT COLLECTOR: 30 FT  
FRONT WITH ALLEY ACCESS: 25 FT  
MINIMUM SIDE INTERIOR SETBACK: 7.5 FT  
MINIMUM SIDE CORNER LOT ON PUBLIC STREET SETBACK: 7.5 FT  
REAR SETBACK: 40 FT  
UNIT SIZE: 1,600 SQ. FT.  
BUILDING HEIGHT: NO MORE THAN 35 FEET  
OPEN SPACE: 20%

**DIRT STATEMENT:**

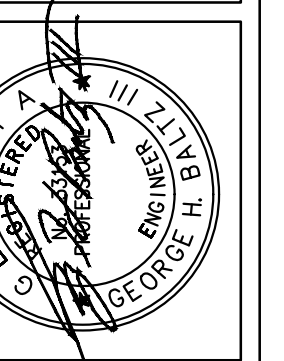
CUT: 110.0 CY (ESTIMATED)  
FILL: 10.0 CY (ESTIMATED)  
HAUL VOLUMES: 100.0 CU YDS - TO BE HAULED OFF SITE.  
NET EARTHWORK VOLUMES ARE LESS THAN 500 CUBIC YARDS. THEREFORE, A HAUL ROUTE PERMIT IS NOT REQUIRED.

24 HOUR EMERGENCY CONTACT: MARY GRAFTON 404-542-9809



Prepared By:  
**CRESCENT VIEW  
ENGINEERING, LLC:**  
211 Fraser Street  
Marietta, GA 30060  
678-326-8410  
www.crescentvieweng.com

Prepared For:  
**MARY GRAFTON**  
MARYRUFGRAF@GMAIL.COM  
404-542-9809



DESIGNED	SWS
DRAWN	SWS
CHECKED	LIZ
IN CHARGE	GHB
DATE	MAR 31, 2026

**PRELIMINARY SITE PLAN**

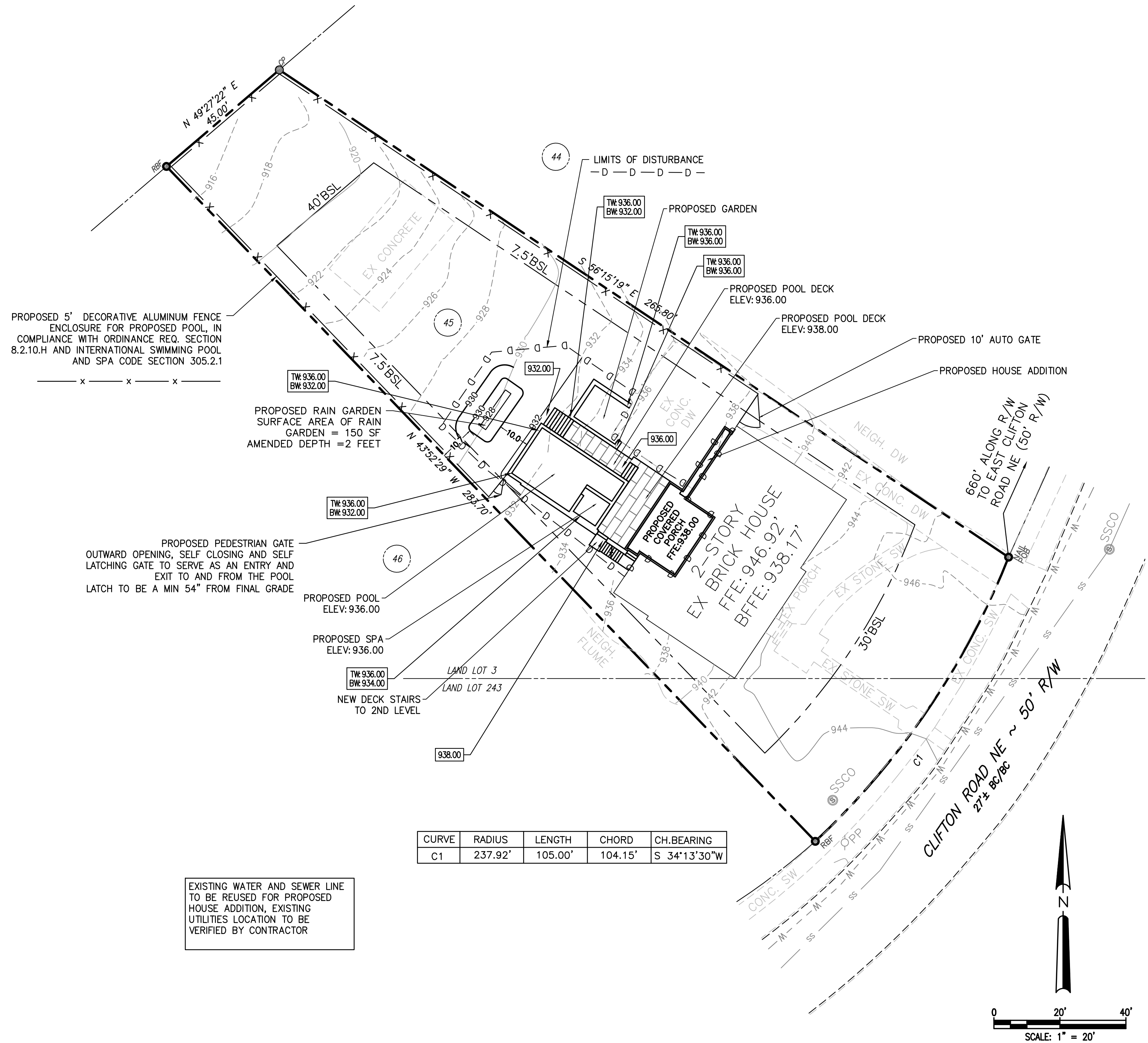
REV	DATE	BY	CHKD	DESCRIPTION

CONSTRUCTION PLANS FOR:  
**914 CLIFTON ROAD**  
LAND LOT 3, 18TH DISTRICT &  
LAND LOT 243, 15TH DISTRICT  
DEKALB COUNTY, GEORGIA

CVE PI # 26-088

SHEET NO.

**C-1**



SCOPE OF WORK	
#1	RENOVATE ENTIRE 2-STORY HOUSE & PARTIALLY FINISHED BASEMENT INCLUDING KITCHEN, 5 BATHS, 6 BEDROOMS, LAUNDRY ROOM, & OFFICE. RENOVATION INCLUDES NEW ROOF FROM THE MAIN RIDGE BACK & REAR ADDITION.
#2	BUILD NEW REAR 1-STORY SCREEN PORCH ADDITION W/ PATIO BELOW.
#3	BUILD NEW POOL W/ SPA, PRIVACY WALL, POOL DECK, STAIRS & RAISED GARDEN TO GRADE.
#4	INSTALL DRIVEWAY GATE & PERIMETER POOL FENCE.
#5	TYPE OF CONSTRUCTION: V-B

REQUIRED PRODUCT DATA & SAMPLES FOR APPROVAL	
A. PRODUCT DATA & SAMPLES ARE REQUIRED FOR THE FOLLOWING ITEMS:	
1. EXTERIOR DOOR & WINDOW CLADDING	
2. CABINETS, CUSTOM CASEWORK & SPECIAL MOULDINGS. FINISHED CABINET DOOR SAMPLES REQUIRED FOR ALL CABINETRY. SAMPLE MUST BE FINISHED WITH FINAL FINISH & SEALING PER THE FF&E	
3. CUSTOM STEEL & METAL WORK	
4. CUSTOM FINISHES & FURNISHINGS	
5. CUSTOM COUNTERTOPS IF FABRICATION REQUIRED	
6. STONE WORK, MORTAR TYPE, SIZE & STYLE.	
7. CUSTOM CONCRETE WORK & FINISHES	
8. PAINT COLORS & FINISHES	
9. STAIN COLOR ON SELECTED WOODS	
10. CUSTOM WALL FINISHES	
11. CUSTOM GLASS AND MIRRORS	
B. SAMPLES SHALL BE REVIEWED BY ROTHMAN + ROTHMAN FOR DESIGN INTENT ONLY UNLESS SPECIFIED. THE PERSONS RESPONSIBLE FOR PAYMENT, SCHEDULING & MANAGEMENT OF PRODUCT SHALL BE SOLELY RESPONSIBLE FOR THE SHOP DRAWING APPROVAL. CLIENT MUST ALSO APPROVE ALL PROVIDED SAMPLES	

PLUMBING - GENERAL NOTES	
GENERAL NOTES	
ALL NEW AND EXISTING WORK TO MEET CURRENT CODE REQUIREMENTS. ALL UNDERCODE CONDITIONS TO BE BROUGHT UP TO CODE AS REQUIRED.	
PROJECT SPECIFIC NOTES - SCOPE OF WORK	
2	TIE INTO EXISTING SEWER & WATER LINES FROM MUNICIPAL SOURCE.
3	INSTALL NEW WATER & DRAIN LINES AS DESCRIBED BELOW.
4	EXISTING TANKLESS WATER HEATER TO REMAIN LOCATED IN BASEMENT MECHANICAL ROOM
5	INSTALL COPPER OR PEX WATER LINES
6	INSTALL PVC WASTE LINES & VENT PIPES EXCEPT FOR DROPS THROUGH HABITABLE SPACE WHICH ARE TO BE CAST IRON OR INSULATED FOR SOUND

HVAC - GENERAL NOTES	
GENERAL NOTES	
1	MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS & THE REQUIREMENTS OF M1401.1 & COMPLY WITH APPLICABLE ENERGY CONSERVATION CODES
2	PROVIDE MIN. 30"x30" LEVEL WORKING SPACE FOR ALL MECHANICAL APPLIANCES AS REQUIRED IN M1305.1. ACCESS DOORS MUST BE A MINIMUM OF 24" WIDE & LARGE ENOUGH TO REMOVE EQUIPMENT. ACCESS TO EQUIPMENT IN ATTIC & UNDER FLOOR AREAS MUST COMPLY WITH M1305.1.3 OR M1305.1.4. ACCESS DOORS IN THESE AREAS TO BE A MIN. OF 22" WIDE & 30" HIGH & BE LARGE ENOUGH TO REMOVE EQUIPMENT
3	IN FLOOD HAZARD AREAS, MECHANICAL APPLIANCES, EQUIPMENT & SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R502.1.6.
4	THE AIR REMOVED FROM ALL MECHANICAL EXHAUST SYSTEMS SHALL BE DISCHARGED TO THE OUTDOORS IN ACCORDANCE WITH SECTION M1506.3. AIR SHALL NOT BE DISCHARGED INTO ATTIC, SOFFIT, RIDGE VENT OR CRAWLSPACES. CLOTHES DRYER EXHAUST SYSTEMS SHALL BE VENTED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH SECTION M1502.2
5	DUCT SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION M1601.1. APPLIANCE MANUFACTURER'S INSTRUCTIONS OR OTHER APPROVED METHODS
6	PROVIDE BALANCED RETURN AIR AS REQUIRED BY M1602.3. PROVIDE RETURN GRILLS IN EACH SLEEPING ROOM & IN ALL HABITABLE ROOMS EXCEPT AS PROVIDED IN M1602.3 (IRC)
7	PROVIDE MAKE UP AIR FOR KITCHEN VENTHOODS OR OTHER DEVICES THAT ARE CAPABLE OF EXHAUSTING MORE THAN 400 CFMS UNLESS EXCEPTIONS ARE ALLOWED AS INDICATED IN M1503.6 (IRC)

ELECTRICAL - GENERAL NOTES	
GENERAL NOTES	
1	PERFORM PRE-DRYWALL WALK THROUGH WITH CLIENT BEFORE WIRES ARE PULLED TO VERIFY LIGHTING, SWITCH & OUTLET LOCATIONS. INSTALL BOXES & ROUGH-INS ONLY FOR THIS WALK THROUGH
2	ALL RECESSED CANS TO BE 4" LED ROUND TRIMMED CANS UNLESS NOTED OTHERWISE
3	AVAILABLE RECESSED CANS TO HAVE MATCHING GIMBAL RING TRIM UNLESS NOTED OTHERWISE
4	ALL LED BULBS TO BE 2,700K (3,000K MAX) UNLESS NOTED OTHERWISE
5	ALL DEVICES (SWITCHES, OUTLETS & DIMMERS) TO MATCH EXISTING
6	OUTLETS ARE TO BE INSTALLED AS REQUIRED BY CODE. SPECIFIC LOCATIONS ONLY ARE INDICATED ON PLANS
7	ANY ADDITION OR ALTERATION TO AN EXISTING ELECTRICAL SYSTEM SHALL BE MADE IN ACCORDANCE WITH NEC, THE NFPA 70, 2020 AND THE GEORGIA STATE MINIMUM STANDARD ELECTRICAL CODE
8	LIGHTING, SWITCHES AND OUTLET LOCATION MAY NEED TO BE RELOCATED BASED ON EXISTING CONDITIONS. COORDINATE RELOCATION WITH DESIGNER
9	OUTLETS TO BE INSTALLED ABOVE BASEBOARD W/ APPROPRIATE CLEARANCE REQUIRED FOR FACEPLATE
10	INSTALL SMOKE & CO DETECTORS AS REQUIRED BY CODE (1 IRC 314.3 & IRC 315.3) THROUGHOUT ENTIRE HOUSE
11	PROVIDE ELECTRICAL VEHICLE SUPPLY AS REQUIRED BY ACCORDANCE 17-0-1654. ELECTRICAL CONTRACTOR TO PROVIDE ALL DOCUMENTATION AS REQUIRED TO SATISFY CODE DURING TRADE PERMIT PROCESSING
12	ANY ADDITION OR ALTERATION TO AN EXISTING ELECTRICAL SYSTEM SHALL BE MADE IN ACCORDANCE WITH NEC, THE NFPA 70, 2020 AND THE GEORGIA STATE MINIMUM STANDARD ELECTRICAL CODE

DRAWING INDEX	
N.01	NOTES/DETAILS & BASEMENT LEVEL DETAILS
D.01	1ST LEVEL DEMOLITION PLAN
D.02	2ND LEVEL & ROOF DEMOLITION PLAN
D.03	BASEMENT LEVEL DEMOLITION PLAN
A.01	FIRST LEVEL FLOOR PLAN
A.02	2ND LEVEL FLOOR PLAN
A.03	TERRACE LEVEL FLOOR PLAN
A.04	PROPOSED ROOF PLAN
A.05	NORTH DRIVEWAY SIDE ELEVATION (EXISTING & PROPOSED)
A.06	REAR ELEVATION (EXISTING & PROPOSED)
A.07	SOUTH SIDE ELEVATION (EXISTING & PROPOSED)
A.08	KITCHEN DETAIL PLAN & INTERIOR ELEVATIONS

APPLICABLE CODES	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:	
1. INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)	
2. INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)	
3. INTERNATIONAL FIRE CODE, 2018 EDITION	
4. INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)	
5. INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)	
6. INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)	
7. NATIONAL ELECTRIC CODE, 2020 EDITION, WITH NO GEORGIA AMENDMENTS	
8. INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION	
WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)	
9. INTERNATIONAL SWIMMING POOL & SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)	
10. GEORGIA ACCESSIBILITY CODES	

SHOP DRAWINGS	
A. SHOP DRAWINGS ARE REQUIRED FROM THE FOLLOWING TRADES:	
1. EXTERIOR DOORS & WINDOWS	
2. CABINETS, CUSTOM CASEWORK & SPECIAL MOULDINGS	
3. FIREPLACES & SURROUNDS	
4. CUSTOM STEEL & METAL WORK	
5. CUSTOM FINISHES & FURNISHINGS	
6. COUNTERTOP SLAB LAYOUT & INSTALLATION	
7. STRUCTURAL COMPONENTS	
8. CUSTOM ELECTRICAL COMPONENTS	
9. HVAC EQUIPMENT	
10. DUCTING & REGISTER PLACEMENT IF SLOT DIFFUSERS	
B. SHOP DRAWINGS SHALL BE REVIEWED BY ROTHMAN+ROTHMAN FOR DESIGN INTENT ONLY UNLESS SPECIFIED. THE PERSONS RESPONSIBLE FOR PAYMENT, SCHEDULING & MANAGEMENT OF PRODUCT SHALL BE SOLELY RESPONSIBLE FOR THE SHOP DRAWING APPROVAL.	



KITCHEN PANORAMIC



DINING ROOM PANORAMIC



LIVING ROOM PANORAMIC



PORCH PANORAMIC



2ND LEVEL HALL PANORAMIC



PRIMARY BED PANORAMIC



PRIMARY BATH PANORAMIC



REAR YARD PANORAMIC

PROJECT SPECIFIC NOTES - SCOPE OF WORK	
INSTALL NEW HVAC UNIT IN ATTIC FOR 2ND FLOOR FURNACE. 95% AFUE OR BETTER. AC:1.5 SEER OR BETTER	
ZONE #1: PRIMARY SUITE	
ZONE #2: REMAINDER OF 2ND LEVEL BLOWER: VARIABLE SPEED FILTER: HE FILTER (MIN. MERV 8)	
INSTALL NEW HVAC UNIT IN ATTIC FOR MAIN LEVEL FURNACE. 95% AFUE OR BETTER	
AC:1.5 SEER OR BETTER	
BLOWER: VARIABLE SPEED FILTER: HE FILTER (MIN. MERV 8)	
INSTALL SALVAGED 2ND LEVEL HVAC UNIT & INSTALL IN BSMT FURNACE. SALVAGED	
BLOWER: SALVAGED FILTER: SALVAGED	
RUN NEW DUCTS AS NEEDED	
REMOVE AND RERUN DUCTS IN ACCORDANCE AS INDICATED IN GENERAL NOTES ABOVE	
KITCHEN VENTHOOD WILL REQUIRE MAKE UP AIR. INSTALL DAMPER & REQUIRED DUCTWORK IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS	
FLOOR REGISTERS ON 1ST LEVEL & 2ND LEVEL TO BE FLUSH HARDWOOD REGISTERS TO MATCH EXISTING	
LOCATION OF THERMOSTATS TO BE DETERMINED	

PROJECT SPECIFIC NOTES - SCOPE OF WORK	
OUTLETS ARE TO BE INSTALLED AS REQUIRED BY CODE. SPECIFIC LOCATIONS ONLY ARE INDICATED ON PLANS	
INSTALL NEW 200 AMP SERVICE, METER, SHUTOFF AND PANEL. PANEL TO BE LOCATED IN BASEMENT EXERCISE ROOM/GARAGE.	
SALVAGE IN CEILING SPEAKERS (4) & BASEMENT PROJECTOR FOR REUSE.	
AV IS NOT IN CONTRACT & BY CLIENT	

