

DeKalb County Historic Preservation Commission

Tuesday, March 18, 2025- 6:00 P.M.

Staff Report

Regular Agenda

M. 1756 Ridgecrest Court, Andrew Farkas & Sheril Kalarithara. Replace front porch and construct an addition on the rear of a nonhistoric property. **1247465**

Built in 1959 - Nonhistoric (15 238 02 073)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

Summary

The applicant proposes the following work:

1. Construct a rear addition. The existing shed in the backyard and the existing deck and screen porch on the rear of the house will be removed. The new addition will be constructed with a hipped asphalt shingle roof, cement board lap siding, and wood casement and fixed windows. The rear, lower floor of the addition will be left open to create a patio area under the upper floor of the addition with 6x6 wood posts supporting the structure.
2. Construct a rear deck. A wood deck, measuring roughly 275 square feet in size, will be constructed on the rear of the house in the footprint of the existing deck and screen porch. The deck will be constructed with wood decking, guard rails, and stairs. The guard rails will measure 3' in height.
3. Replace front porch. The current front stoop will be removed and replaced with a slightly larger stoop, measuring roughly 95 square feet in size, that will extend into the front yard. The current existing stone veneered stoop and steps will be removed and replaced with a concrete porch with a single step facing the front of the property. The existing stone veneer and wood columns will be removed and replaced with new cement board clad doric columns. The front door will remain unchanged. The a new, small hipped, asphalt shingle roof will be constructed over the proposed front porch
4. Replace front walkway. A portion of the current walkway leading to the front porch will be removed into to reduce the curve of the walkway.
5. Install new side door. The current wood side door on the right elevation of the property will be replaced with a door. The current door will be removed and the area where the door was will be infilled with salvaged brick removed from the rear of the house. A new door will be installed to the right of the previous door, near the rear corner of the house.

Recommendation

Approve. These proposed changes do not appear to have a substantial adverse effect on the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the

owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

- 7.0 Additions & New Construction - Preserving Form & Layout The Druid Hills Local Historic District continues to change and evolve over time. For this area to meet contemporary needs, additions are built, uses change, and new buildings are constructed. The challenge is not to prevent change but to ensure that, when it does inevitably happen, it is compatible with the historic character of the area.

A new building is compatible with its historic setting when it borrows design characteristics and materials from adjacent buildings and integrates them into a modern expression. Before undertaking new development, be it a new building or changes or additions to existing buildings, take time to evaluate what makes the property and the neighborhood distinctive. Evaluate what type of impact the new development will have on the property and neighborhood. Decide how the development can best be designed to complement the property and area.

The underlying guideline for new construction and additions is to consider one's neighbors and nearby structures and reinforce the existing historic character through sensitive, compatible design.

Note that many of these guidelines refer to new development or new construction but are equally applicable to additions to existing buildings.

- 7.1 *Defining the Area of Influence* (p64) Guideline - In considering the appropriateness of a design for a new building or addition in a historic district, it is important to determine the area of influence. This area should be that which will be visually influenced by the building, i.e. the area in which visual relationships will occur between historic and new construction.
- 7.2 *Recognizing the Prevailing Character of Existing Development* (p65) Guideline - When looking at a series of historic buildings in the area of influence, patterns of similarities may emerge that help define the predominant physical and developmental characteristics of the area. These patterns must be identified and respected in the design of additions and new construction
- 7.3.1 *Additions* (p74) Guideline - Additions should not be added to the main facade of the building and should not appear to dominate the original structure. It is preferable to build new additions to the rear of a historic building, where it will have little or no impact on the streetscape facade. Design and materials should be compatible with the existing building. Avoid obscuring character-defining features of the historic building with the addition.
- 7.3.1 *Additions* (p74) Guideline - Additional stories should be set well back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.
- 7.3.1 *Additions* (p74) Recommendation - The Secretary of the Interior's Standards recommend that an addition be designed so that at a later date it can be removed without compromising the historic character of the building.
- 7.3.1 *Additions* (p74) Recommendation - While an addition should be compatible, it is acceptable and appropriate for it to be clearly discernible as an addition rather than appearing to be an original part of the building. Consider providing some differentiation in material, color, and/or detailing and setting additions back from the historic building's wall plane.
- 7.3.1 *Additions* (p74) Recommendation - These guidelines do not recommend adding false historical details to a noncontributing building in an effort to make it more compatible with surrounding historic buildings. Every effort should be made, however, to ensure that additions and alterations to the property do not detract further from the character of the historic environment, keeping in mind the design concepts discussed in Section 7.2.
- 11.0 *Nonhistoric Properties* (p93) Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: _____ Date Received: _____

Address of Subject Property: _____

Applicant: _____ E-Mail: _____

Applicant Mailing Address: _____

Applicant Phone: _____

Applicant's relationship to the owner: Owner Architect Contractor/Builder Other

Owner(s): _____ Email: _____

Owner(s): _____ Email: _____

Owner(s) Mailing Address: _____

Owner(s) Telephone Number: _____

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

- | | | | | | |
|-------------------|--------------------------|------------------------|--------------------------|-----------------------------|--------------------------|
| New construction | <input type="checkbox"/> | New Accessory Building | <input type="checkbox"/> | Other Building Changes | <input type="checkbox"/> |
| Demolition | <input type="checkbox"/> | Landscaping | <input type="checkbox"/> | Other Environmental Changes | <input type="checkbox"/> |
| Addition | <input type="checkbox"/> | Fence/Wall | <input type="checkbox"/> | Other | <input type="checkbox"/> |
| Moving a Building | <input type="checkbox"/> | Sign Installation | <input type="checkbox"/> | | |

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: 

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: _____

being owner(s) of the property at: _____

hereby delegate authority to: _____

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): _____

Date: _____

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email plansustain@dekalbcountyga.gov AND pvjennings@dekalbcountyga.gov or visit the website at <https://www.dekalbcountyga.gov/planning-and-sustainability/forms>
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND pvjennings@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
3. Once the application has been received, the Administrative Specialist for the Department of Planning and Sustainability will provide a sign template and instructions on how to post the required signage on the property at least ten days before the preservation commission meeting. If the applicant does not post the required signage and provide evidence of posting within ten days before the preservation commission meeting, their application may be deferred or denied due to improper public notification.
4. The Preservation Planner may visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail pvjennings@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, ¼"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