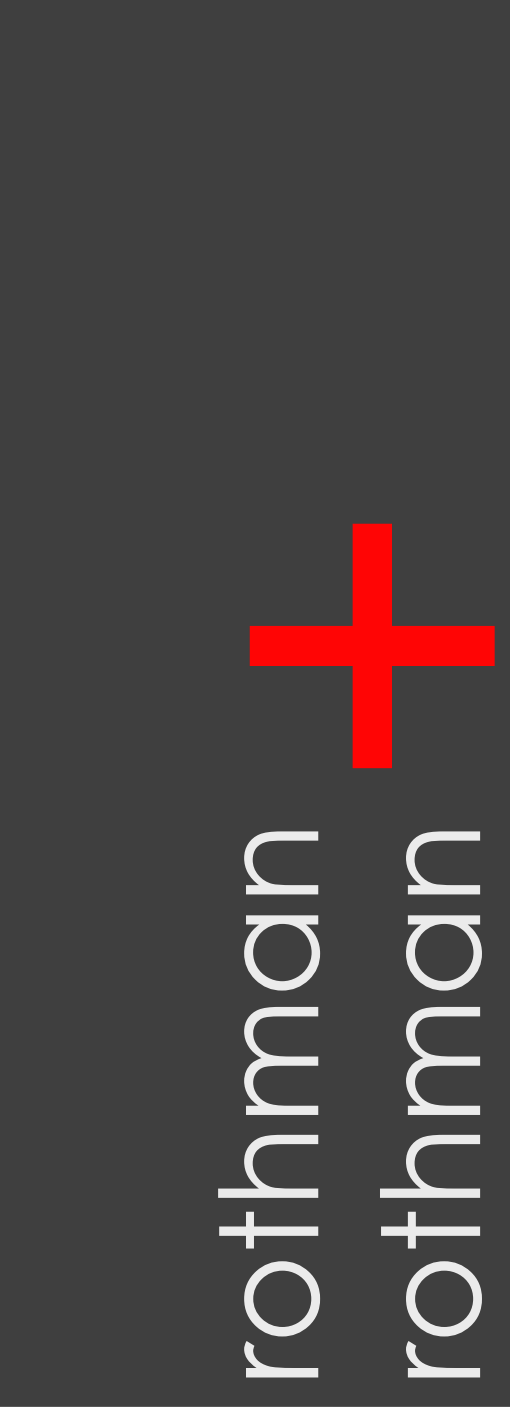
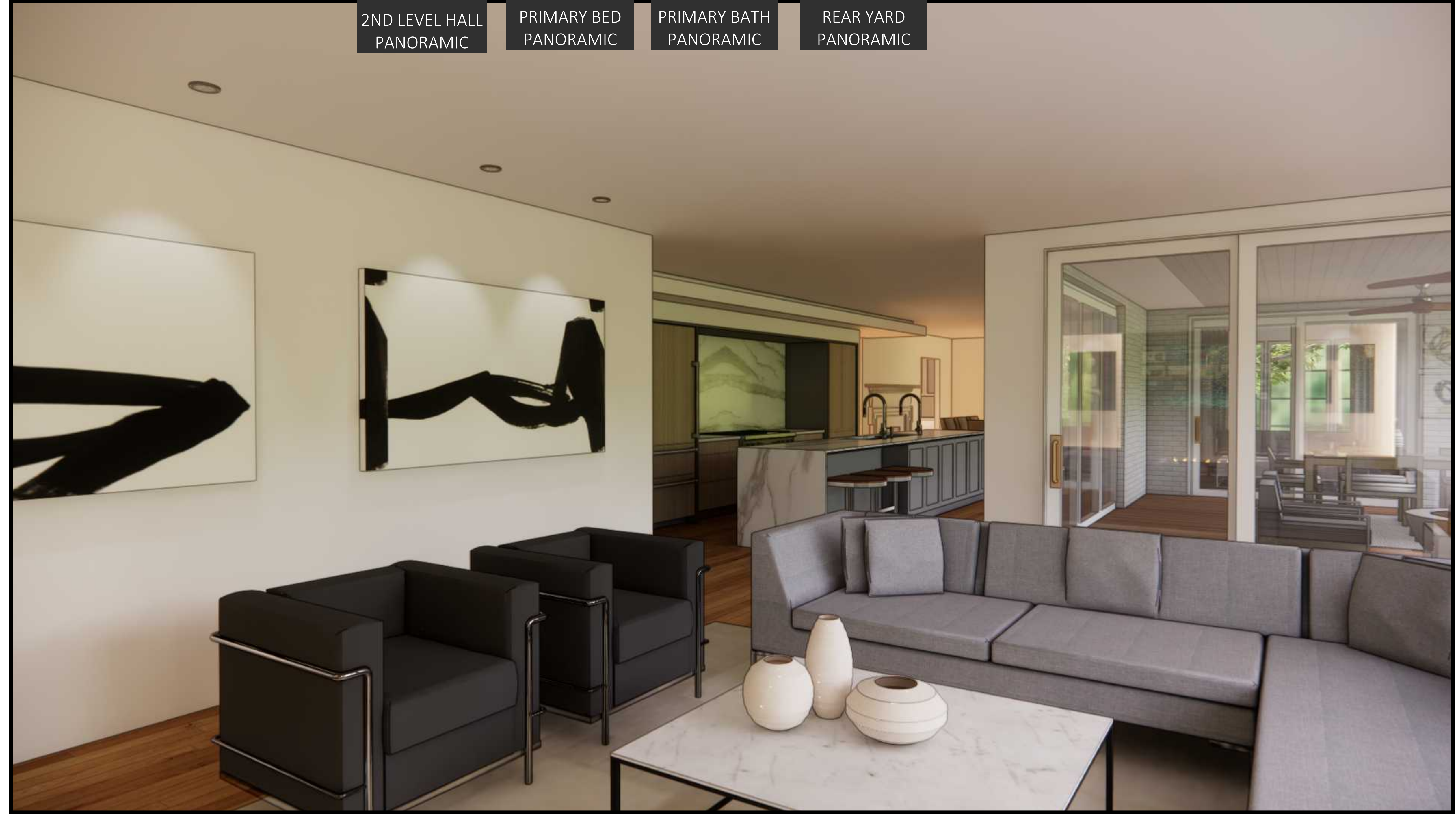
SQUARE FOOTAGE - EXISTING		
CONDITIONED SF	SF	NOTES
BASEMENT	1,041	
1ST LEVEL	2,204	
2ND LEVEL	707	
TOTAL CONDITIONED	3,952	
UNHEATED SF	SF	NOTES
UNFINISHED BASEMENT	455	
GARAGE	455	
FRONT PORCH	42	
DECK	289	
ATTIC	1,366	
TOTAL UNHEATED	2,627	

SQUARE FOOTAGE - PROPOSED		
CONDITIONED SF	SF	NOTES
BASEMENT	1,041	
1ST FLOOR	2,145	
SECOND FLOOR	1,596	
ATTIC	- 0	
TOTAL CONDITIONED	4,782	
UNHEATED SF	SF	NOTES
UNFINISHED BASEMENT	455	
GARAGE	455	
FRONT PORCH	42	
SCREEN PORCH	395	
CARPOT	315	
STAIRS	65	
TOTAL UNHEATED	1,727	

ZONING-FAR REVIEW		
FAR	SF	NOTES
LOT SIZE	20,614	
FAR SQUARE FOOTAGE	SF	NOTES
BASEMENT	1,041	
1ST FLOOR	2,145	
1ST FLOOR SCREEN PORCH	395	
SECOND FLOOR	1,596	
TOTAL FAR	5,177	25%

ALLOWANCES		
PLUMBING	\$/#	NOTES
KITCHEN	\$ 3,600	SINK, (2) FAUCETS & DISPOSAL
HALF BATH	\$ 1,600	TOILET, SINK & FAUCET
BATH #1	\$ 3,400	TOILET, PREFAB VANITY (CABINET, SINK & TOP), SHOWER
BATH #2	\$ 3,800	TOILET, PREFAB VANITY (CABINET, SINK & TOP), TUB, SHOWER/FILLER
JACK & JILL BATH	\$ 5,800	TOILET, (2) PREFAB VANITIES (CABINET, SINK & TOP), TUB, SHOWER/FILLER
PRIMARY BATH	\$ 4,000	TOILET, (2) SINKS, (2) FAUCETS, (2) SHOWER & (1) HANDHELD
BASEMENT BATH	\$ 3,000	TOILET, PREFAB VANITY (CABINET, SINK & TOP), SHOWER
LAUNDRY CABINET	800	SINK & FAUCET
ELECTRICAL	\$/#	NOTES
RECESSED CANS	90	BY CONTRACTOR - SEE COVER SHEET
DECORATIVE FIXTURES	\$ 12,100	(1) 3" INT. SCANCES, (8) EXT SCANCES, (3) CEILING FANS, (1) PENDANT, (1) CEILING MOUNT LIGHTS
FLUSH INFRARED HEATER	4,000	\$2,000 EA
TILE	\$/#	NOTES
SECONDARY BATH FLOOR TILE	\$8 SF	
SECONDARY BATH WALL TILE	\$12 SF	
PRIMARY BATH FLOOR	\$12 SF	
PRIMARY BATH WALL TILE	\$16 SF	
POOL DECK & REAR PATIO	\$12 SF	
KITCHEN BACKSPLASH	\$45 SF	
CABINETS	\$/#	NOTES
BAR CABINETS (1ST LVL+ TERRACE)	CUSTOM	
KITCHEN CABINETS	CUSTOM	
SCULLERY CABINETS	CUSTOM	
HALF BATH	CUSTOM	
BATH #1, BATH #2, J+J BATH	IN PLUMBING	
TERRACE BATH	IN PLUMBING	
PRIMARY BATH VANITY (2)	CUSTOM	
PRIMARY LINEN FULL HGT.	CUSTOM	
PRIMARY CLOSET	BY CLIENT	
LAUNDRY CABINET	CUSTOM	
BOOKCASES 1ST & 2ND LEVEL	CUSTOM	
COUNTERTOPS	\$/#	NOTES
KITCHEN	\$200 SF	
KITCHEN BACKSPLASH	\$ - 0	SEE TILE
SCULLERY	\$115 SF	
HALF BATH	\$200 SF	
PRIMARY BATH VANITY (2)	\$200 SF	
LAUNDRY	\$85 SF	
FIREPLACE	\$/#	NOTES
LIVING ROOM FIREPLACE	\$ 6,500	MANTEL, HEARTH & SURROUND
CLOSET SHELVING	\$/#	NOTES
CLOSETS	\$ - 0	BY CLIENT
PANTRY SHELVING	\$ - 0	BY CABINET MAKER
BATH ACCESSORIES	\$/#	NOTES
HALF BATH	\$ 800	TOWEL BARS, TP HOLDER, HOOKS, MIRROR
BATH #1	\$ 800	TOWEL BARS, TP HOLDER, HOOKS, MIRROR, SHOWER GLASS
BATH #2	\$ 1,400	TOWEL BARS, TP HOLDER, HOOKS, MIRROR, CURTAIN BAR
PRIMARY BATH	\$ 4,000	TOWEL BARS, TP HOLDER, HOOKS, (2) MIRRORS, FRAMELESS GLASS
J+J BATH	\$ 800	TOWEL BARS, TP HOLDER, HOOKS, (2) MIRRORS, CURTAIN BAR
BASEMENT BATH	\$ 1,600	TOWEL BARS, TP HOLDER, HOOKS, MIRROR, SHOWER GLASS

COMBINED CONCEPTUAL DRAWING  
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**CONTRACTOR:**  
Southern Magnolia Construction LLC  
Brad Clark  
560 Valley Hall Drive  
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southernmagnoliacoconstructionllc.com

**OWNER:**  
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(404) 542-9809 (Many Cell)  
maryngrafton@gmail.com

**grafon residence**  
914 Clifton Rd NE :: Atlanta, Ga :: 30307  
**DRAWN BY:**  
Eric Rothman  
**CHECKED BY:**  
Eric Rothman  
**DOCUMENT DATE:**  
April 8, 2026  
**JOB PHASE:**  
COMBINED CONCEPTUAL

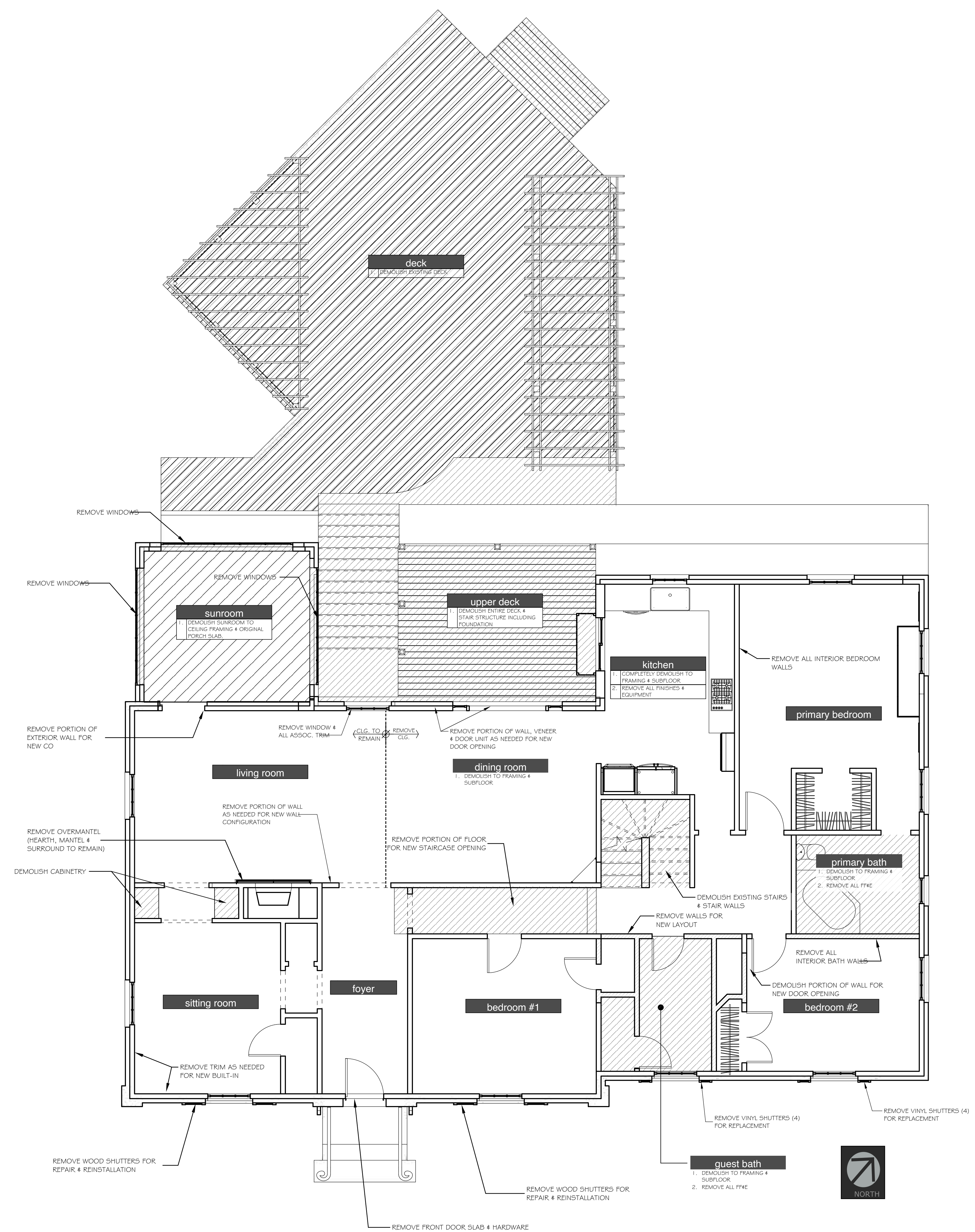


COVER PAGE

DEMOLITION PLAN NOTES	
GENERAL NOTES	
1.	PROVIDE TEMPORARY SHORING AS NEEDED FOR ALL REMOVED OR MODIFIED STRUCTURAL COMPONENTS. COORDINATE WITH ENGINEER.
2.	NOTIFY DESIGN TEAM OF ANY DIMENSIONAL OR DRAWING DISCREPANCIES IMMEDIATELY UPON DISCOVERY. CEASE WORK IN AFFECTED AREAS UNTIL A RESOLUTION HAS BEEN AGREED UPON.
3.	ITEMS THAT ARE TO BE SALVAGED ARE TO STORED OFF-SITE OR IN A SAFE, SECURE LOCATION. SALVAGED TRIM TO HAVE ALL FASTENERS REMOVED AND TO BE STORED FLAT.
PROJECT SPECIFIC NOTES	
1.	REMOVE ALL INTERIOR DOORS # HARDWARE U.N.O.
2.	REMOVE ALL FLOORING THROUGH OUT U.N.O.

DEMOLITION SALVAGE NOTES	
1.	SALVAGE TRIM AS POSSIBLE FOR REUSE. REMOVE ALL FASTENERS & STORE FLAT.
2.	SALVAGE BRICK VENEER AS POSSIBLE FOR PATCHING.
3.	SALVAGE ROOF SHINGLES AS NEEDED FOR NEW ROOF TIE IN.
4.	SALVAGE APPLIANCES FOR DONATION.