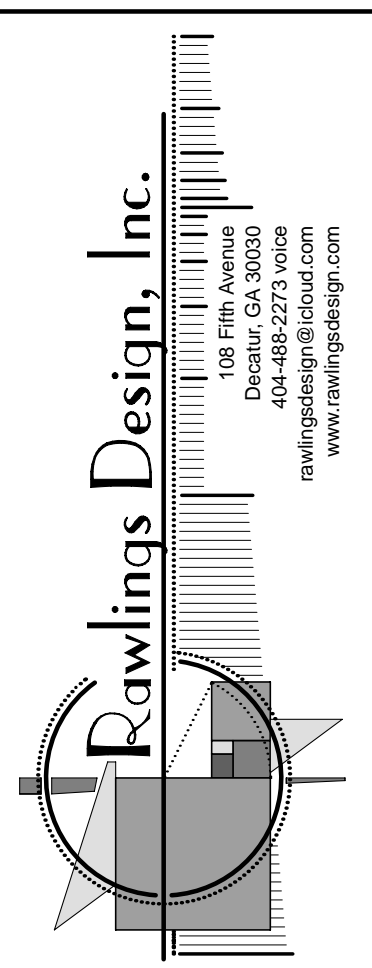
This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.

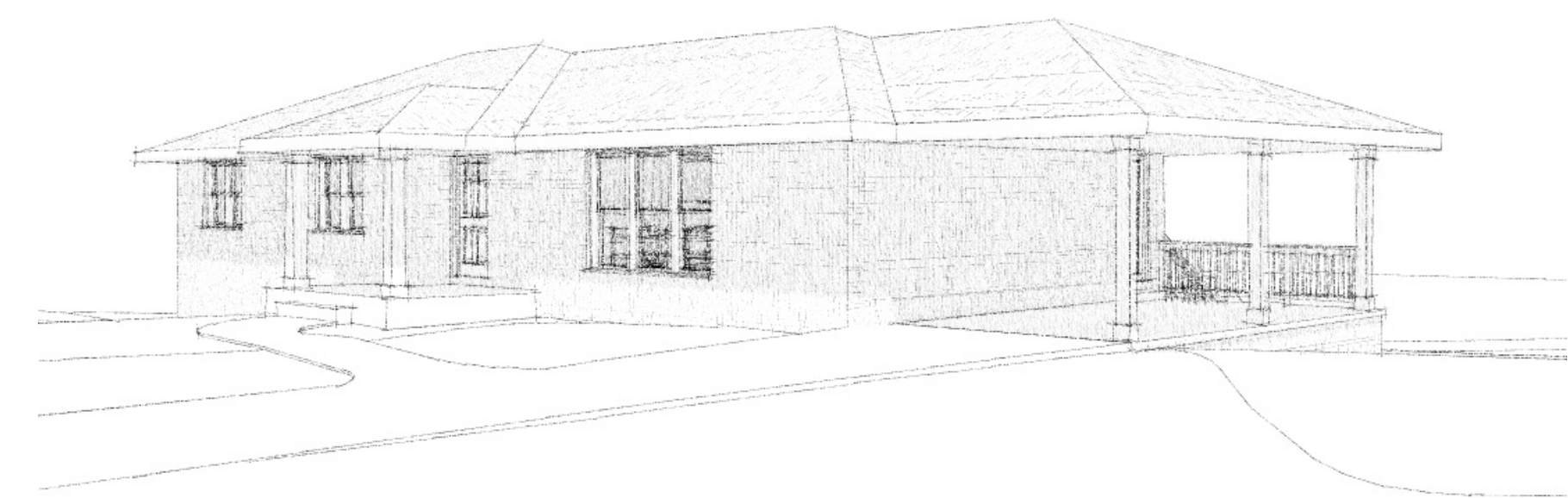
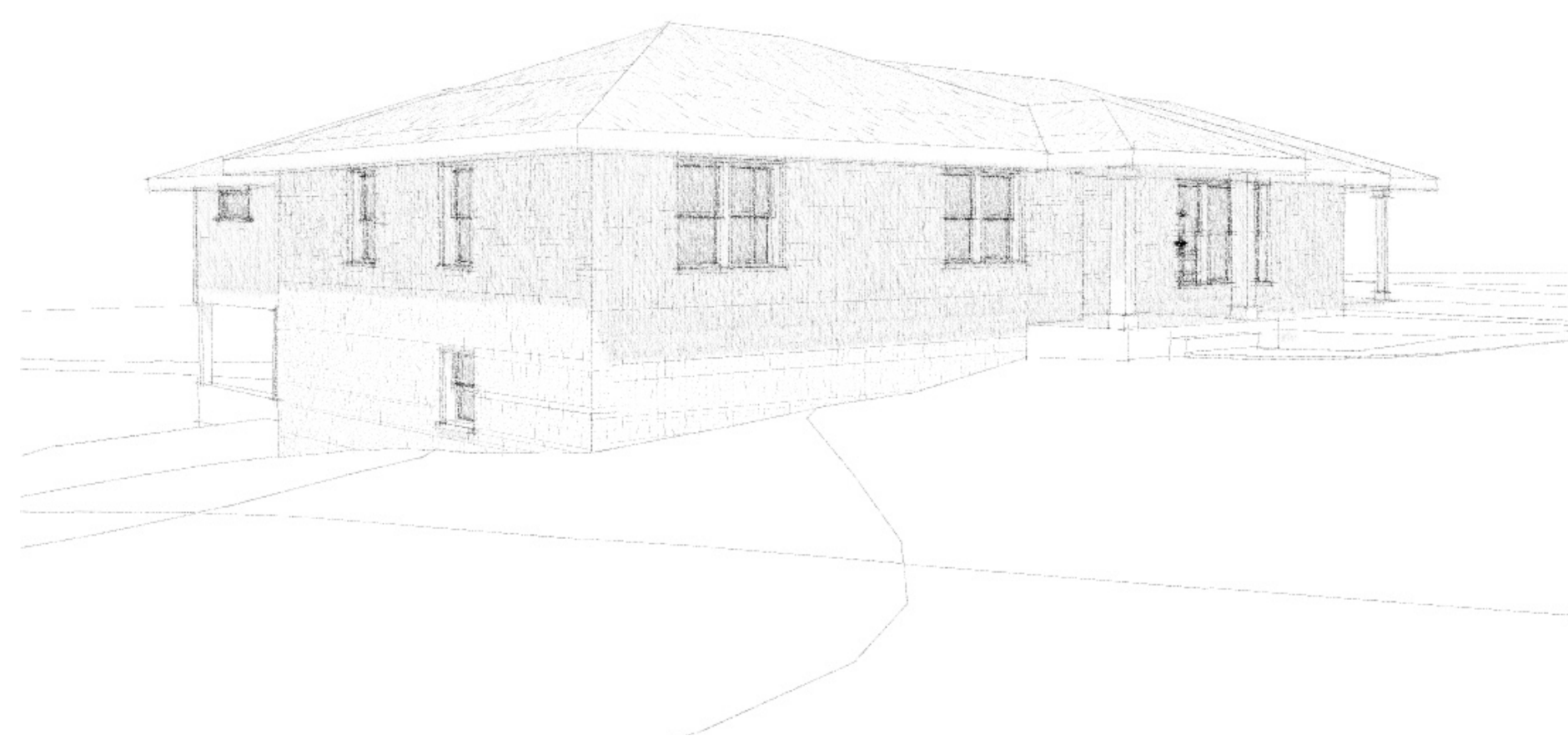