DRAWING KEY	
	DEMOLITION SCOPE
	REMAINING WALLS
	REMOVED FINISHES
	FUTURE WALLS
	TEMP. SECURITY WALL (2x4 # FLYWOOD)
	TEMP. 2"X WALL (2x4 # FLYWOOD)



**CONTRACTOR:**  
Southern Magnolia Construction LLC  
Brad Clark  
560 Valley Hall Drive  
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p. 205.799.8528  
southernmagnolacoconstructionllc.org

**OWNER:**  
The Grafton  
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Atlanta, Ga 30307  
(404) 542-9809 (Mary Cell)  
maryrgrafton@gmail.com

**gratton residence**  
914 Clifton Rd NE :: Atlanta, Ga :: 30307

**DRAWN BY:**  
Eric Rothman

**CHECKED BY:**  
Eric Rothman

**DOCUMENT DATE:**  
April 8, 2026

**JOB PHASE:**  
COMBINED CONCEPTUAL



**D.01**  
first level  
demolition

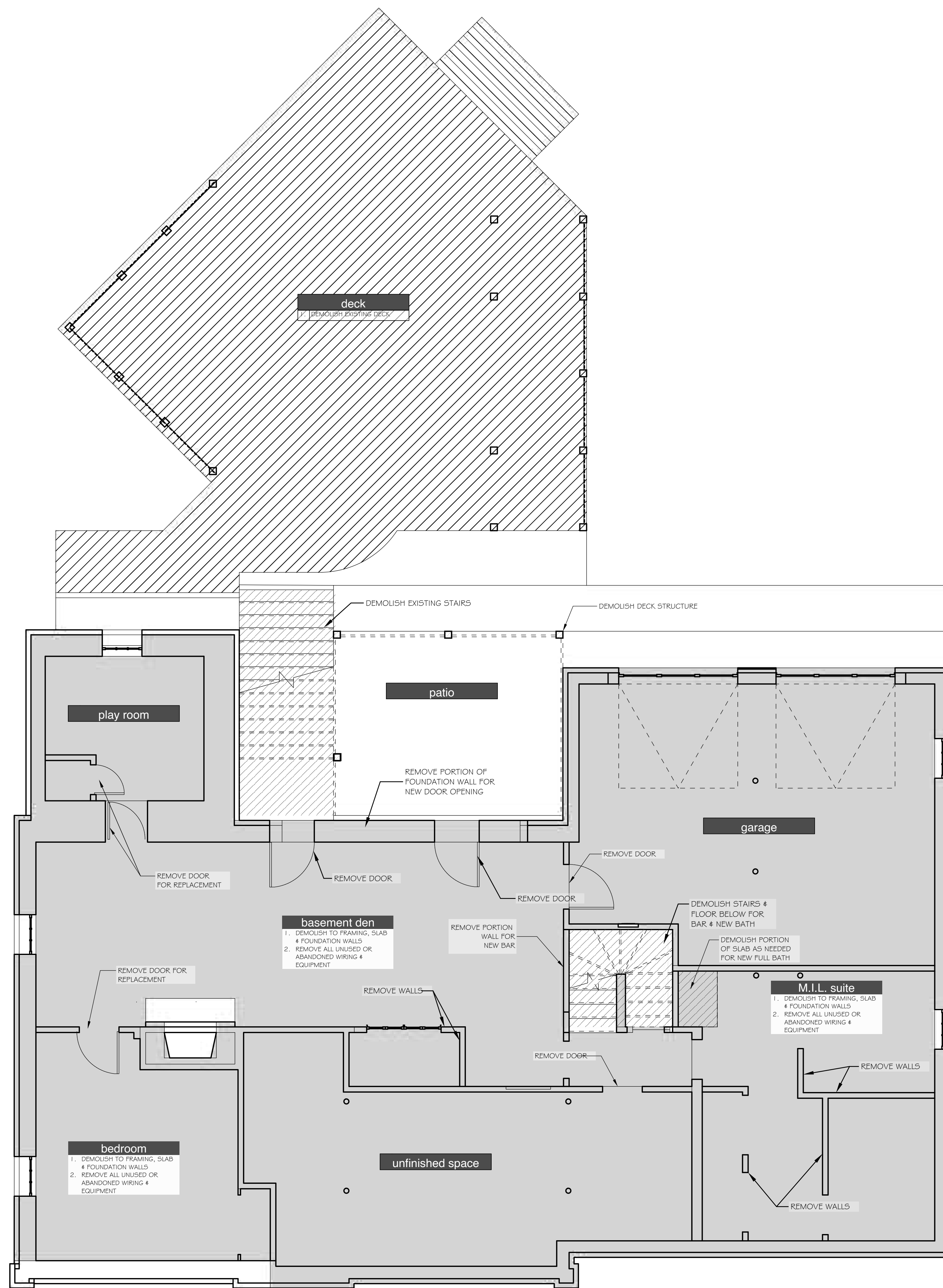
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DEMOLITION PLAN NOTES	
GENERAL NOTES	
1.	PROVIDE TEMPORARY SHORING AS NEEDED FOR ALL REMOVED OR MODIFIED STRUCTURAL COMPONENTS. COORDINATE WITH ENGINEER.
2.	NOTIFY DESIGN TEAM OF ANY DIMENSIONAL OR DRAWING DISCREPANCIES IMMEDIATELY UPON DISCOVERY. CEASE WORK IN AFFECTED AREAS UNTIL A RESOLUTION HAS BEEN AGREED UPON.
3.	ITEMS THAT ARE TO BE SALVAGED ARE TO STORED OFF-SITE OR IN A SAFE, SECURE LOCATION. SALVAGED TRIM TO HAVE ALL FASTENERS REMOVED AND TO BE STORED FLAT.
PROJECT SPECIFIC NOTES	
1.	REMOVE ALL INTERIOR DOORS + HARDWARE U.N.O.
2.	REMOVE ALL FLOORING THROUGH OUT U.N.O.

DEMOLITION SALVAGE NOTES	
1.	SALVAGE TRIM AS POSSIBLE FOR REUSE. REMOVE ALL FASTENERS + STORE FLAT.
2.	SALVAGE BRICK VENEER AS POSSIBLE FOR PATCHING.
3.	SALVAGE ROOF SHINGLES AS NEEDED FOR NEW ROOF TIE IN.
4.	SALVAGE APPLIANCES FOR DONATION.

DRAWING KEY	
	DEMOLITION SCOPE
	REMAINING WALLS
	REMOVED FINISHES
	FUTURE WALLS
	TEMP. SECURITY WALL (2x4 + FLYWOOD)
	TEMP. 2"X WALL (2x4 + FLYWOOD)



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**graffton residence**  
914 Clifton Rd NE :: Atlanta, Ga :: 30307

**DRAWN BY:** Eric Rothman  
**CHECKED BY:** Eric Rothman

**DOCUMENT DATE:** April 8, 2026  
**JOB PHASE:** COMBINED CONCEPTUAL



**D.03**

basement level  
demolition



COMBINED CONCEPTUAL DRAWING  
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DRAWING KEY	
	EXISTING 2X4 WALL
	NEW 2X4 WALL
	NEW 2X6(+)-WALL
	STONEMASONRY
	LINE OF ADDITION
	PERSPECTIVE VIEW
	SPOT ELEVATION
	CENTER LINE
	FLAT CEILING HEIGHT
	CEILING PROFILE

PARTITION SCHEDULE	
	EXISTING WALL
	2X4 WALL
	2X4 WALL W/ 5/8" TYPE X DRYWALL
	1/2" DRYWALL ON 2X2 FURR STRIPS ON EXISTING MASONRY WALL W/ RIGID INSULATION, WOOD FRAME NEW OPENINGS
	2X6 WALL
	MASONRY/POURED WALL

CASEWORK/CUSTOM BUILT-INS/DETAILS	
1. VANITY CABINETS TO BE PREFAB UNITS W/ COUNTERTOP UNO	
2. SEE ELEVATION CALL OUT, IF PRESENT, FOR FURTHER DETAILS	

CASEWORK/BUILT-INS	PILL
1. DEN FLOOR TO CEILING BUILT IN OPEN SHELF BOOKCASE - SEE FF#1	B 01
2. BAR 30" (W) BAR CABINET W/ 3 DAW BASE + OVERHEAD CAB. W/ GLASS DOORS	B 02
3. BAR 30" (W) BASE W/ U.C. WINE REFRIG. + OVERHEAD CAB. W/ GLASS DOORS	B 03
4. KITCHEN 3'-0" (L) ISLAND - SEE FF#9	B 04
5. KITCHEN 16'-3" RANGE WALL CABINETS + FULL HGT. CAPS	B 05
6. SCULLERY 7'-6" BASE + OVERHEAD CABINETS	B 06
7. SCULLERY OPEN SHELVES	B 07
8. HALF BATH 36" PREFAB VANITY COUNTER + SINK	B 08
9. BATH #1 36" PREFAB VANITY COUNTER + SINK	B 09
10. BATH #2 36" PREFAB VANITY COUNTER + SINK	B 10
11. LIVING ROOM 24" (H) X 40" (W) X 20" (D) BUILT IN CAB	B 11
12. LIVING ROOM 24" (H) X 40" (W) X 20" (D) BUILT IN CAB	B 12
13. MEZZANINE FULL HGT. OPEN BOOKCASE 14'-8" (W) X 8" (H) X 12" (D)	B 13
14. BED HALL 12" (W) X 8" (H) X 12" (D) OPEN BOOKCASE W/ MURPHY DOOR	B 14
15. JACKRILL BATH 2' PREFAB VANITY W/ TOP + SINK	B 15
16. JACKRILL BATH 2' PREFAB VANITY W/ TOP + SINK	B 16
17. PRIMARY BATH 4'-6" CUSTOM VANITY (2)	B 17
18. PRIMARY CLOSET 3' (W) X 8' (H) X 2' (D) FULL HEIGHT LINEN CABINET	B 18
19. PRIMARY CLOSET CLOSET SYSTEM BY CLIENT - NOT IN SCOPE	B 19
20. LAUNDRY BASE + OVERHEAD CABINETS	B 20
21. BASEMENT BAR 5'-6" (W) BASE CABINETS W/ INSERT UPFRS CABINETS	B 21
22. BSMT BATH 3' PREFAB VANITY W/ TOP + SINK	B 22
23. BSMT KITCHEN 9' (W) BASE CABINETS W/ 12" DP OVERHEAD - NOT IN SCOPE - ROUGH IN PLUMBING FOR SINK ONLY	B 23
24. TERRACE ROOM 8'-6" (W) X 3'-6" (H) BUILT IN SIDE TABLE	B 24

GENERAL FLOOR NOTES	
APPLIES TO ALL FLOORING UNLESS NOTED OTHERWISE (UNLESS SHOWN ON PLANS)	
1. SAND + REFINISH ALL FLOORS W/ STAIN + 3-COATS MATTE POLY.	
2. PATCH EXISTING FLOOR W/ MATCHING SELECT OAK + LACE IN AS NEEDED	
3. NEW FLOORING TO MATCH EXISTING SIZE + SPECIES AS POSS. STAIN + FINISH TO MATCH	

GENERAL WALL NOTES	
APPLIES TO ALL WALLS UNLESS NOTED OTHERWISE (UNLESS BELOW OR ON PLANS)	
1. ALL WALLS TO HAVE 1/2" DRYWALL W/ LV4 FINISH	
2. ALL WALLS IN WET AREAS TO 1/2" MR DRYWALL W/ LV4 FINISH	
3. PATCH PLASTER WALLS W/ DRYWALL + FINISH TO MATCH PLASTER TEXTURE	

GENERAL CEILING NOTES	
APPLIES TO ALL CEILINGS UNLESS NOTED OTHERWISE (UNLESS BELOW OR ON PLANS)	
1. ALL CEILINGS TO HAVE 1/2" DRYWALL W/ LV4 FINISH	
2. ALL CEILINGS IN WET AREAS TO 1/2" MR DRYWALL W/ LV4 FINISH	
3. PATCH PLASTER CEILINGS W/ DRYWALL + FINISH TO MATCH PLASTER TEXTURE	

GENERAL TRIM NOTES	
APPLIES TO ALL TRIM UNLESS OTHERWISE NOTED BELOW OR ON PLANS	
1. SALVAGE ALL TRIM AS POSSIBLE FOR REUSE IN MOOPIED AREAS. PULL NAILS + STORE FLAT	
2. USE SALVAGED TRIM AS POSSIBLE IN EXISTING AREAS WHERE TRIM HAS BEEN MODIFIED. REPLACE ALL TRIM THROUGHOUT SPACE IF SALVAGED MTL'S ARE NOT AVAILABLE	
3. BASE TO BE PTD 1X6 W/ BASE CAP TO MATCH EXISTING AS POSSIBLE USING 5/8" MTL'S	
4. CASING TO BE PTD 1X6 PTD CASING W/ MITERED CORNERS TO MATCH 1ST LEVEL AS POSSIBLE USING 5/8" MTL'S U.N.O.	
5. CROWN TO BE 1-1/2" PTD CASING W/ MITERED CORNERS TO MATCH 1ST LEVEL AS POSSIBLE USING 5/8" MTL'S U.N.O.	

INTERIOR PAINT/PAPER NOTES	
APPLIES TO ALL PAINTING UNLESS OTHERWISE NOTED BELOW OR ON PLANS	
1. PAINT WALLS, CEILING + TRIM THROUGHOUT ENTIRE HOUSE - SEE FF#1 FOR PAINT SCHEDULE	
2. SEE AREAS OF STAINED WOOD (SHD) - SEE FF#1	

FINISH SCHEDULE KEY	
SEE FINISH SCHEDULE FOR ADDL DETAILS	
	TILE WALL TO CLG.
	BLACK OUT
	WINDOW INFILL
	WALLPAPER OR SIM. WALL FINISH
	TILE BACKSPASH
	PAINT EXISTING
	BRICK CHIMNEY
	LOWER DRYWALL CEILING 7'-9" AFF.
	LOWER DRYWALL CEILING 7'-6" AFF.
	PTD 1X6 V-GROOVE CEILING
	SOUND INSULATION

CASEWORK/BUILT-INS		PILL
1. DEN FLOOR TO CEILING BUILT IN OPEN SHELF BOOKCASE - SEE FF#1		B 01
2. BAR 30" (W) BAR CABINET W/ 3 DAW BASE + OVERHEAD CAB. W/ GLASS DOORS		B 02
3. BAR 30" (W) BASE W/ U.C. WINE REFRIG. + OVERHEAD CAB. W/ GLASS DOORS		B 03
4. KITCHEN 3'-0" (L) ISLAND - SEE FF#9		B 04
5. KITCHEN 16'-3" RANGE WALL CABINETS + FULL HGT. CAPS		B 05
6. SCULLERY 7'-6" BASE + OVERHEAD CABINETS		B 06
7. SCULLERY OPEN SHELVES		B 07
8. HALF BATH 36" PREFAB VANITY COUNTER + SINK		B 08
9. BATH #1 36" PREFAB VANITY COUNTER + SINK		B 09
10. BATH #2 36" PREFAB VANITY COUNTER + SINK		B 10
11. LIVING ROOM 24" (H) X 40" (W) X 20" (D) BUILT IN CAB		B 11
12. LIVING ROOM 24" (H) X 40" (W) X 20" (D) BUILT IN CAB		B 12
13. MEZZANINE FULL HGT. OPEN BOOKCASE 14'-8" (W) X 8" (H) X 12" (D)		B 13
14. BED HALL 12" (W) X 8" (H) X 12" (D) OPEN BOOKCASE W/ MURPHY DOOR		B 14
15. JACKRILL BATH 2' PREFAB VANITY W/ TOP + SINK		B 15
16. JACKRILL BATH 2' PREFAB VANITY W/ TOP + SINK		B 16
17. PRIMARY BATH 4'-6" CUSTOM VANITY (2)		B 17
18. PRIMARY CLOSET 3' (W) X 8' (H) X 2' (D) FULL HEIGHT LINEN CABINET		B 18
19. PRIMARY CLOSET CLOSET SYSTEM BY CLIENT - NOT IN SCOPE		B 19
20. LAUNDRY BASE + OVERHEAD CABINETS		B 20
21. BASEMENT BAR 5'-6" (W) BASE CABINETS W/ INSERT UPFRS CABINETS		B 21
22. BSMT BATH 3' PREFAB VANITY W/ TOP + SINK		B 22
23. BSMT KITCHEN 9' (W) BASE CABINETS W/ 12" DP OVERHEAD - NOT IN SCOPE - ROUGH IN PLUMBING FOR SINK ONLY		B 23
24. TERRACE ROOM 8'-6" (W) X 3'-6" (H) BUILT IN SIDE TABLE		B 24

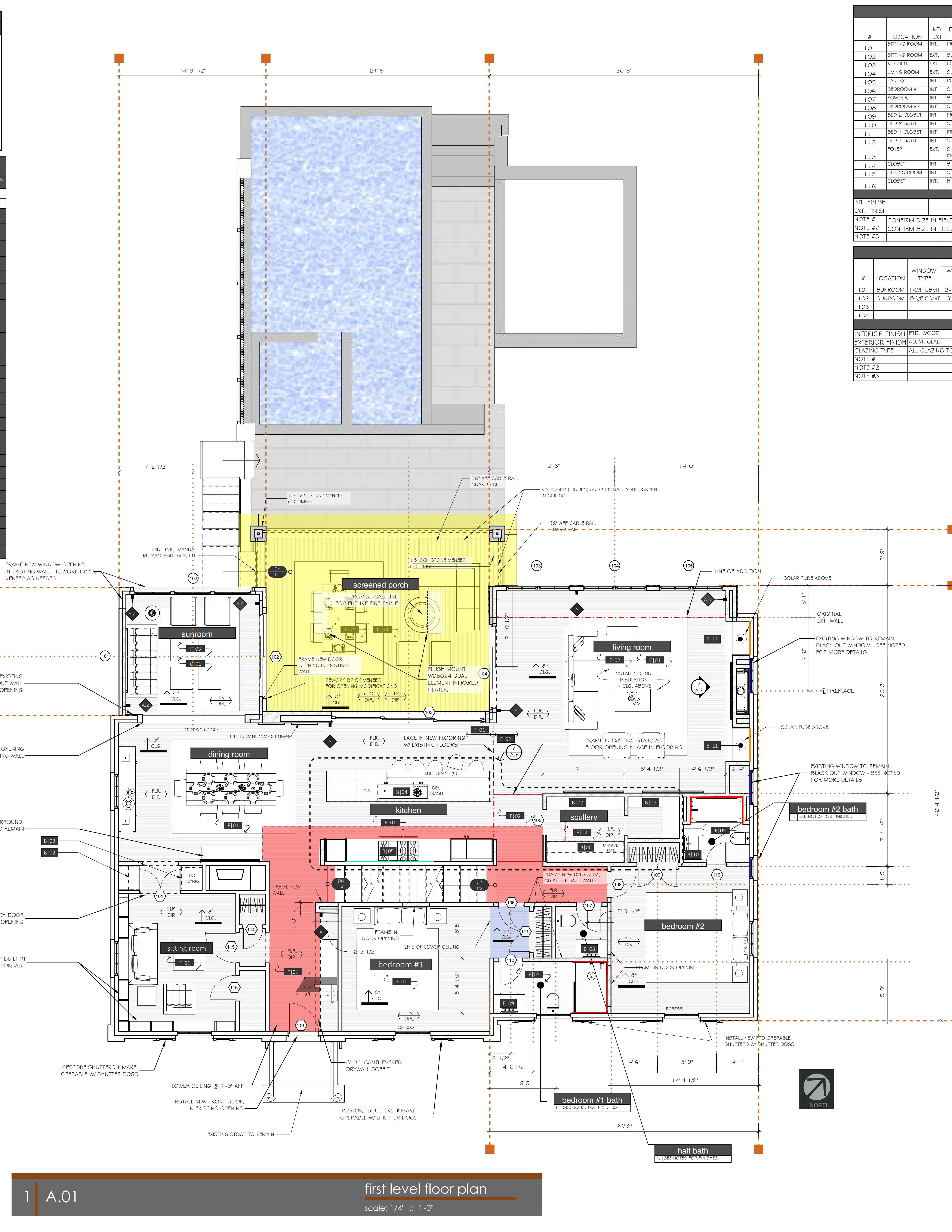
GENERAL FLOORING		PILL
1. EXISTING OAK FLOORING TO REMAIN		F 01
2. NEW OAK FLOORING TO MATCH EXISTING IN SIZE, GRADE + SPECIES		F 02
3. INSTALL NEW OAK FLOORING TO MATCH EXISTING IN SIZE, GRADE + SPECIES ON SLEEPERS OVER EXISTING SLAB		F 03
4. INDEPENDENT LVL DECKING		F 04
5. NEW TILE FLOOR (FLUSH W/ OAK FLOORING)		F 05
6. STAIN EXISTING CONC. SLAB		F 06
7. OVERLAP PORCELAIN PAVES ON SLAB		F 07

GENERAL WALL FINISHES		PILL
1. WALLS IN GARAGES TO BE 5/8" TYPE X FIRE RATED DRYWALL - LV4 FINISH		W 01
2. FLES ON WALLS TO CEILING IN SHOWER SURROUND		W 02

GENERAL CEILING DETAILS		PILL
1. NEW 1/2" DRYWALL		C 01
2. CEILINGS IN GARAGES TO BE 5/8" TYPE X FIRE RATED DRYWALL - LV4 FINISH		C 02
3. PTD 1X6 1X6 PINE CEILING		C 03
4. OPEN JOISTS ABOVE		C 04

GENERAL TRIM DETAILS		PILL
1. 1 1/2" DP BUILT IN BOOKCASE		T 01

INTERIOR PAINT/PAPER		PILL
1. 1 1/2" DP BUILT IN BOOKCASE		P 01



DOOR SCHEDULE - 1ST LEVEL												
#	LOCATION	INT/EXT	DOOR TYPE	SLAB TYPE	UNIT DESCRIPTION				FRAME DEPTH	LITE PTRN	HARDWARE	GENERAL NOTES
					DOOR SIZE	UNIT SIZE	SIGHTLIT #	MULL. TRANSOM				
101	SITTING ROOM	INT.	FRENCH	FULL LITE	4'-0"X7'-0"	4'-0"X7'-0"	NA	NA	4'-9 1/2"	BL	FRENCH	SEE NOTE #1
102	SITTING ROOM	EXT.	SLIDING	FULL LITE	8'-0"X8'-0"	8'-0"X8'-0"	NA	NA	4'-9 1/2"	IL	INTEGRAL	
103	KITCHEN	EXT.	FOLDING	FULL LITE	15'-0"X8'-0"	15'-0"X8'-0"	NA	NA	4'-9 1/2"	IL	INTEGRAL	
104	LIVING ROOM	EXT.	SLIDING	FULL LITE	8'-0"X8'-0"	8'-0"X8'-0"	NA	NA	4'-9 1/2"	IL	INTEGRAL	
105	PANTRY	INT.	POCKET	1-PANEL	2'-6"X7'-0"		NA	NA	4'-9 1/2"	NA	POCKET	
106	BEDROOM #1	INT.	SINGLE	1-PANEL	2'-6"X7'-0"		NA	NA	4'-9 1/2"	NA	PVCY	
107	POWDER	INT.	SINGLE	1-PANEL	2'-6"X7'-0"		NA	NA	4'-9 1/2"	NA	PVCY	
108	BEDROOM #2	INT.	SINGLE	1-PANEL	2'-6"X7'-0"		NA	NA	4'-9 1/2"	NA	PVCY	
109	BED 2 CLOSET	INT.	FRENCH	1-PANEL	4'-0"X7'-0"		NA	NA	4'-9 1/2"	NA	FRENCH	
110	BED 2 BATH	INT.	SINGLE	1-PANEL	2'-6"X7'-0"		NA	NA	4'-9 1/2"	NA	PVCY	
111	BED 1 CLOSET	INT.	FRENCH	1-PANEL	4'-0"X7'-0"		NA	NA	4'-9 1/2"	NA	FRENCH	
112	BED 1 BATH	INT.	SINGLE	1-PANEL	2'-6"X7'-0"		NA	NA	4'-9 1/2"	NA	PVCY	
113	FOYER	EXT.	SINGLE	3/4 LIGHT	3'-0"X 7'-0"		NA	NA	4'-9 1/2"	BL	ENTRY	SEE NOTE #2
114	CLOSET	INT.	SINGLE	1-PANEL	2'-0"X7'-0"		NA	NA	4'-9 1/2"	NA	PVCY	SEE NOTE #1
115	SITTING ROOM	INT.	SINGLE	FULL LITE	3'-0"X 7'-0"		NA	NA	4'-9 1/2"	10L	ENTRY	SEE NOTE #1
116	CLOSET	INT.	HIDDEN	HIDDEN	2'-6"X7'-0"						KNOB	SEE NOTE #1

DOOR NOTES			
INT. FINISH		THRESH	
EXT. FINISH		GLAZING	HDWR FIN.
NOTE #1	CONFIRM SIZE IN FIELD. INSTALL NEW DOOR SLAB IN EXISTING OPENING		
NOTE #2	CONFIRM SIZE IN FIELD. INSTALL NEW DOOR UNIT W/ JAMB + THRESHOLD IN EXISTING OPENING		
NOTE #3			

WINDOW SCHEDULE - 1ST LEVEL										
#	LOCATION	WINDOW TYPE	DESCRIPTION			FRAME DEPTH	SCREEN	LITE PATTERN	GENERAL NOTES	REUSE
			# MULL. UNITS	WIDTH	UNIT SIZE					
101	SUNROOM	F101 CSMT	2-11'0"X6'-6"	3	4'-5"	9'-3"X6'-6"	4'-9 1/2"	YES	BL	
102	SUNROOM	F101 CSMT	3-6'X6'-6"	3	4'-5"	11'-3"X6'-6"	4'-9 1/2"	YES	BL	
103							4'-9 1/2"	YES		
104							4'-9 1/2"	YES		

WINDOW NOTES			
INTERIOR FINISH	PTD. WOOD	COLO	SEE FF#1
EXTERIOR FINISH	ALUM. CLAD	COLO	SEE FF#1
GLAZING TYPE	ALL GLAZING TO BE IG LOW-E UNLESS NOTES OTHERWISE		
NOTE #1	SCREEN PROVIDE SCREEN FOR ALL OPERABLE WINDOWS		
NOTE #2	HARDWARE MATCH EXISTING		
NOTE #3			

**GUARD RAIL NOTES:**

- GUARD RAIL TO BE INSTALLED ALONG ALL OPEN SIDED WALKING SURFACES INCLUDING STAIRWAYS, PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE BELOW.
- GUARD RAIL HEIGHT TO BE A MINIMUM OF 36" TALL. GUARD RAIL MAY BE 34" OR HIGHER ON OPEN FACES OF STAIRWAYS
- BALUSTERS OR ORNAMENTAL CLOSURES MUST NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.
- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

**STAIRWAY NOTES:**

- THE HEIGHT OF A HANDRAIL IS A MINIMUM OF 34" AND NOT MORE THAN 38" AS MEASURED FROM THE NOSE OF THE TREAD.
- A HANDRAIL IS REQUIRED ON AT LEAST ONE SIDE OF EACH STAIRWAY HAVING 4 OR MORE RISERS.
- HANDRAILS ARE CONTINUOUS THE FULL LENGTH OF THE STAIRS, THE ENDS OF THE HANDRAILS RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
- MINIMUM CLEARANCE BETWEEN WALL AND HANDRAIL IS 1-1/2"
- STAIRWAYS ARE REQUIRED TO HAVE MINIMUM 6'-8" CLEARANCE OF HEADROOM AT THE NOSE OF THE TREAD.
- RISER HEIGHT NOT TO EXCEED 7-3/4"
- TREAD DEPTH TO BE A MINIMUM OF 10" DEEP.
- NOSING REQUIRED ON WHEN RISERS ARE SOLID AND TREAD DEPTH IS LESS THAN 1-1/4". NOSING MINIMUM 3/4" AND MAXIMUM 1-1/4"
- ACCESSIBLE ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE X GYPSUM WALL BOARD ON WALL AND CEILING.
- STAIRWAY ILLUMINATION: IN THE IMMEDIATE VICINITY OF EACH LANDING OF STAIR OR LIGHT DIRECTLY OVER EACH STAIR SECTION, EXTERIOR STAIRS TO BASEMENT FROM GRADE LEVEL MUST HAVE LIGHT IN THE IMMEDIATE VICINITY OF THE LOWER LANDING.

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**gratton residence**  
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**DOCUMENT DATE:**  
April 8, 2026  
**JOB PHASE:**  
COMBINED CONCEPTUAL

**DRAWN BY:**  
Eric Rothman

**CHECKED BY:**  
Eric Rothman

**A.01**  
first level plan

1 A.01 first level floor plan  
scale: 1/4" :: 1'-0"

COMBINED CONCEPTUAL DRAWING  
This drawing is not intended to be used for final contract pricing or fabrication purposes. This drawing is conceptual pricing & editing only. All content is subject to change.

DRAWING KEY		PARTITION SCHEDULE	
	EXISTING 2X4 WALL		EXISTING WALL
	NEW 2X4 WALL		2X4 WALL
	NEW 2X6(+ ) WALL		2X4 WALL W/ 5/8" TYPE X DRYWALL
	STONEMASONRY		1/2" DRYWALL ON 2X2 FURR STRIPS ON EXISTING MASONRY WALL W/ RIGID INSULATION, WOOD FRAME NEW OPENINGS
	LINE OF ADDITION ELEVATION		2X6 WALL
	SPOT ELEVATION		MASONRY/POURED WALL
	CENTER LINE		
	FLAT CEILING HEIGHT		
	PERSPECTIVE VIEW		
	DETAIL PLAN CALLOUT		

FINISH SCHEDULE KEY	
	TILE WALL TO CLG.
	BLACK OUT
	WINDOW INFILL
	WALLPAPER OR SIM. WALL FINISH
	TILE BACKSPASH
	PAINT EXISTING
	BRICK CHIMNEY
	LOWER DRYWALL CEILING 7'-9" AFF
	PTD 1X6 V-GROOVE CEILING
	LOWER DRYWALL CEILING 7'-6" AFF
	SOUND INSULATION

GENERAL FLOOR NOTES	
APPLIES TO ALL FLOORING UNLESS NOTED OTHERWISE (UNLESS NOTED ON PLANS)	
1.	BAND & REFINISH ALL FLOORS W/ STAIN & 3-COATS MATTE POLY URETHANE OVER ON PLANS
2.	PATCH EXISTING FLOOR W/ MATCHING SELECT OAK & LACE IN AS NEEDED
3.	SEE ELEVATION CALL OUT, IF PRESENT, FOR FURTHER DETAILS
3.	NEW FLOORING TO MATCH EXISTING SIZE & SPECIES AS POSS. STAIN & FINISH TO MATCH

CASEWORK/CUSTOM BUILT-TINS/DETAILS	
APPLIES THROUGHOUT UNLESS OTHERWISE NOTED BELOW OR ON PLANS	
1.	VANITY CABINETS TO BE PREFAB UNITS W/ COUNTERTOP UND
2.	SEE ELEVATION CALL OUT, IF PRESENT, FOR FURTHER DETAILS

CASEWORK/BUILT-INS		PILL
1.	DEK	B 01
2.	BAR	B 02
3.	BAR	B 03
4.	KITCHEN	B 04
5.	KITCHEN	B 05
6.	SCULLERY	B 06
7.	SCULLERY	B 07
8.	HALF BATH	B 08
9.	BATH #1	B 09
10.	BATH #2	B 10
11.	LIVING ROOM	B 11
12.	LIVING ROOM	B 12
13.	MEZZANINE	B 13
14.	BED HALL	B 14
15.	JACK&JILL BATH	B 15
16.	JACK&JILL BATH	B 16
17.	PRIMARY BATH	B 17
18.	PRIMARY CLOSET	B 18
19.	PRIMARY CLOSET	B 19
20.	LAUNDRY	B 20
21.	BASEMENT BAR	B 21
22.	BSMT BATH	B 22
23.	BSMT. KITCHEN	B 23
24.	TERRACE ROOM	B 24

GENERAL WALL NOTES	
APPLIES TO ALL WALLS UNLESS NOTED OTHERWISE (UNLESS NOTED ON PLANS)	
1.	ALL WALLS TO HAVE 1/2" DRYWALL W/ LV4 FINISH
2.	ALL WALLS IN WET AREAS TO 1/2" MR DRYWALL W/ LV4 FINISH
3.	PATCH PLASTER WALLS W/ DRYWALL & FINISH TO MATCH PLASTER TEXTURE

ALTERNATE WALL FINISHES		PILL
1.	WALLS IN GARAGES TO BE 5/8" TYPE X FIRE RATED DRYWALL - LV4 FINISH	W 01
2.	TILES ON WALLS TO CEILING IN SHOWER SURROUND	W 02

GENERAL CEILING NOTES	
APPLIES TO ALL CEILINGS UNLESS NOTED OTHERWISE (UNLESS NOTED ON PLANS)	
1.	ALL CEILINGS TO HAVE 1/2" DRYWALL W/ LV4 FINISH
2.	ALL CEILINGS IN WET AREAS TO 1/2" MR DRYWALL W/ LV4 FINISH
3.	PATCH PLASTER CEILINGS W/ DRYWALL & FINISH TO MATCH PLASTER TEXTURE

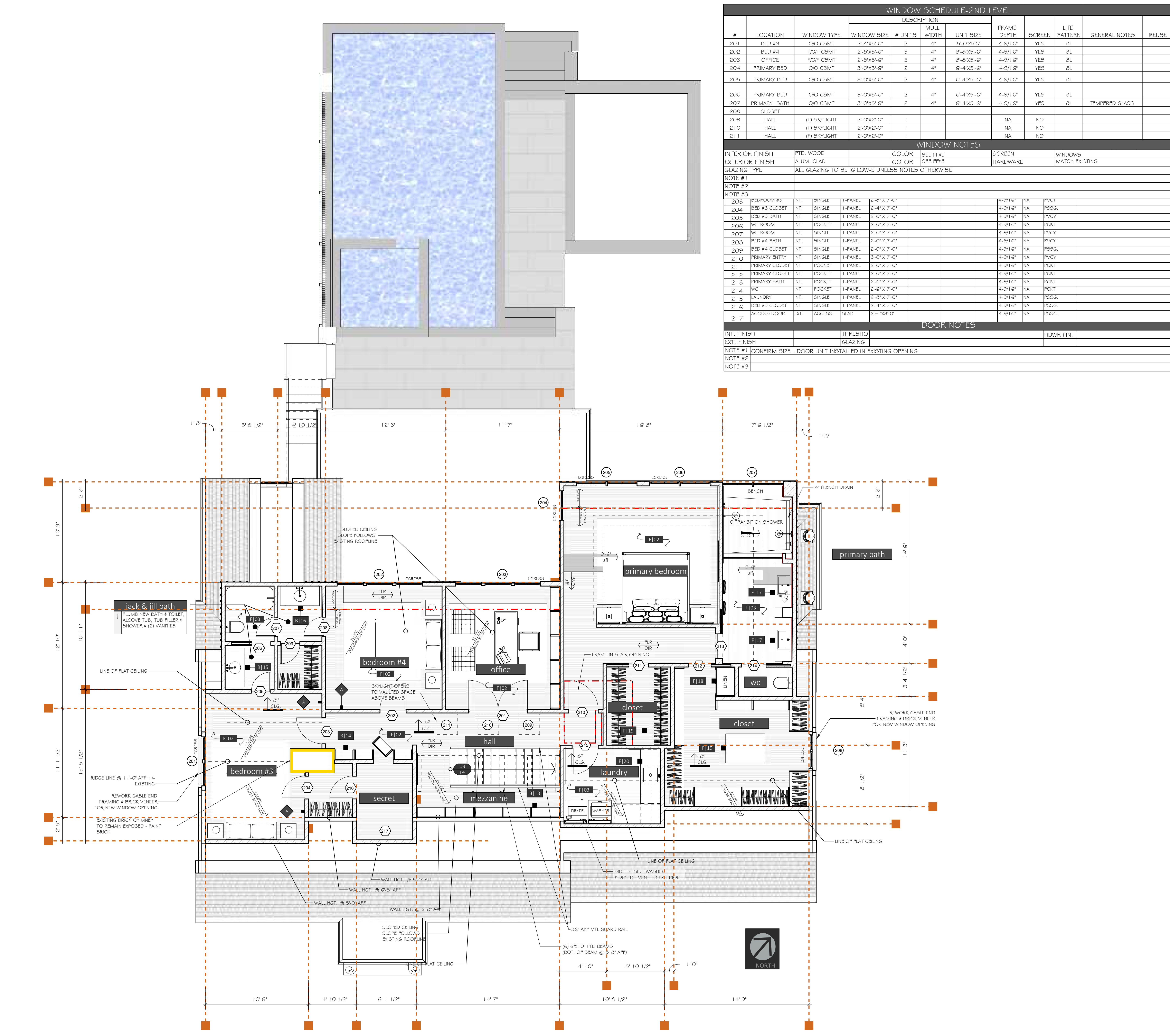
CEILING DETAILS		PILL
1.	NEW 1/2" DRYWALL	C 01
2.	CEILINGS IN GARAGES TO BE 5/8" TYPE X FIRE RATED DRYWALL - LV4 FINISH	C 02
3.	PTD 1X6 1X6 PINE CEILING	C 03
4.	OPEN JOISTS ABOVE	C 04

GENERAL TRIM NOTES	
APPLIES TO ALL TRIM UNLESS OTHERWISE NOTED BELOW OR ON PLANS	
1.	SALVAGE ALL TRIM AS POSSIBLE FOR REUSE IN MOOPIED AREAS. PULL NAILS & STORE FLAT
2.	USE SALVAGED TRIM AS POSSIBLE IN EXISTING AREAS WHERE TRIM HAS BEEN MODIFIED. REPLACE ALL TRIM THROUGHOUT SPACE IF SALVAGED MTL'S ARE NOT AVAILABLE
3.	BASE TO BE PTD 1X6 W/ BASE CAP TO MATCH EXISTING AS POSSIBLE USING S.I.S. MTL'S
4.	CASING TO BE PTD 1X6 CASING W/ MITERED CORNERS TO MATCH 1ST LEVEL AS POSSIBLE USING S.I.S. MTL'S U.N.O.
5.	CROWN TO BE 1-7/8" PTD CASING W/ MITERED CORNERS TO MATCH 1ST LEVEL AS POSSIBLE USING S.I.S. MTL'S U.N.O.

ALTERNATE TRIM DETAILS		PILL
		T 01

INTERIOR PAINT/PAPER NOTES	
APPLIES TO ALL PAINTING UNLESS OTHERWISE NOTED BELOW OR ON PLANS	
1.	PAINT WALLS, CEILING & TRIM THROUGHOUT ENTIRE HOUSE - SEE FF&E FOR PAINT SCHEDULE
2.	SEE AREAS OF STAINED WOOD (SHD) - SEE FF&E

ALTERNATE DETAILS		PILL
		P 01

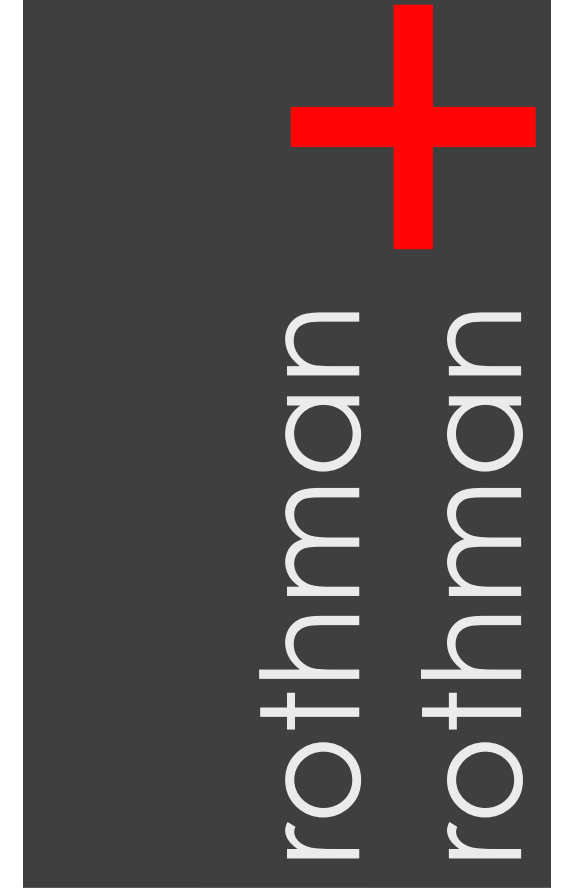


WINDOW SCHEDULE-2ND LEVEL											
#	LOCATION	WINDOW TYPE	WINDOW SIZE	# UNITS	DESCRIPTION						REUSE
					MULL WIDTH	UNIT SIZE	FRAME DEPTH	SCREEN	LITE PATTERN	GENERAL NOTES	
201	BED #3	OIO CSMT	2'-4"X5'-6"	2	4"	5'-0"X5'-6"	4-5/16"	YES	8L		
202	BED #4	FIOF CSMT	2'-8"X5'-6"	3	4"	8'-8"X5'-6"	4-5/16"	YES	8L		
203	OFFICE	FIOF CSMT	2'-8"X5'-6"	3	4"	8'-8"X5'-6"	4-5/16"	YES	8L		
204	PRIMARY BED	OIO CSMT	3'-0"X5'-6"	2	4"	6'-4"X5'-6"	4-5/16"	YES	8L		
205	PRIMARY BED	OIO CSMT	3'-0"X5'-6"	2	4"	6'-4"X5'-6"	4-5/16"	YES	8L		
206	PRIMARY BED	OIO CSMT	3'-0"X5'-6"	2	4"	6'-4"X5'-6"	4-5/16"	YES	8L		
207	PRIMARY BATH	OIO CSMT	3'-0"X5'-6"	2	4"	6'-4"X5'-6"	4-5/16"	YES	8L	TEMPERED GLASS	
208	CLOSET										
209	HALL	(F) SKYLIGHT	2'-0"X2'-0"	1				NA	NO		
210	HALL	(F) SKYLIGHT	2'-0"X2'-0"	1				NA	NO		
211	HALL	(F) SKYLIGHT	2'-0"X2'-0"	1				NA	NO		