FARKAS-KALARITHARA RESIDENCE

DEKALB COUNTY

SINGLE FAMILY DWELLING - RENOVATION

ANDREW FARKAS SHERIL KALARITHARA



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Revisions

Drawing Date:
2/18/25

RELEASED FOR CONSTRUCTION

Project Number:
2416

DRAWING INDEX

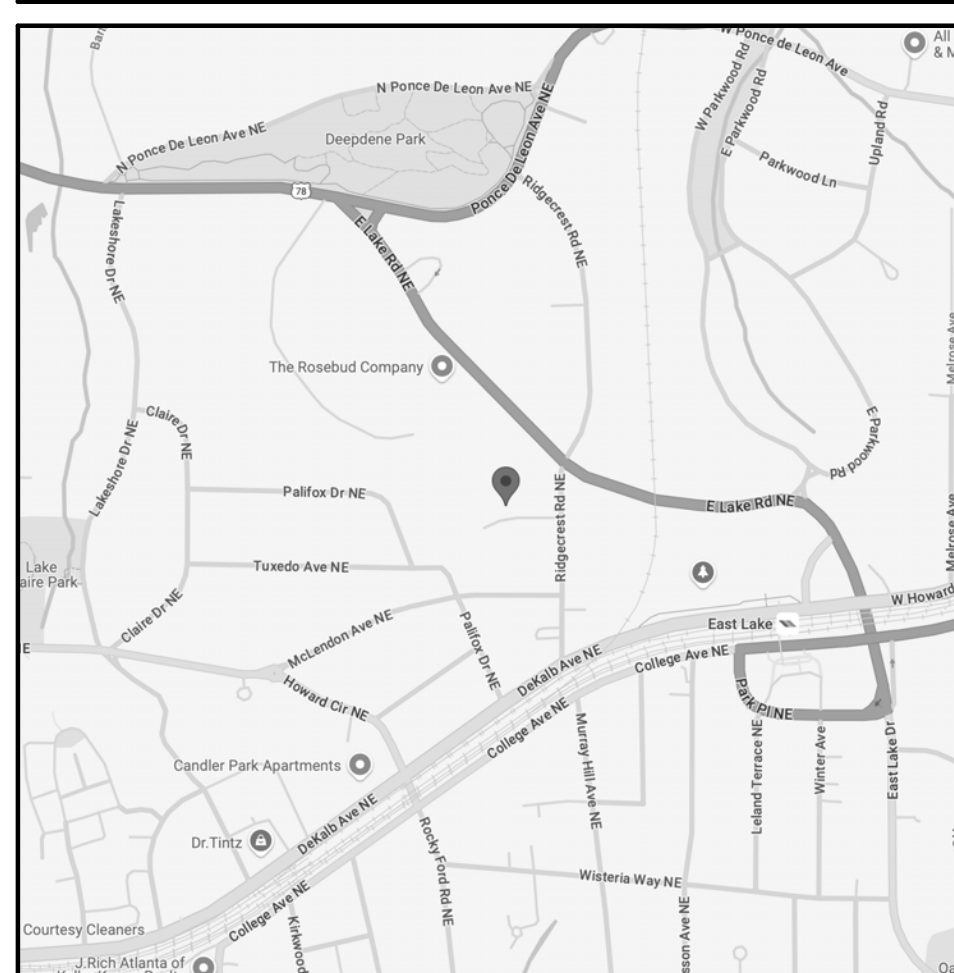
ARCHITECTURAL	
A-1.1	Site Plan
A-2.1	Demolition Plan
A-2.2	Demolition Plan
A-2.3	Floor Plans
A-2.4	Floor Plans
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A-3.1	Exterior Elevations
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A-4.1	Building Sections
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A-4.4	Building Sections