WINDOW NOTES			
INTERIOR FINISH	PTD. WOOD	COLOR	SEE FF&E
EXTERIOR FINISH	ALUM. CLAD	COLOR	SEE FF&E
GLAZING TYPE	ALL GLAZING TO BE IG LOW-E UNLESS NOTES OTHERWISE		
SCREEN	HARDWARE		
WINDOWS	MATCH EXISTING		

DOOR NOTES			
INT. FINISH	THRESHD		
EXT. FINISH	GLAZING		HDWR FIN.
NOTE #1 CONFIRM SIZE - DOOR UNIT INSTALLED IN EXISTING OPENING			
NOTE #2			
NOTE #3			

1 | A.02 second level floor plan scale: 1/4" = 1'-0"



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April 8, 2026

**CHECKED BY:**  
Eric Rothman

**JOB PHASE:**  
COMBINED CONCEPTUAL



**A.02**  
second level plan

COMBINED CONCEPTUAL DRAWING  
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**DRAWING KEY**

- EXISTING 2X4 WALL
- NEW 2X4 WALL
- NEW 2X6(+) WALL
- STONEMASONRY
- WINDOW CALLOUT
- DOOR CALLOUT
- EXT. FIN. CALLOUT
- PERSPECTIVE VIEW
- ADDITION ELEVATION CALLOUT
- SPOT ELEVATION
- CENTER LINE
- FLAT CEILING HEIGHT
- CEILING PROFILE

**FINISH SCHEDULE KEY**

- SEE FINISH SCHEDULE FOR ADDL DETAILS
- TILE WALL TO CLG.
- BLACK OUT
- WINDOW INFILL
- WALLPAPER OR SIM. WALL FINISH
- TILE BACKSPLASH
- PAINT EXISTING
- BRICK CHIMNEY
- LOWER DRYWALL CEILING 7'-9" AFF.
- PTD 1X6 V-GROOVE CEILING
- LOWER DRYWALL CEILING 7'-6" AFF.
- SOUND INSULATION

**PARTITION SCHEDULE**

ALL INTERIOR & EXTERIOR WALLS ARE 2X4 UNLESS NOTED OTHERWISE (UNO)

- EXISTING WALL
- 2X4 WALL
- 2X4 WALL W/ 5/8" TYPE X DRYWALL
- 1/2" DRYWALL ON 2X2 FURR STRIPS ON EXISTING MASONRY WALL W/ RIGID INSULATION, WOOD FRAME NEW OPENINGS
- 2X6 WALL
- MASONRY/POURED WALL

**GENERAL FLOOR NOTES**

APPLIES TO ALL FLOORING UNLESS NOTED OTHERWISE (UNO) OR ON PLANS

- SAND & REFINISH ALL FLOORS W/ STAIN & 3-COATS MATTE POLY URETHANE OVER ON PLANS
- PATCH EXISTING FLOOR W/ MATCHING SELECT OAK & LACE IN AS NEEDED
- NEW FLOORING TO MATCH EXISTING SIZE & SPECIES AS POSS. STAIN & FINISH TO MATCH

**FLOORING DETAILS**

NO.	DESCRIPTION	PILL
1	EXISTING OAK FLOORING TO REMAIN	FJ01
2	NEW OAK FLOORING TO MATCH EXISTING IN SIZE, GRADE & SPECIES	FJ02
3	INSTALL NEW OAK FLOORING TO MATCH EXISTING IN SIZE, GRADE & SPECIES ON SLEEPERS OVER EXISTING SLAB	FJ03
4	IMPERVIOUS 1X4 DECKING	FJ04
5	NEW TILE FLOOR (FLUSH W/ OAK FLOORING)	FJ05
6	STAIN EXISTING CONC. SLAB	FJ06
7	OVERSIZED PORCELAIN PAVERS ON SLAB	FJ07

**GENERAL WALL NOTES**

APPLIES TO ALL WALLS UNLESS NOTED OTHERWISE (UNO) BELOW OR ON PLANS

- ALL WALLS TO HAVE 1/2" DRYWALL W/ LVL 4 FINISH
- ALL WALLS IN WET AREAS TO 1/2" MR DRYWALL W/ LVL 4 FINISH

**ALTERNATE WALL FINISHES**

NO.	DESCRIPTION	PILL
1	WALLS IN GARAGES TO BE 5/8" TYPE X FIRE RATED DRYWALL - LVL 4 FINISH	WJ01
2	TILES ON WALLS TO CEILING IN SHOWER SURROUND	WJ02

**GENERAL CEILING NOTES**

APPLIES TO ALL CEILINGS UNLESS NOTED OTHERWISE (UNO) BELOW OR ON PLANS

- ALL CEILINGS TO HAVE 1/2" DRYWALL W/ LVL 4 FINISH
- ALL CEILINGS IN WET AREAS TO 1/2" MR DRYWALL W/ LVL 4 FINISH

**CEILING DETAILS**

NO.	DESCRIPTION	PILL
1	NEW 1/2" DRYWALL	CJ01
2	CEILINGS IN GARAGES TO BE 5/8" TYPE X FIRE RATED DRYWALL - LVL 4 FINISH	CJ02
3	PTD 1X6 PINE CEILING	CJ03
4	OPEN JOISTS ABOVE	CJ04

**GENERAL TRIM NOTES**

APPLIES TO ALL TRIM UNLESS OTHERWISE NOTED BELOW OR ON PLANS

- SALVAGE ALL TRIM AS POSSIBLE FOR REUSE IN MODIFIED AREAS. PULL NAILS & STORE FLAT
- USE SALVAGED TRIM AS POSSIBLE IN EXISTING AREAS WHERE TRIM HAS BEEN MODIFIED. REPLACE ALL TRIM THROUGHOUT SPACE IF SALVAGED MTL'S ARE NOT AVAILABLE
- BASE TO BE PTD 1X6 W/ BASE CAP TO MATCH EXISTING AS POSSIBLE USING 5/8" MTL'S
- CASING TO BE PTD 1X6 PTD CASING W/ MITERED CORNERS TO MATCH 1ST LEVEL AS POSSIBLE USING 5/8" MTL'S U.N.O.
- CROWN TO BE 1" FC PTD CASING W/ MITERED CORNERS TO MATCH 1ST LEVEL AS POSSIBLE USING 5/8" MTL'S U.N.O.

**ALTERNATE TRIM DETAILS**

NO.	DESCRIPTION	PILL
1		TJ01

**INTERIOR PAINT/PAPER NOTES**

APPLIES TO ALL PAINTING UNLESS OTHERWISE NOTED BELOW OR ON PLANS

- PAINT WALLS, CEILING & TRIM THROUGHOUT ENTIRE HOUSE - SEE FF&P FOR PAINT SCHEDULE
- SEE AREAS OF STAINED WOOD (STND) - SEE FF&P

**ALTERNATE DETAILS**

NO.	DESCRIPTION	PILL
1		PJ01

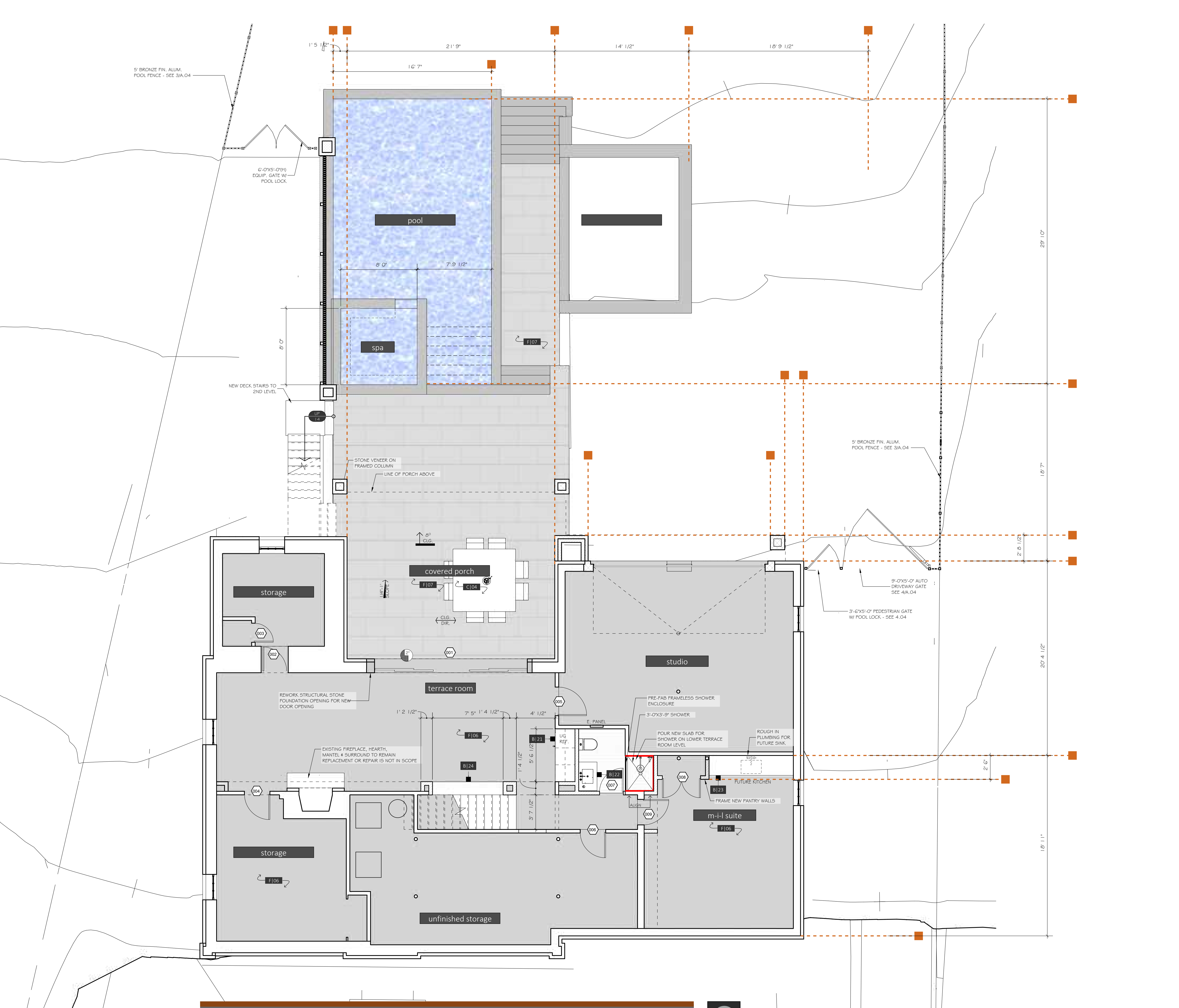
**CASEWORK/CUSTOM BUILT-INS/DETAILS**

APPLIES THROUGHOUT UNLESS OTHERWISE NOTED BELOW OR ON PLANS

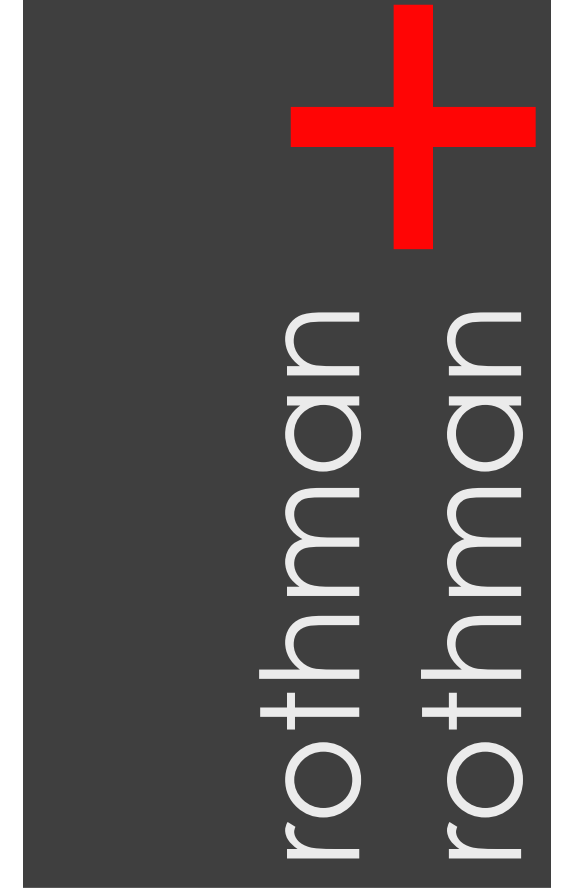
- VANITY CABINETS TO BE PREFAB UNITS W/ COUNTERTOP UNO
- SEE ELEVATION CALLOUT, IF PRESENT, FOR FURTHER DETAILS

**CASEWORK/BUILT-INS**

NO.	DESCRIPTION	PILL
1	DEK FLOOR TO CEILING BUILT IN OPEN SHELF BOOKCASE - SEE 3/A.2	Bj01
2	BAR 30" (W) BAR CABINET W/ 3-DWR BASE & OHEAD CAB. W/ GLASS DOORS	Bj02
3	BAR 30" (W) BASE W/ U.C. WINE REFRIG. & OHEAD CAB. W/ GLASS DOORS	Bj03
4	KITCHEN 3'-0"X1'-0" ISLAND - SEE 3/A.2??	Bj04
5	KITCHEN 16'-3" RANGE WALL CABINETS & FULL HGT. CAB'S	Bj05
6	SCULLERY 7'-4" BASE & OVERHEAD CABINETS	Bj06
7	SCULLERY OPEN SHELVES	Bj07
8	HALF BATH 36" PREFAB VANITY COUNTER & SINK	Bj08
9	BATH #1 36" PREFAB VANITY COUNTER & SINK	Bj09
10	BATH #2 36" PREFAB VANITY COUNTER & SINK	Bj10
11	LIVING ROOM 24" (H) X 40" (W) X 20" (D) BUILT IN CAB	Bj11
12	DINING ROOM 24" (H) X 40" (W) X 20" (D) BUILT IN CAB	Bj12
13	MEZZANINE FULL HGT. OPEN BOOKCASE 1'-4" (H) (W) X 8' (L) X 12" (D)	Bj13
14	BED HALL 8" (W) X 8" (H) X 12" (D) OPEN BOOKCASE W/ MURPHY DOOR	Bj14
15	JACKMILL BATH 4" PREFAB VANITY W/ TOP & SINK	Bj15
16	JACKMILL BATH 4" PREFAB VANITY W/ TOP & SINK	Bj16
17	PRIMARY BATH 4'-0" CUSTOM VANITY (2)	Bj17
18	PRIMARY CLOSET 3' (W) X 8' (H) X 2' (D) FULL HEIGHT LINEN CABINET	Bj18
19	PRIMARY CLOSETS CLOSET SYSTEM BY CLIENT - NOT IN SCOPE	Bj19
20	LAUNDRY BASE & OVERHEAD CABINETS	Bj20
21	BASEMENT BAR 5'-0" (W) BASE CABINETS W/ UNDER UPPER CABINETS	Bj21
22	BSMT BATH 3' PREFAB VANITY W/ TOP & SINK	Bj22
23	BSMT KITCHEN 8" (W) BASE CABINETS W/ 12" DP, OVERHEAD - NOT IN SCOPE - ROUGH IN PLUMBING FOR SINK ONLY	Bj23
24	TERRACE ROOM 8'-6" (W) X 36" (H) BUILT IN SIDE TABLE	Bj24



1 | A.03  
 basement level floor plan  
 scale: 1/4" :: 1'-0"



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**graffton residence**  
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 Eric Rothman

**DOCUMENT DATE:**  
 April 8, 2026

**CHECKED BY:**  
 Eric Rothman

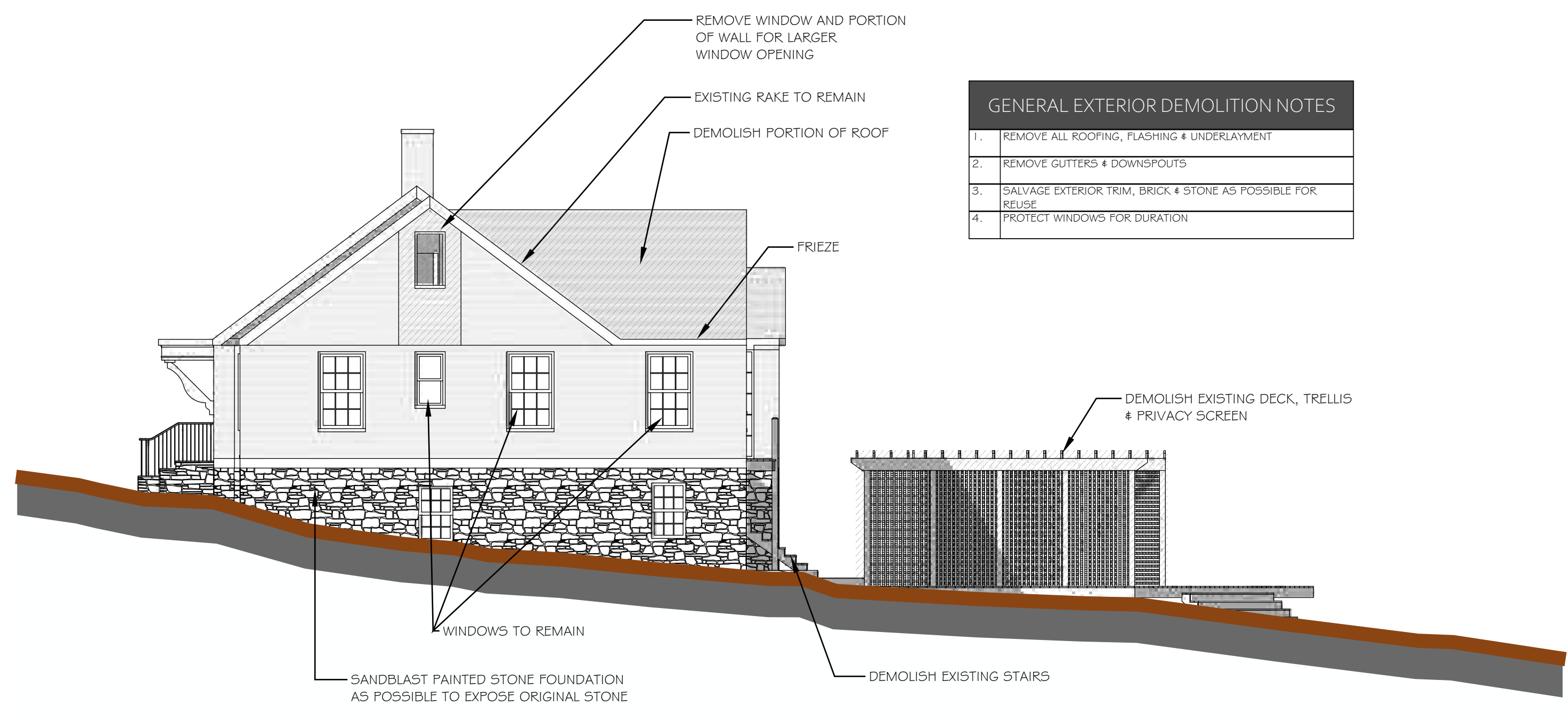
**JOB PHASE:**  
 COMBINED CONCEPTUAL



**A.03**  
 basement level plan

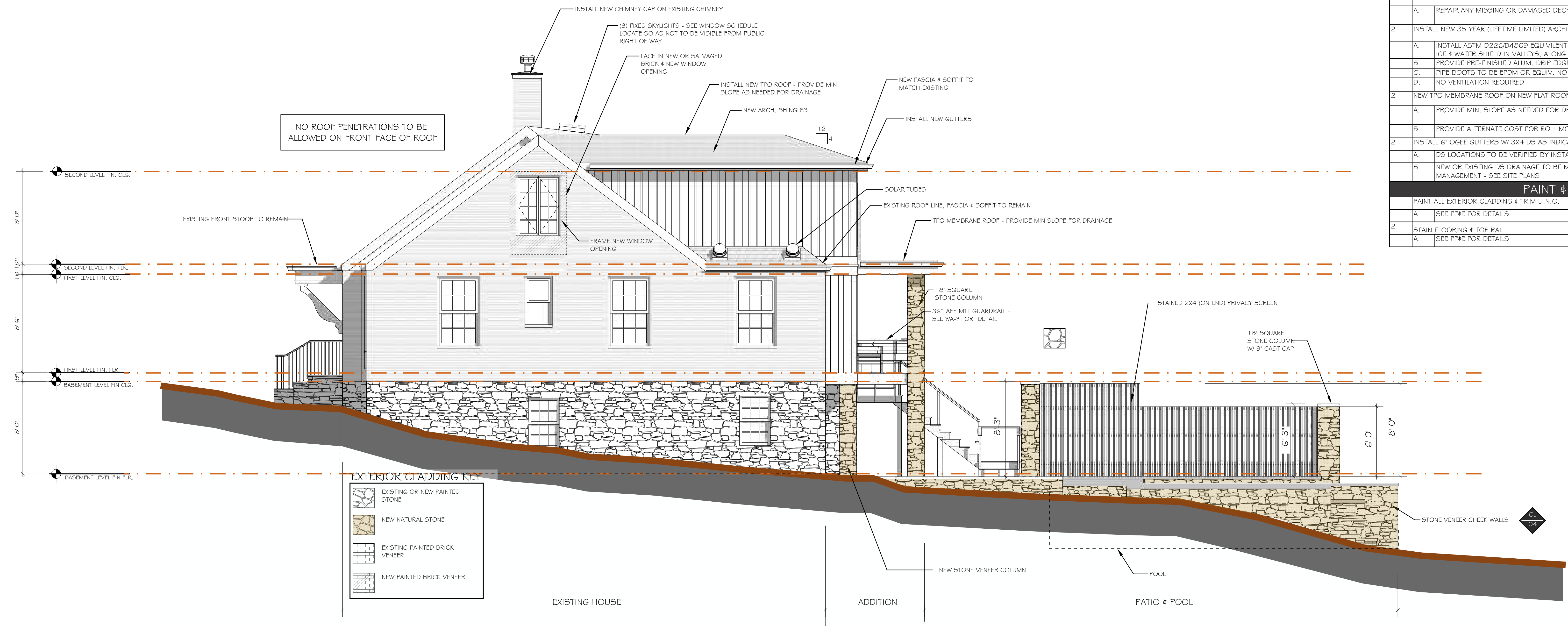
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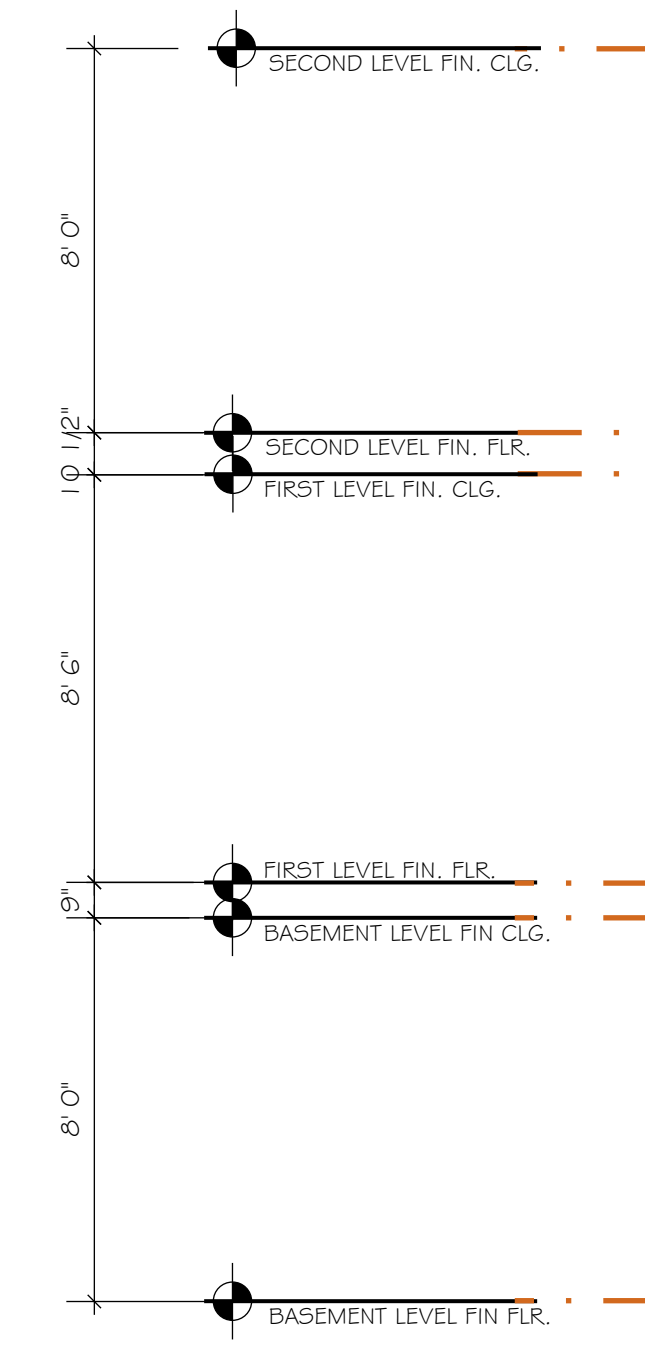


GENERAL EXTERIOR DEMOLITION NOTES	
1.	REMOVE ALL ROOFING, FLASHING & UNDERLAYMENT
2.	REMOVE GUTTERS & DOWNSPOUTS
3.	SALVAGE EXTERIOR TRIM, BRICK & STONE AS POSSIBLE FOR REUSE
4.	PROTECT WINDOWS FOR DURATION

2 A.05 existing side elevation  
scale: 1/8" :: 1'-0"



NO ROOF PENETRATIONS TO BE ALLOWED ON FRONT FACE OF ROOF



EXTERIOR CLADDING KEY	
	EXISTING OR NEW PAINTED STONE
	NEW NATURAL STONE
	EXISTING PAINTED BRICK VENEER
	NEW PAINTED BRICK VENEER



1 A.05 side elevation  
scale: 1/4" :: 1'-0"

EXTERIOR FINISH NOTES

SCOPE OF WORK / DESCRIPTION

CLADDING/VENEER

1	EXISTING PAINTED BRICK VENEER TO REMAIN AS POSSIBLE
A.	USE SALVAGED BRICK OR NEW BRICK W/ MATCHING COURSING, SIZE & FINISH FOR ALL REWORKED OPENINGS
B.	NEW BRICK TO MATCH EXISTING IN SIZE, COURSING & TEXTURE - MORTAR JOINTS TO MATCH
C.	PAINT ALL NEW BRICK VENEER
2	EXISTING PAINTED WEATHERED GRANITE STRUCTURAL STONE FOUNDATION
A.	EXISTING PAINTED STONE VENEER TO REMAIN
B.	USE SALVAGED PAINTED OR NEW PAINTED STONE AS NEEDED FOR REPAIRS OR MODIFICATIONS TO EXISTING FOUNDATION
C.	ALL OTHER NEW STONE (COLUMNS, SITE WALL VENEER & STAIRS TO BE UNPAINTED 4" NATURAL STONE, STONE TO BE WEATHERED GRANITE OR MIX. LAYOUT, MORTAR JOINT SIZE & TYPE, STONE TYPE, & FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE USING S.I.S. MTL'S. SEE FOUNDATION WALL INTERIOR FOR DETAILS
3	BOARD & BATTEN VERTICAL SIDING W/ 1X2 BATTENS @ 8" OC.
A.	ALL MATERIALS TO BE PAINTED SMOOTH FINISH CEMENTITIOUS PLANKS OR PANELS

EXTERIOR TRIM

1	EXISTING EXTERIOR TRIM TO REMAIN EXCEPT AS NOTED
2	NEW DOOR & WINDOW TRIM
A.	ALL NEW DOORS & WINDOW TRIM IN BRICK OR STONE VENEER TO BE PAINTED BRICK MOULD TO MATCH EXISTING AS POSS. USING S.I.S. MTL'S U.N.O.
B.	ALL NEW DOORS & WINDOW TRIM IN BOARD & BATTEN TO BE CEMENTITIOUS 1X3 W/ 1X8 HEADER & SIMPLIFIED SILL. U.N.O.
3	EXTERIOR WINDOW TRIM ON SUNROOM & STAIR TOWER TO BE RIPPED 1X5 TO MATCH EXISTING AS POSSIBLE
4	ALL NEW TRIM TO BE SMOOTH FINISH PAINTED CEMENTITIOUS MATERIALS

EAVE/SOFFIT

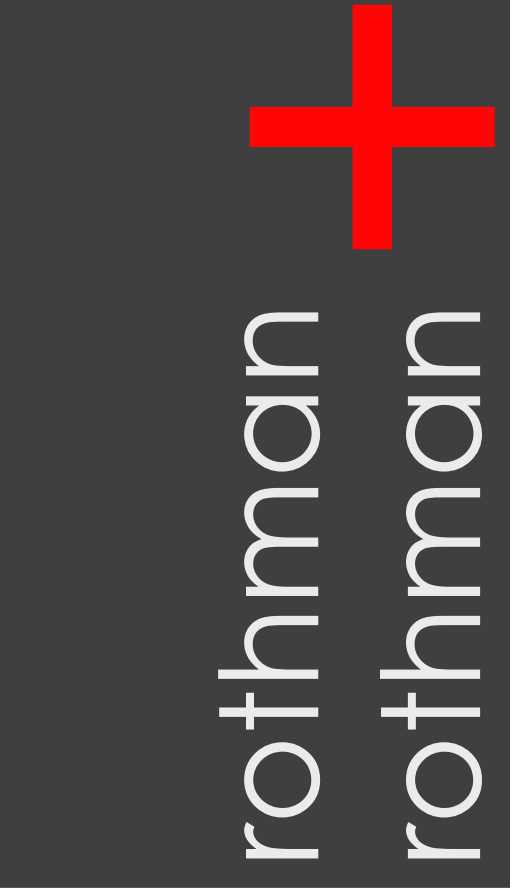
1	EXISTING RAKE, SOFFIT, EAVE & FASCIA MATERIALS TO REMAIN EXCEPT UNLESS NOTED OTHERWISE
2	ALL NEW TRIM TO MATCH EXISTING IN SIZE & DETAILING. ALL MATERIALS TO BE PTD. SMOOTH FINISH CEMENTITIOUS MATERIAL AS POSSIBLE
A.	EXISTING ALUMINUM CLADDING ON EXISTING SOFFIT (FRONT OFFSET ONLY) IS TO BE REMOVED & REPLACED W/ PAINTED T4G BEADBOARD.
B.	FASCIA TO BE PTD CEMENTITIOUS 1X (HEIGHT TO MATCH EXISTING AT TIE IN
C.	INSTALL MATCHING BEDMOULD USING S.I.S. MTL'S.
D.	VENTING NOT REQUIRED IF SPRAYFOAM USED - OTHERWISE VENT BEHIND BEDMOULD
E.	SEE ELEVATIONS FOR SOFFIT DEPTH & DETAILS

ROOF & GUTTERS

1	REMOVE ALL ROOFING & UNDERLAYMENT
A.	REPAIR ANY MISSING OR DAMAGED DECKING
2	INSTALL NEW 35 YEAR (LIFETIME LIMITED) ARCHITECTURAL SHINGLES IN LOCATIONS AS NOTED
A.	INSTALL ASTM D226/D4869 EQUIVALENT OF BETTER UNDERLAYMENT WITH SELF ADHERED ICE & WATER SHIELD IN VALLEYS, ALONG EAVES & ON ALL ROOF PENETRATIONS.
B.	PROVIDE PRE-FINISHED ALUM. DRIP EDGE, CLOSED GUT VALLEY & STEP FLASHING
C.	PIPE BOOTS TO BE EPDM OR EQUIV. NO PENETRATIONS ALLOWED ON FRONT SLOPE OF ROOF
D.	NO VENTILATION REQUIRED
2	NEW TPO MEMBRANE ROOF ON NEW FLAT ROOF
A.	PROVIDE MIN. SLOPE AS NEEDED FOR DRAINAGE (FURRED OR TAPERED RIGID INSULATION
B.	PROVIDE ALTERNATE COST FOR ROLL MODIFIED BITUMEN ROOF.
2	INSTALL 6" OGEE GUTTERS W/ 3X4 DS AS INDICATED
A.	DS LOCATIONS TO BE VERIFIED BY INSTALLER
B.	NEW OR EXISTING DS DRAINAGE TO BE MANAGED AS REQUIRED FOR STORMWATER MANAGEMENT - SEE SITE PLANS

PAINT & STAIN

1	PAINT ALL EXTERIOR CLADDING & TRIM U.N.O.
A.	SEE FF#E FOR DETAILS
2	STAIN FLOORING & TOP RAIL
A.	SEE FF#E FOR DETAILS



**CONTRACTOR:**  
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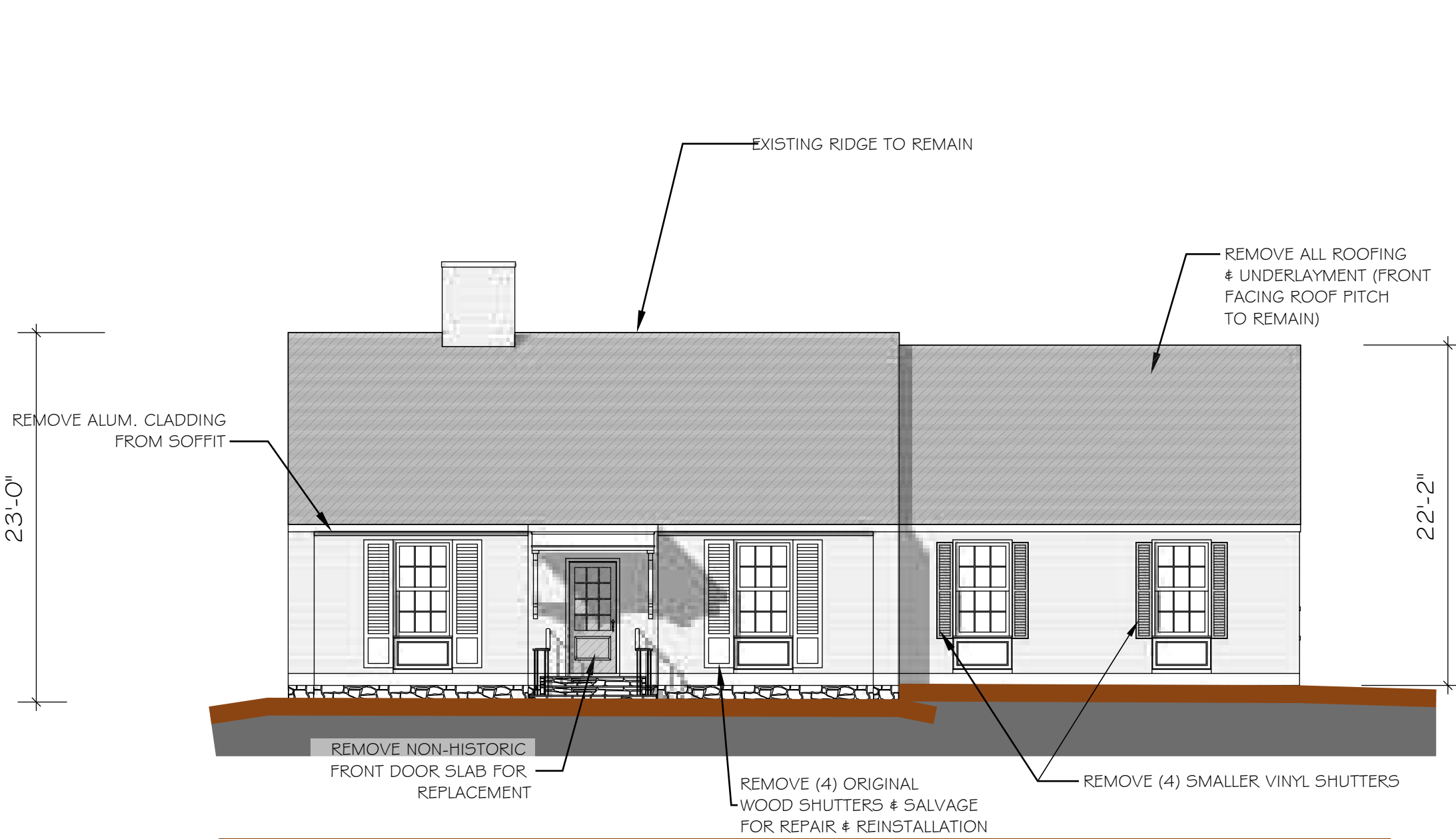
**gratton residence**  
914 Clifton Rd NE :: Atlanta, Ga :: 30307  
**DRAWN BY:** Eric Rothman  
**DOCUMENT DATE:** April 8, 2026  
**CHECKED BY:** Eric Rothman  
**JOB PHASE:** COMBINED CONCEPTUAL