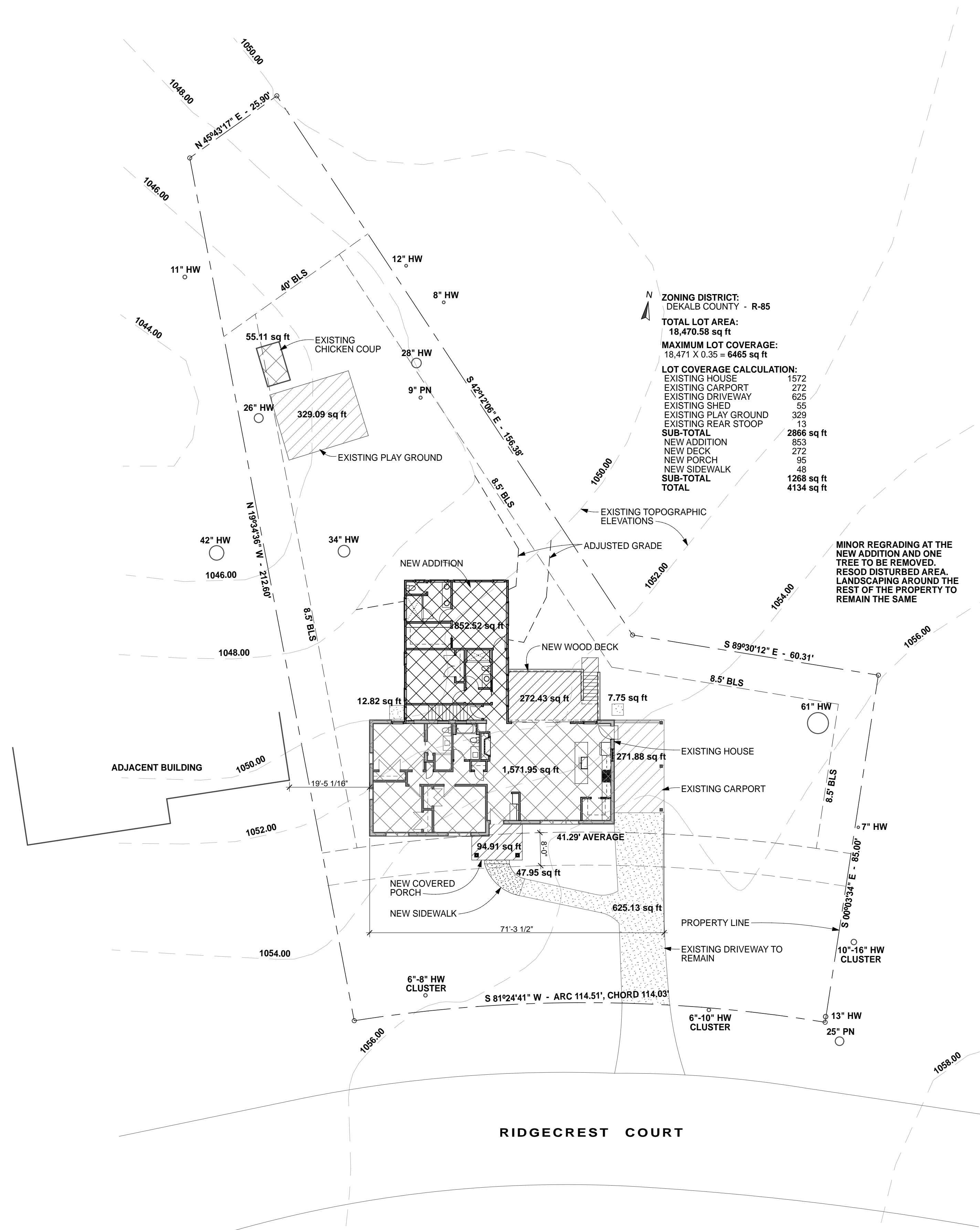
FARKAS-KALARITHARA RESIDENCE
1756 RIDGECREST COURT NE
ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:

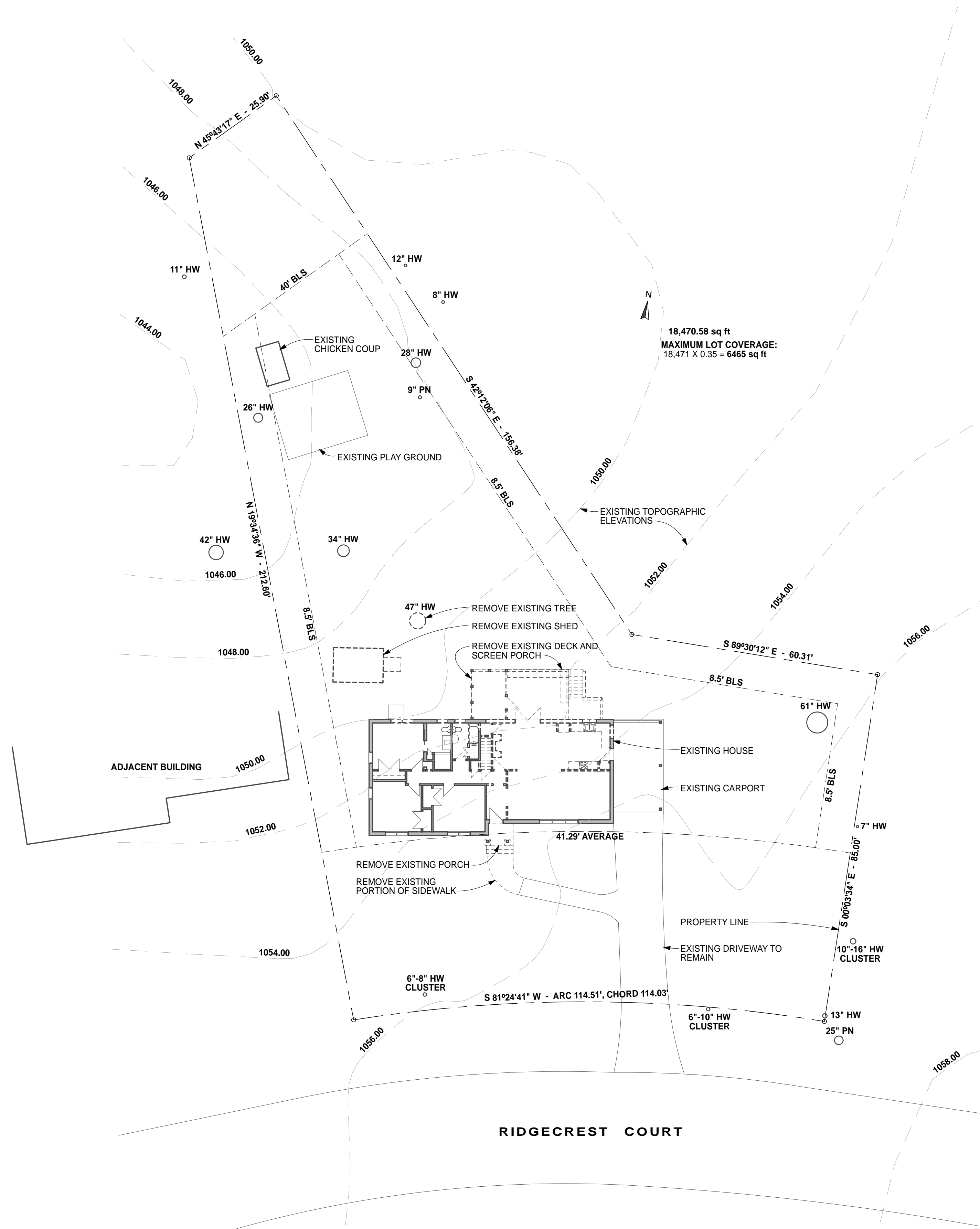
GENERAL NOTES:	CODE INFORMATION:	ABBREVIATIONS:	GRAPHIC SYMBOLS:
<p>1. G.C. SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BID. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION TO THE OWNER AND ARCHITECT BY THE G.C. PRIOR TO THE START OF ANY WORK.</p> <p>2. G.C. SHALL COORDINATE ALL WORK TO BE PERFORMED. G.C. IS TO COORDINATE WORKING HOURS, DELIVERIES, TRASH REMOVAL, STORAGE, ETC. WITH THE OWNER.</p> <p>3. G.C. SHALL REMOVE ALL DEBRIS AND LEAVE JOB SITE CLEAN UPON COMPLETION OF WORK.</p> <p>4. G.C. SHALL BEAR FULL RESPONSIBILITY AND COSTS FOR THE FOLLOWING: - ALL PERMITS, LICENSES, AND FEES.</p> <p>5. PRIOR TO BEGINNING WORK THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. SHOULD DAMAGE OCCUR TO ANY UTILITIES AS A RESULT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR REPAIRS AND ALL COSTS.</p> <p>6. CONSULT WITH OWNER FOR ALL EQUIPMENT, FIXTURE, & FINISH SELECTIONS.</p> <p>7. ELECTRICAL CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL ELECTRICAL SYSTEMS, PANELS, AND EQUIPMENT INCLUDING SIZE OF SERVICE AND LOCATION OF EQUIPMENT. ALL OUTLETS AT KITCHEN COUNTERTOPS TO BE AFCI GFCI COMBINATION.</p> <p>8. MECHANICAL CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL MECHANICAL SYSTEMS INCLUDING SIZE OF DUCTS, TYPE AND SIZE OF MECHANICAL EQUIPMENT AND LOCATION OF ALL EQUIPMENT.</p> <p>9. PLUMBING CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL PLUMBING SYSTEMS INCLUDING TYPE, SIZE, AND LOCATION OF COMPONENTS ASSOCIATED WITH PLUMBING SYSTEMS</p>	<p>PROJECT DESCRIPTION SINGLE FAMILY DWELLING - RENOVATION PROJECT INCLUDES NEW FRONT PORCH AND REAR ADDITION TO THE BASEMENT AND MAIN LEVEL. INTERIOR RENOVATION OF EXISTING PORTION OF BUILDING INCLUDING FAMILY ROOM, KITCHEN, AND DINING ROOM. NEW ADDITION TO INCLUDE GUEST ROOM AND PRIMARY SUITE. BASEMENT ADDITION INCLUDES NEW RECREATION ROOM.</p> <p>JURISDICTION DEKALB COUNTY</p> <p>APPLICABLE CODES INCLUDE AND NOT LIMITED TO: 2018 INTERNATIONAL BUILDING CODE W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO-FAMILY DWELLINGS W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL PLUMBING CODE W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL FUEL GAS CODE W/ 2020 GA AMENDMENTS 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL EXISTING BUILDING CODE W/ 2015 GA AMENDMENTS 2018 INTERNATIONAL FIRE CODE W/ GA AMENDMENTS 2020 NFPA NATIONAL ELECTRICAL CODE W/ NO GA AMENDMENTS 2018 NFPA LIFE SAFETY CODE W/ 2020 GA AMENDMENTS GEORGIA HANDICAPPED ACCESSIBILITY LAW 120-3-20</p> <p>FLOOR AREA CALCULATION: FIRST LEVEL 2425 BASEMENT LEVEL 1449 TOTAL 3874 sq ft</p> <p>BUILDING HEIGHT: TWO STORY: 14'-2"</p> <p>OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENCE</p> <p>OCCUPANT LOAD: N/A</p> <p>CONSTRUCTION TYPE: TYPE VB</p>	<p>AFF. ABOVE FINISHED FLOOR ALUM. ALUMINUM C.J. CONTROL JOINT CL. CENTER LINE CLG. CEILING CLR. CLEAR CO. CARBON MONOXIDE DETECTOR CONC. CONCRETE CONT. CONTINUOUS DS. DOWNSPOUT EJ. EXPANSION JOINT EP. ELECTRICAL PANEL EQ. EQUAL EQUIP. EQUIPMENT EX. EXTERIOR EXT. EXISTING FD. FLOOR DRAIN FFE. FINISH FLOOR ELEVATION G.C. GENERAL CONTRACTOR GALV. GALVANIZED GYP. BD. GYPSUM BOARD MFR. MANUFACTURER N.I.C. NOT IN CONTRACT P.T. PRESSURE TREATED O.C. ON CENTER REV. REVERSE SD. SMOKE DETECTOR SPECS. SPECIFICATIONS TYP. TYPICAL</p>	<p>1 A-1</p> <p>1 A-1</p> <p>1 A-1</p> <p>1 A-1</p> <p>1 A-1</p> <p>DETAIL REFERENCE</p> <p>SECTION REFERENCE</p> <p>EXTERIOR ELEVATION REFERENCE</p> <p>INTERIOR ELEVATION REFERENCE</p>