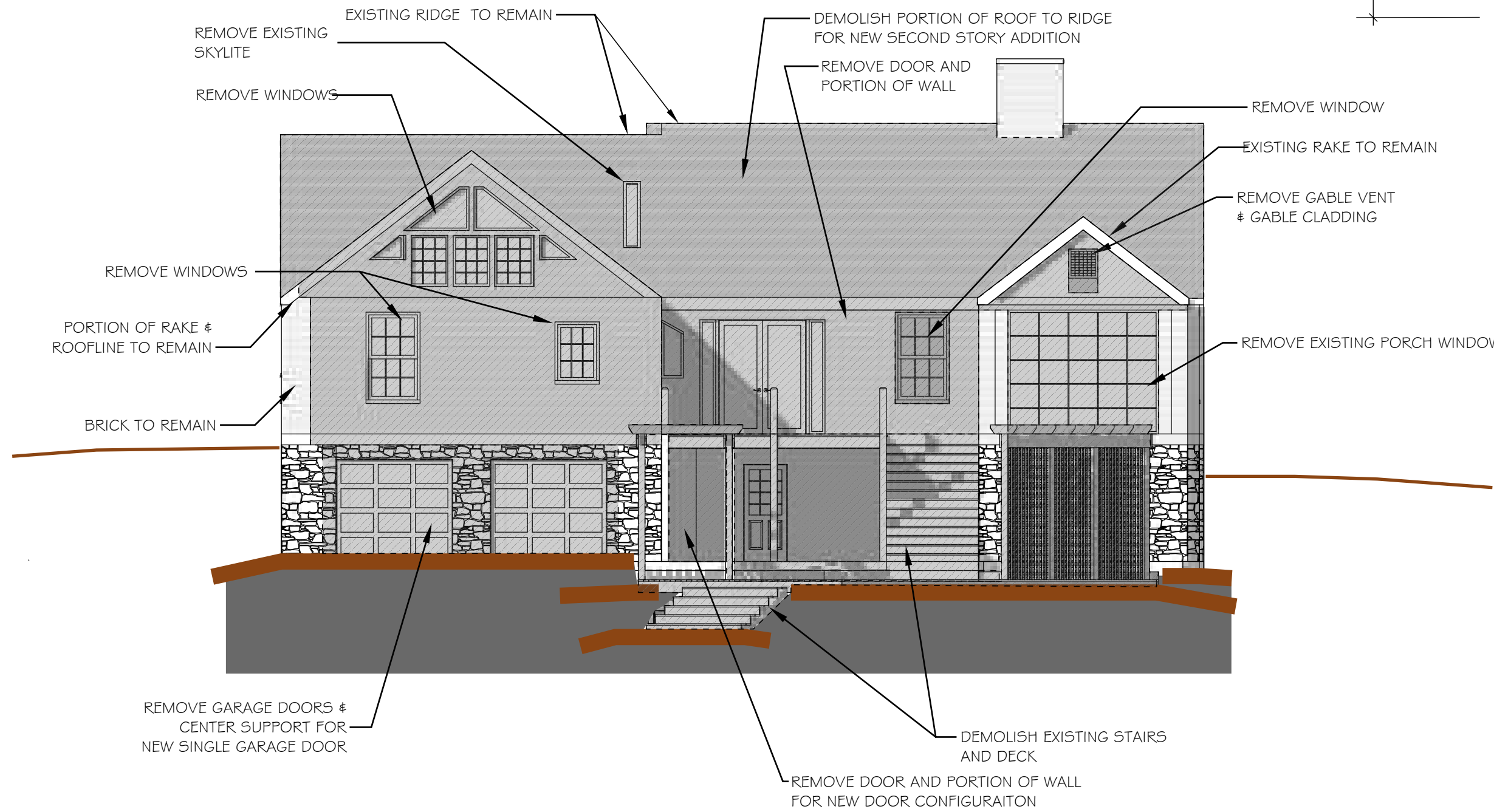
**A.05**

Driveway Side Elevation

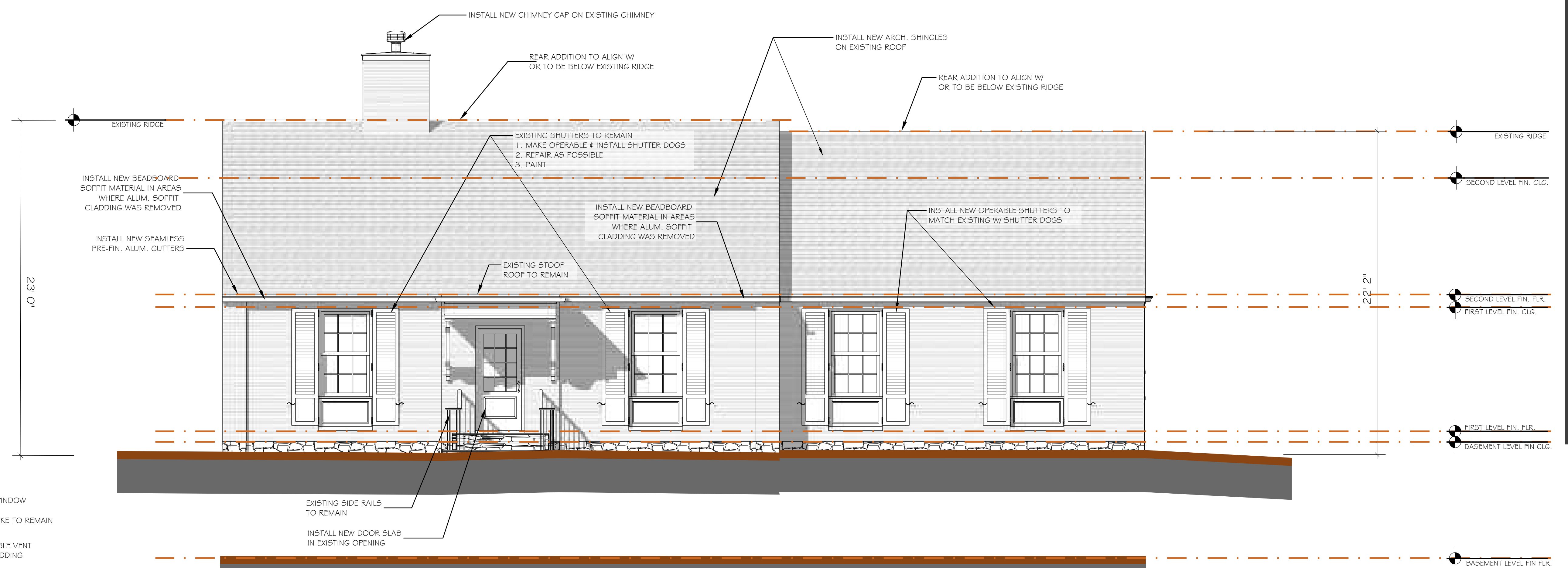
COMBINED CONCEPTUAL DRAWING  
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3 A.06 existing rear elevation  
scale: 1/8" :: 1'-0"



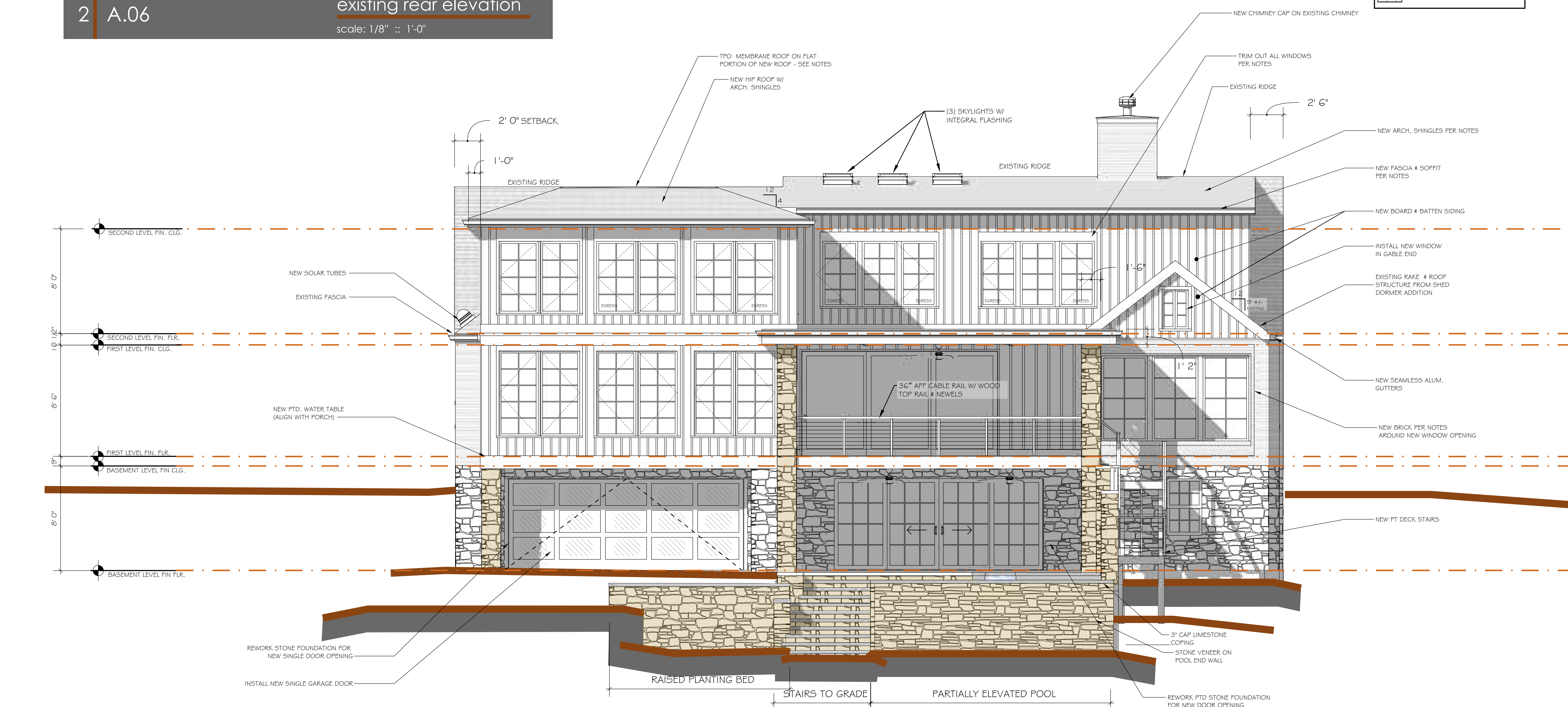
2 A.06 existing rear elevation  
scale: 1/8" :: 1'-0"



4 A.06 proposed front elevation  
scale: 1/4" :: 1'-0"

**EXTERIOR CLADDING KEY**

- EXISTING OR NEW PAINTED STONE
- NEW NATURAL STONE
- EXISTING PAINTED BRICK VENEER
- NEW PAINTED BRICK VENEER



1 A.06 rear elevation  
scale: 1/4" :: 1'-0"

EXTERIOR FINISH NOTES	
SCOPE OF WORK / DESCRIPTION	
<b>CLADDING/VENEER</b>	
1	EXISTING PAINTED BRICK VENEER TO REMAIN AS POSSIBLE
A.	USE SALVAGED BRICK OR NEW BRICK W/ MATCHING COURSING, SIZE & FINISH FOR ALL REWORKED OPENINGS
B.	NEW BRICK TO MATCH EXISTING IN SIZE, COURSING & TEXTURE - MORTAR JOINTS TO MATCH
C.	PAINT ALL NEW BRICK VENEER
2	EXISTING PAINTED WEATHERED GRANITE STRUCTURAL STONE FOUNDATION
A.	EXISTING PAINTED STONE VENEER TO REMAIN
B.	USE SALVAGED PAINTED OR NEW PAINTED STONE AS NEEDED FOR REPAIRS OR MODIFICATIONS TO EXISTING FOUNDATION
C.	ALL OTHER NEW STONE (COLUMNS, SITE WALL VENEER & STAIRS TO BE UNPAINTED 4" NATURAL STONE, STONE TO BE WEATHERED GRANITE OR MIX. LAYOUT, MORTAR JOINT SIZE & TYPE, STONE TYPE, & FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE USING S.I.S. MTLs. SEE FOUNDATION WALL INTERIOR FOR DETAILS
3	BOARD & BATTEN VERTICAL SIDING W/ 1X2 BATTENS @ 8" OC.
A.	ALL MATERIALS TO BE PAINTED SMOOTH FINISH CEMENTITIOUS PLANKS OR PANELS
<b>EXTERIOR TRIM</b>	
1	EXISTING EXTERIOR TRIM TO REMAIN EXCEPT AS NOTED
2	NEW DOOR & WINDOW TRIM
A.	ALL NEW DOORS & WINDOW TRIM IN BRICK OR STONE VENEER TO BE PAINTED BRICK MOULD TO MATCH EXISTING AS POSS. USING S.I.S. MTLs U.N.O.
B.	ALL NEW DOORS & WINDOW TRIM IN BOARD & BATTEN TO BE CEMENTITIOUS 1X3 W/ 1X8 HEADER & SIMPLIFIED SILL, U.N.O.
3	EXTERIOR WINDOW TRIM ON SUNROOM & STAIR TOWER TO BE RIPPED 1X5 TO MATCH EXISTING AS POSSIBLE
4	ALL NEW TRIM TO BE SMOOTH FINISH PAINTED CEMENTITIOUS MATERIALS
<b>EAVE/SOFFIT</b>	
1	EXISTING RAKE, SOFFIT, EAVE & FASCIA MATERIALS TO REMAIN EXCEPT UNLESS NOTED OTHERWISE
2	ALL NEW TRIM TO MATCH EXISTING IN SIZE & DETAILING. ALL MATERIALS TO BE PTD. SMOOTH FINISH CEMENTITIOUS MATERIAL AS POSSIBLE
A.	EXISTING ALUMINUM CLADDING ON EXISTING SOFFIT (FRONT OFFSET ONLY) IS TO BE REMOVED & REPLACED W/ PAINTED T4G BEADBOARD.
B.	FASCIA TO BE PTD CEMENTITIOUS 1X (HEIGHT TO MATCH EXISTING AT TIE IN
C.	INSTALL MATCHING BEDMOULD USING S.I.S. MTLs.
D.	VENTING NOT REQUIRED IF SPRAYFOAM USED - OTHERWISE VENT BEHIND BEDMOULD
E.	SEE ELEVATIONS FOR SOFFIT DEPTH & DETAILS
<b>ROOF &amp; GUTTERS</b>	
1	REMOVE ALL ROOFING & UNDERLAYMENT
A.	REPAIR ANY MISSING OR DAMAGED DECKING
2	INSTALL NEW 35 YEAR (LIFETIME LIMITED) ARCHITECTURAL SHINGLES IN LOCATIONS AS NOTED
A.	INSTALL ASTM D226/D4869 EQUIVALENT OF BETTER UNDERLAYMENT WITH SELF ADHERED ICE & WATER SHIELD IN VALLEYS, ALONG EAVES & ON ALL ROOF PENETRATIONS.
B.	PROVIDE PRE-FINISHED ALUM. DRIP EDGE, CLOSED CUT VALLEY & STEP FLASHING
C.	PIPE BOOT TO BE EPDM OR EQUIV. NO PENETRATIONS AROUND ON FRONT SLOPE OF ROOF
D.	NO VENTILATION REQUIRED
2	NEW TPO MEMBRANE ROOF ON NEW FLAT ROOF
A.	PROVIDE MIN. SLOPE AS NEEDED FOR DRAINAGE (FURRED OR TAPERED RIGID INSULATION)
B.	PROVIDE ALTERNATE COST FOR ROLL MODIFIED BITUMEN ROOF.
2	INSTALL 6" OGEE GUTTERS W/ 3X4 DS AS INDICATED
A.	DS LOCATIONS TO BE VERIFIED BY INSTALLER
B.	NEW OR EXISTING DS DRAINAGE TO BE MANAGED AS REQUIRED FOR STORMWATER MANAGEMENT - SEE SITE PLANS
<b>PAINT &amp; STAIN</b>	
1	PAINT ALL EXTERIOR CLADDING & TRIM U.N.O.
A.	SEE FF4E FOR DETAILS
2	STAIN FLOORING & TOP RAIL
A.	SEE FF4E FOR DETAILS

COMBINED CONCEPTUAL DRAWING  
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**graton residence**  
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**DRAWN BY:**  
Eric Rothman

**DOCUMENT DATE:**  
April 8, 2026

**JOB PHASE:**  
COMBINED CONCEPTUAL

**A.06**

Rear Elevation

**rothman**  
**rothman**

# EXTERIOR FINISH NOTES

## SCOPE OF WORK / DESCRIPTION

### CLADDING/VENEER

1	EXISTING PAINTED BRICK VENEER TO REMAIN AS POSSIBLE
A.	USE SALVAGED BRICK OR NEW BRICK W/ MATCHING COURSING, SIZE & FINISH FOR ALL REWORKED OPENINGS
B.	NEW BRICK TO MATCH EXISTING IN SIZE, COURSING & TEXTURE - MORTAR JOINTS TO MATCH
C.	PAINT ALL NEW BRICK VENEER
2	EXISTING PAINTED WEATHERED GRANITE STRUCTURAL STONE FOUNDATION
A.	EXISTING PAINTED STONE VENEER TO REMAIN
B.	USE SALVAGED PAINTED OR NEW PAINTED STONE AS NEEDED FOR REPAIRS OR MODIFICATIONS TO EXISTING FOUNDATION
C.	ALL OTHER NEW STONE (COLUMNS, SITE WALL VENEER & STAIRS TO BE UNPAINTED 4" NATURAL STONE, STONE TO BE WEATHERED GRANITE OR MIX. LAYOUT, MORTAR JOINT SIZE & TYPE, STONE TYPE, & FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE USING S.I.S. MTLs. SEE FOUNDATION WALL INTERIOR FOR DETAILS

3	BOARD & BATTEN VERTICAL SIDING W/ 1X2 BATTENS @ 8" OC.
A.	ALL MATERIALS TO BE PAINTED SMOOTH FINISH CEMENTITIOUS PLANKS OR PANELS

### EXTERIOR TRIM

1	EXISTING EXTERIOR TRIM TO REMAIN EXCEPT AS NOTED
2	NEW DOOR & WINDOW TRIM
A.	ALL NEW DOORS & WINDOW TRIM IN BRICK OR STONE VENEER TO BE PAINTED BRICK, MOULD TO MATCH EXISTING AS POSS., USING S.I.S. MTLs U.N.O.
B.	ALL NEW DOORS & WINDOW TRIM IN BOARD & BATTEN TO BE CEMENTITIOUS 1X3 W/ 1X2 HEADER & SIMPLIFIED SILL, U.N.O.
3	EXTERIOR WINDOW TRIM ON SUNROOM & STAIR TOWER TO BE RIPPED 1X3 TO MATCH EXISTING AS POSSIBLE
4	ALL NEW TRIM TO BE SMOOTH FINISH PAINTED CEMENTITIOUS MATERIALS