VICINITY MAP

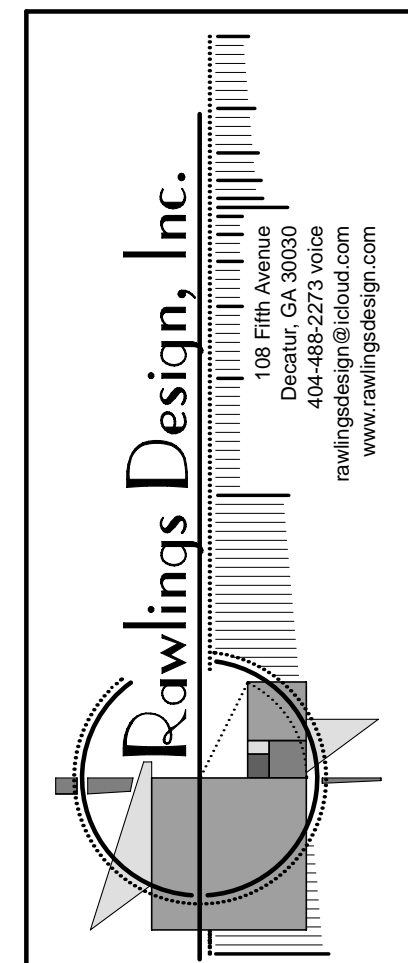




2 PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"



1 SITE DEMOLITION PLAN
SCALE: 1/16" = 1'-0"



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Revisions
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2416

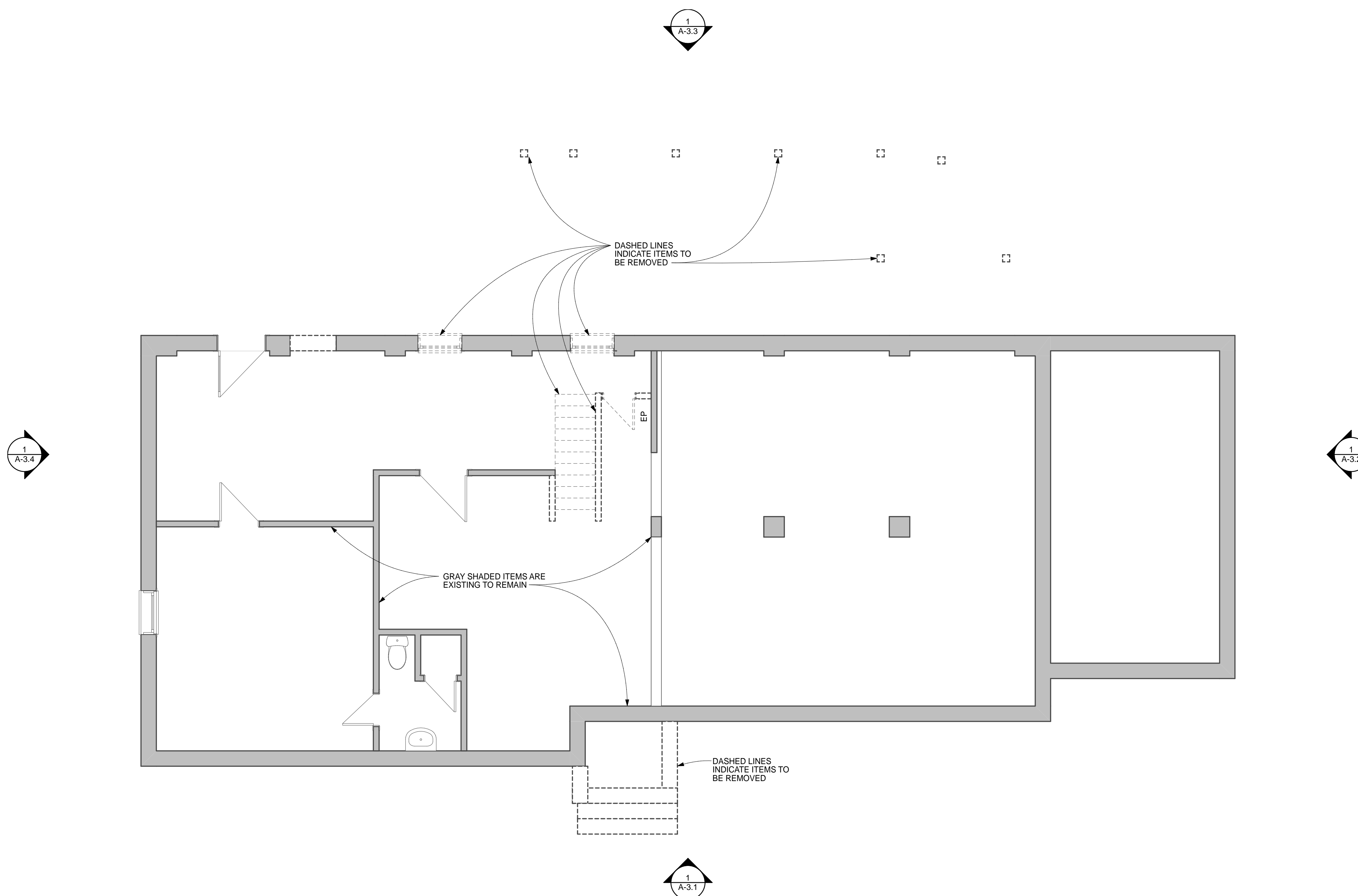
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FARKAS-KALARITHARA RESIDENCE
1756 RIDGECREST COURT NE
ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:
Site Plan

A-1.1



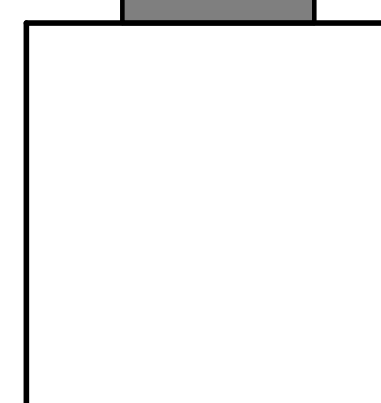
BASEMENT DEMOLITION PLAN



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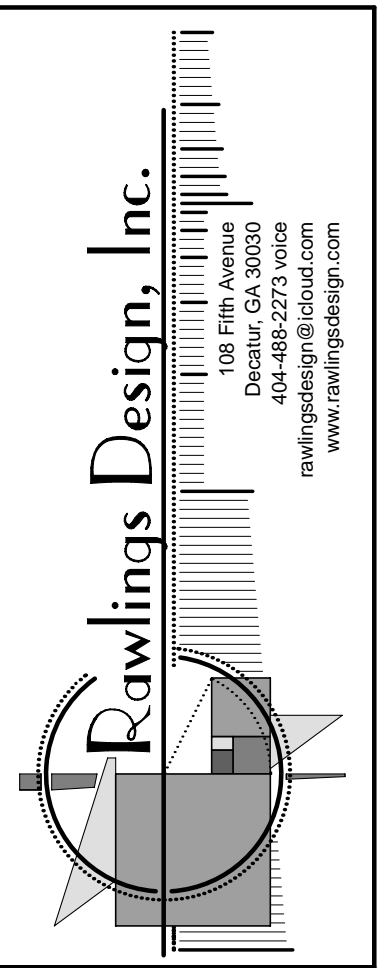
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1756 RIDGECREST COURT NE
ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:
Demolition Plan

A-2.1

WINDOW SCHEDULE												
NO.	WIDTH	HEIGHT	ELEV	TYPE	MATERIAL	FINISH	GLAZING	DETAILS				REMARKS
								HEAD	JAMB	SILL	MULLION	
005A	4'-0"	2'-0"		FIXED	WOOD							
104A	3'-0"	5'-0"		FIXED	WOOD		TEMPERED					
107A	5'-4"	5'-0"		CASEMENT	WOOD							EGRESS
107B	2'-8"	5'-0"		CASEMENT	WOOD							EGRESS
107C	2'-8"	5'-0"		CASEMENT	WOOD							EGRESS
108A	4'-0"	2'-0"		FIXED	WOOD		TEMPERED					
108B	5'-0"	2'-0"		FIXED	WOOD		TEMPERED					
109A	2'-0"	2'-0"		FIXED	WOOD		TEMPERED					
110A	2'-8"	5'-0"		CASEMENT	WOOD							EGRESS
110B	2'-8"	5'-0"		CASEMENT	WOOD							EGRESS
113A	2'-8"	4'-6"		CASEMENT	WOOD							EGRESS
117A	4'-0"	2'-0"		FIXED	WOOD							
117B	4'-0"	2'-0"		FIXED	WOOD							
117C	2'-8"	5'-0"		FIXED	WOOD		TEMPERED					

DOOR SCHEDULE											
NO.	WIDTH	HEIGHT	DOOR			FRAME				REMARKS	
			TYPE	LABEL	MATERIAL	TYPE	HEAD	JAMB	SILL		MATERIAL
005.1	14'-0"	6'-8"									
006.1	2'-4"	6'-8"									
103.1	2'-4"	6'-8"									
104.1	3'-0"	6'-8"									
104.2	14'-0"	6'-8"									
106.1	2'-8"	6'-8"									
107.1	2'-8"	6'-8"									
108.1	2'-8"	6'-8"									
109.1	2'-0"	6'-8"									
109.1	2'-4"	6'-8"									
110.1	2'-8"	6'-8"									
110.2	5'-0"	6'-8"									
111.1	2'-4"	6'-8"									
116.1	2'-0"	6'-8"									
116.2	1'-6"	6'-8"									
117.1	2'-8"	6'-8"									
117.2	2'-8"	6'-8"									



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Revisions

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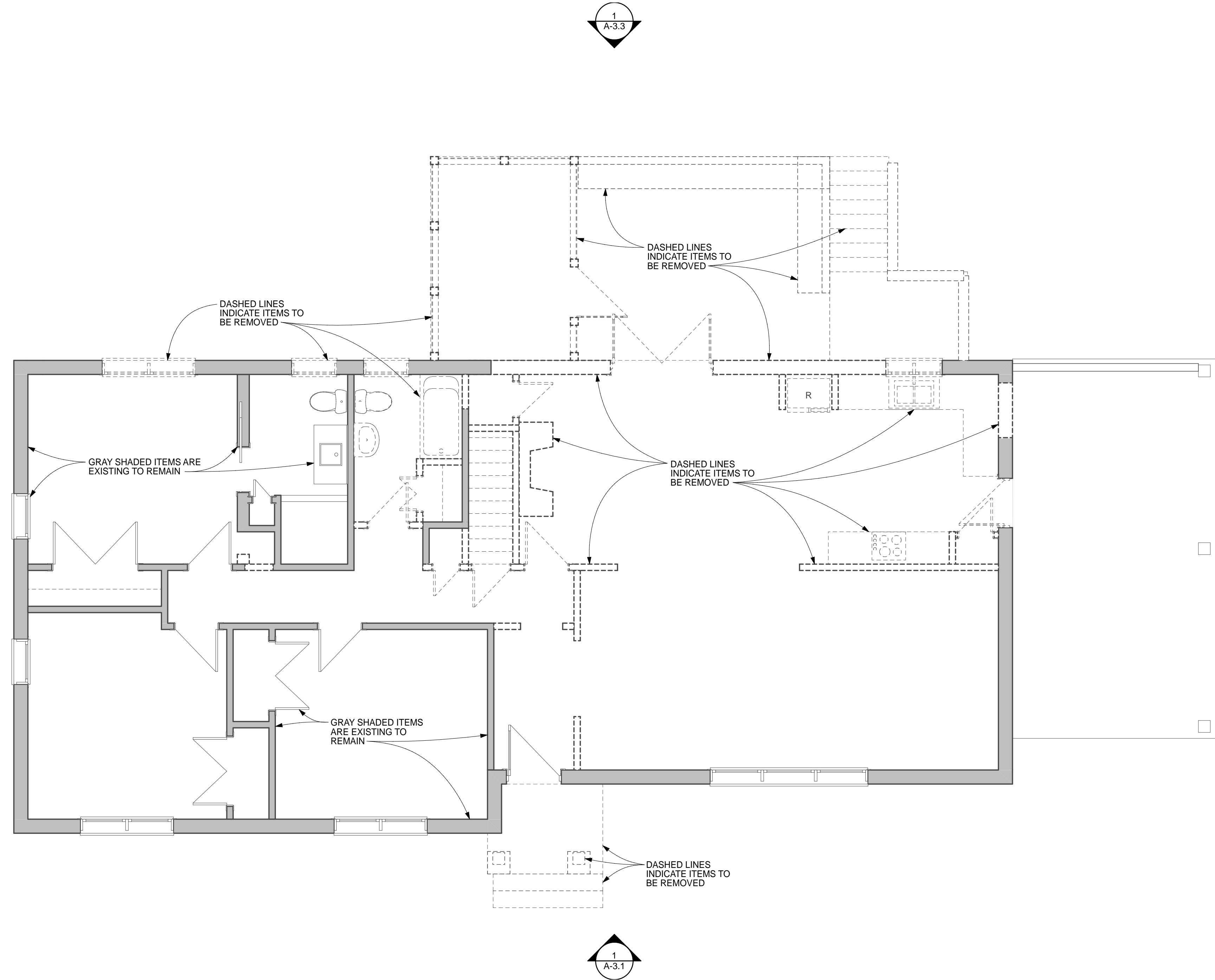
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Project Number: 2416