### EAVE/SOFFIT

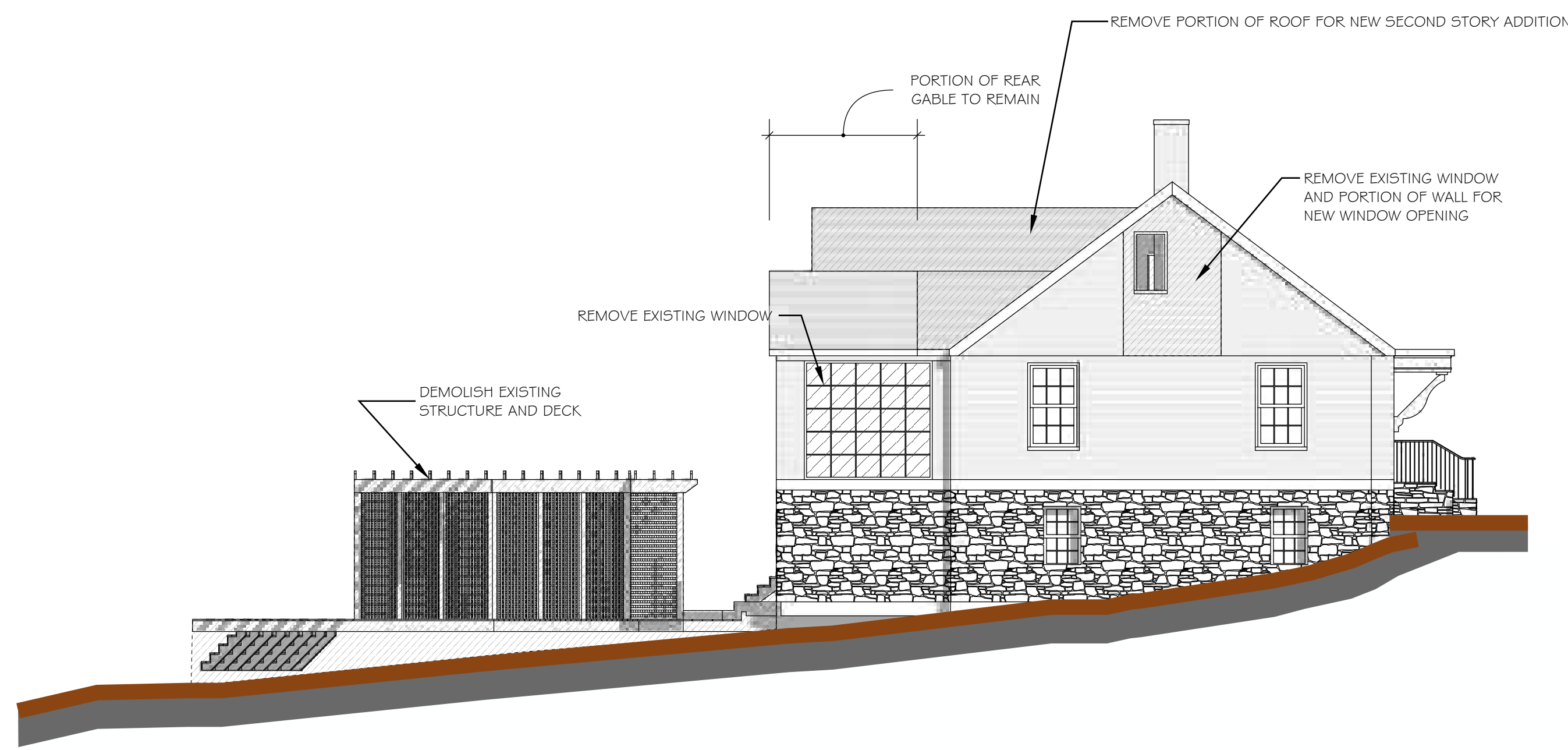
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A.	EXISTING ALUMINUM CLADDING ON EXISTING SOFFIT (FRONT OFFSET ONLY) IS TO BE REMOVED & REPLACED W/ PAINTED T&G BEADBOARD
B.	FASCIA TO BE PTD CEMENTITIOUS 1X (HEIGHT TO MATCH EXISTING AT TIE IN
C.	INSTALL MATCHING BEDMOULD USING S.I.S. MTLs.
D.	VENTING NOT REQUIRED IF SPRAYFOAM USED - OTHERWISE VENT BEHIND BEDMOULD
E.	SEE ELEVATIONS FOR SOFFIT DEPTH & DETAILS

### ROOF & GUTTERS

1	REMOVE ALL ROOFING & UNDERLAYMENT
A.	REPAIR ANY MISSING OR DAMAGED DECKING
2	INSTALL NEW 35 YEAR (LIFETIME LIMITED) ARCHITECTURAL SHINGLES IN LOCATIONS AS NOTED
A.	INSTALL ASTM D226/D4869 EQUIVALENT OF BETTER UNDERLAYMENT WITH SELF ADHERED ICE & WATER SHIELD IN VALLEYS, ALONG EAVES & ON ALL ROOF PENETRATIONS.
B.	PROVIDE PRE-FINISHED ALUM. DRIP EDGE, CLOSED CUT VALLEY & STEP FLASHING
C.	PIPE BOOTS TO BE EPDM OR EQUIV. NO PENETRATIONS AROUND ON FRONT SLOPE OF ROOF
D.	NO VENTILATION REQUIRED
2	NEW TPO MEMBRANE ROOF ON NEW FLAT ROOF
A.	PROVIDE MIN. SLOPE AS NEEDED FOR DRAINAGE (FURRED OR TAPERED RIGID INSULATION
B.	PROVIDE ALTERNATE COST FOR ROLL MODIFIED BITUMEN ROOF.
2	INSTALL 6" OGEE GUTTERS W/ 3X4 DS AS INDICATED
A.	DS LOCATIONS TO BE VERIFIED BY INSTALLER
B.	NEW OR EXISTING DS DRAINAGE TO BE MANAGED AS REQUIRED FOR STORMWATER MANAGEMENT - SEE SITE PLANS

### PAINT & STAIN

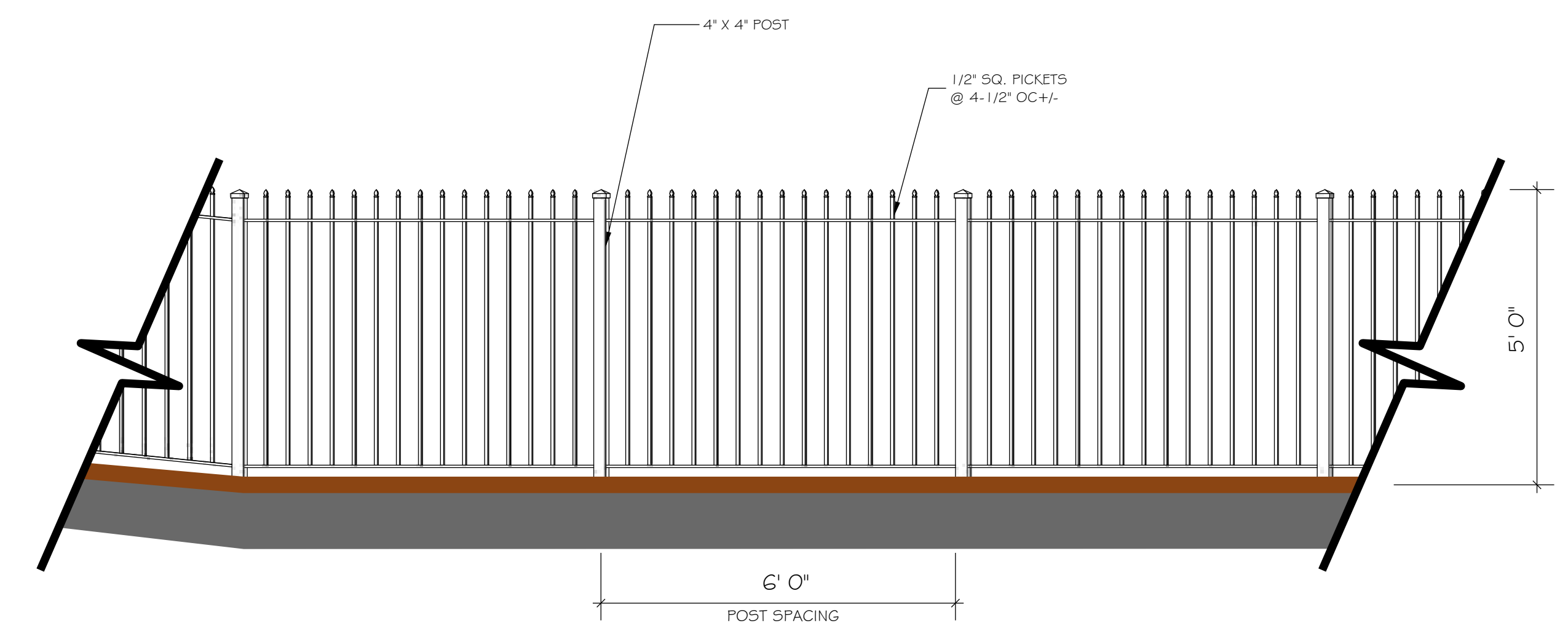
1	PAINT ALL EXTERIOR CLADDING & TRIM U.N.O.
A.	SEE FF4E FOR DETAILS
2	STAIN FLOORING & TOP RAIL
A.	SEE FF4E FOR DETAILS



2 A.07

### existing side elevation

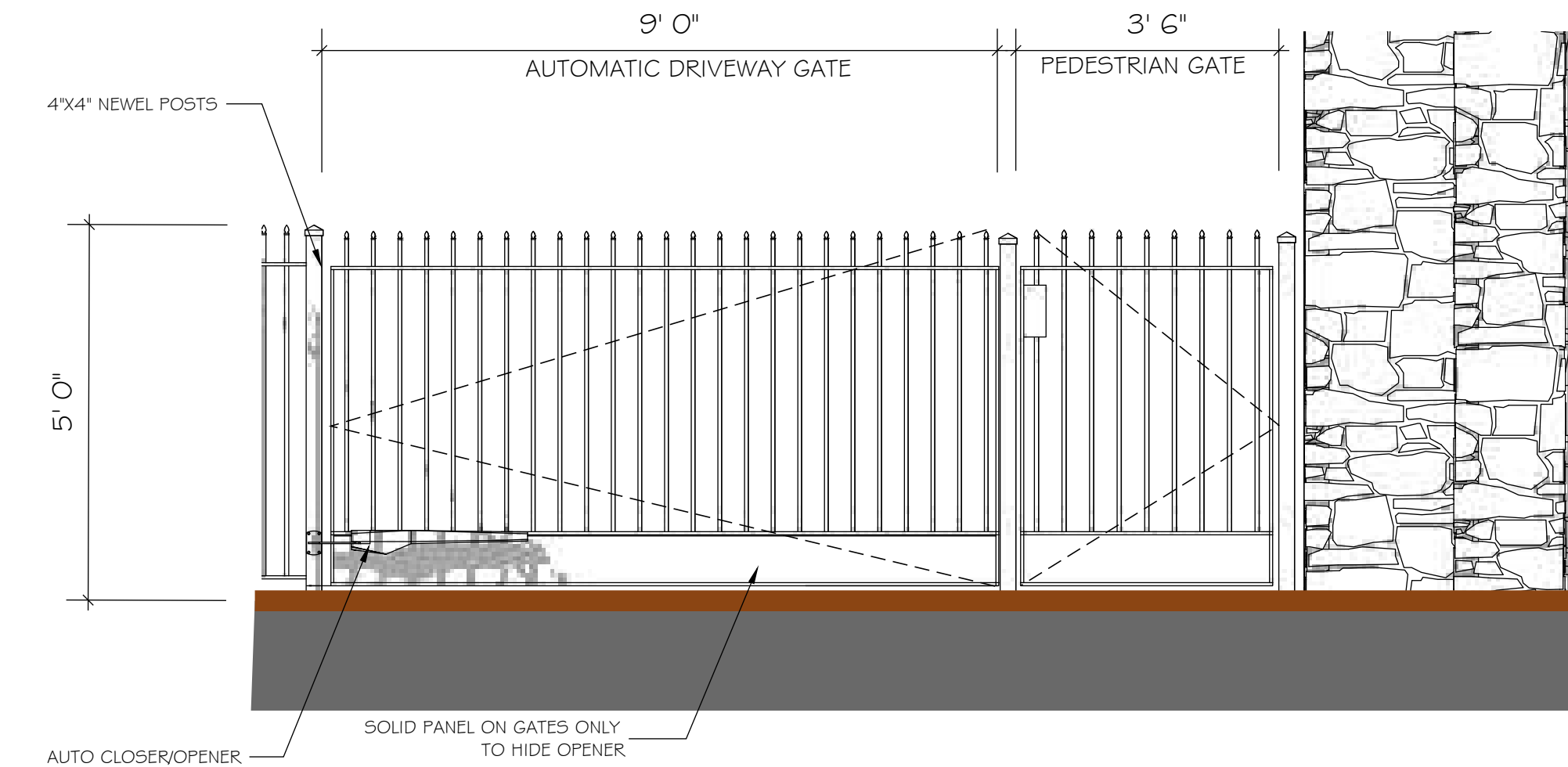
scale: 1/8" :: 1'-0"



3 A.07

### pool fence detail

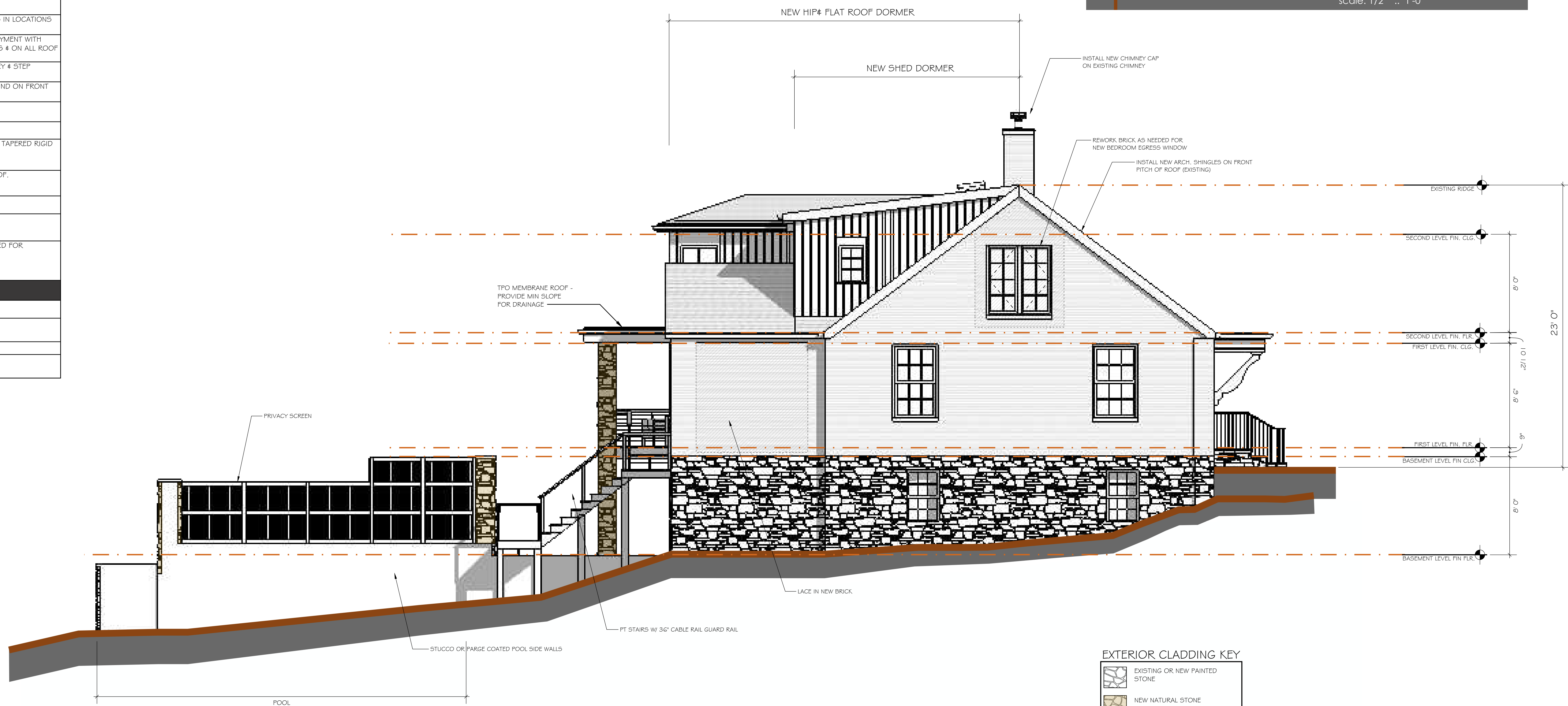
scale: 1/2" :: 1'-0"



4 A.07

### driveway gate detail

scale: 1/2" :: 1'-0"



1 A.07

### side elevation

scale: 1/4" :: 1'-0"

### EXTERIOR CLADDING KEY

	EXISTING OR NEW PAINTED STONE
	NEW NATURAL STONE
	EXISTING PAINTED BRICK VENEER
	NEW PAINTED BRICK VENEER

### COMBINED CONCEPTUAL DRAWING

This drawing is not intended to be used for final contract pricing or fabrication purposes. This drawing is conceptual pricing & bidding only. All content is subject to change.

rothman  
rothman

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**DRAWN BY:**  
Eric Rothman

**DOCUMENT DATE:**  
April 8, 2026

**CHECKED BY:**  
Eric Rothman

**JOB PHASE:**  
COMBINED CONCEPTUAL

A.07

Side Elevation



ROTHMAN +  
ROTHMAN design

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Grafton Certificate of Appropriateness Scope, Description of Work & Justification

914 Clifton Road, Druid Hills

# Existing House

The existing house is a Minimal Traditional one-story Colonial Revival house that was built in 1929. The house has been renovated several times including the conditioning of 700 SF in the attic. The house has a full walk out basement that opens to the backyard. There is a rear facing basement level 2-car garage that faces towards the back. The house is painted brick on all sides.

Tiered pressure treated decks, a trellis, privacy screen and hot tub was added in the rear yard. The house is on a half acre lot with a backyard that opens onto the Druid Hills Country Club Golf Course.

The house to the right (North) appears to be a ranch style home though it is hard to tell because it is heavily overgrown. The house is a 2,400 SF single story house built in 1950. The house to the left (South) is a two-story brick Colonial Revival was also built in 1950.

The Fernbank Bank Forest is directly across the street so there are no visible homes on the other side of the road.











# Across the street



## Scope of Work (see following pages for more details)

1. The scope of work is a complete renovation of the home with a rear facing porch addition and a small rear two-story bump out.
2. Rear shed and hip roof dormer addition that will be below the roofline and set in from the side facades to preserve the original structure and minimize any impact from the public right-of-way. (Minimally visible from driveway side)
3. New Rear Pool with open patio and stairs. (Not visible from the public right-of-way)
4. Replacement of the non-historic front door and non-historic shutters. See Justification for additional details.
5. Enlarge side gable end windows as required for egress.
6. Add 5' high driveway gate on back corner of side facade & perimeter fence from back corner of north side of the house. See the site plans for layout & additional details.

# Rear Additions



3. A shed roof rear facing dormer addition will be added on the rear facing pitch of the existing roof and will be set back from the south side facade by 2'-6". This addition will not be visible from the public right of way

1. We are proposing a two-story 3' depth rear facing addition for an enlarged living room & master suite. The addition has been set back by 2' from the north facing driveway side facade to making it minimally visible from the public right of way. The rear addition roof line will not extend above the existing ridge line.
2. A flat roof one-story porch addition will be added to the rear between the two-story addition and the existing rear facing porch gable. This porch will not be visible from the public right of way.



# Pool & Rear Hardscaping

1. We are proposing a partially above ground 23'x19' pool with an integral hot tub. A tiered stair and walkway provides access to the lower backyard. A stepped privacy screen will be added on the south side of the pool.
2. Materials will be stone veneer & limestone pavers with a cast limestone pool coping and wall caps



3. A 15'x12' raised planting bed will be added to the north of the pool.
4. The pool, privacy screen, planting bed & associated hardscaping are set back from the sides of the existing structure to ensure that it is not visible from the public right of way.



# Changes to Front Facade

## Shutters

1. The original shutters on the left two windows will remain. Hinges and shutter dogs will be added
2. The two sets of shutters to the right are newer vinyl shutters and will be replaced with operable shutters that match the original shutters.



Original wood



Vinyl

## Front Door

1. The existing front door is not original and will be replaced. The glass is insulated double pane glass.