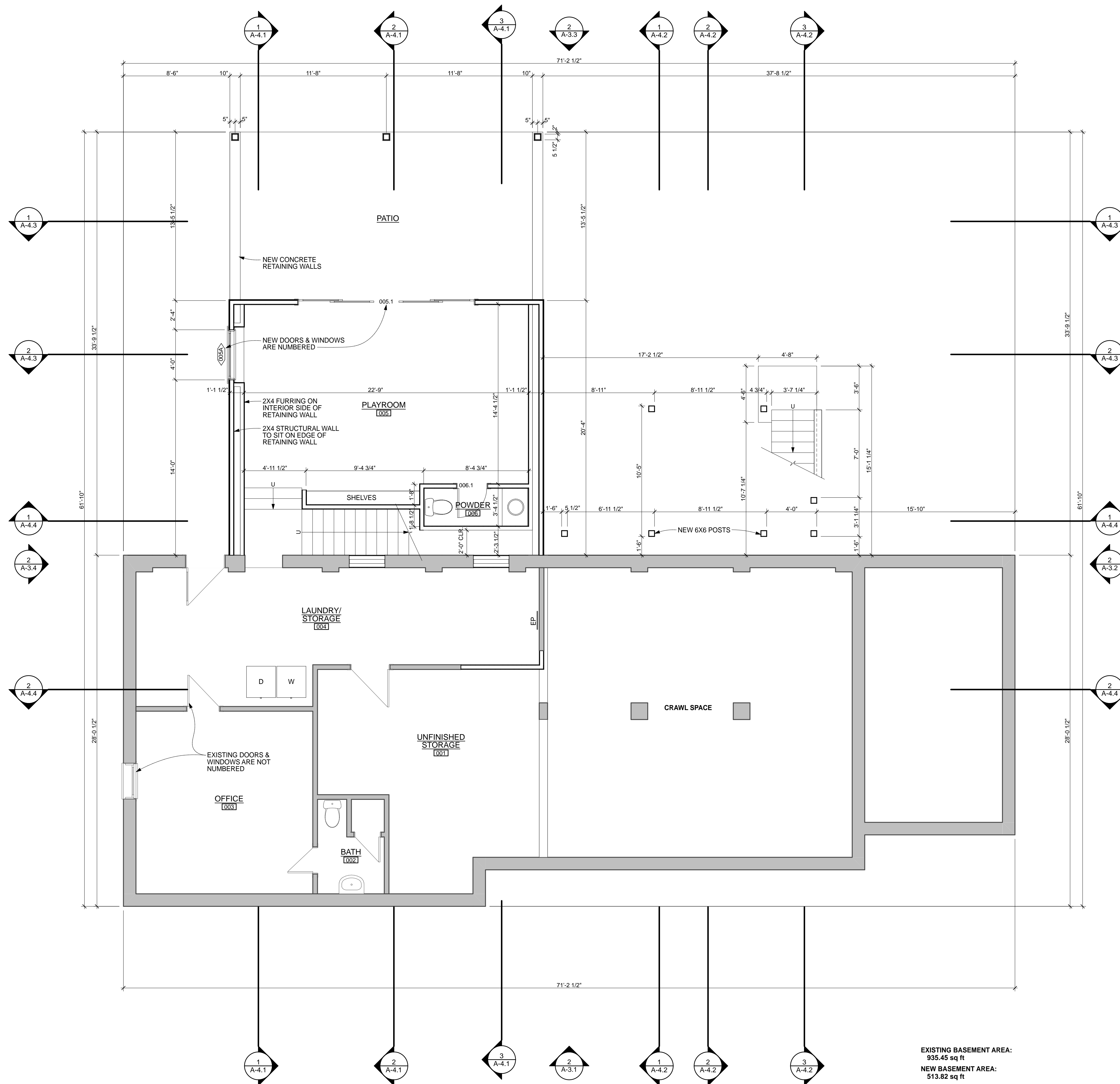
FARKAS-KALARITHARA RESIDENCE
 1756 RIDGECREST COURT NE
 ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description: Demolition Plan

A-2.2

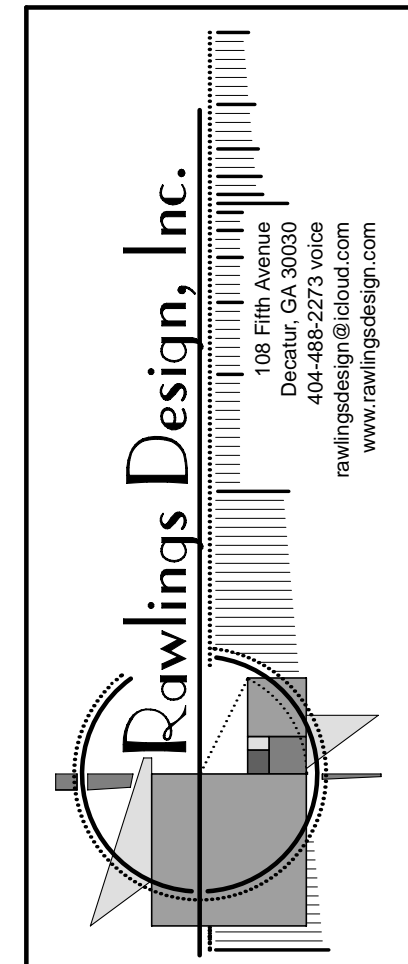


1 FIRST LEVEL DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



EXISTING BASEMENT AREA:
935.45 sq ft
NEW BASEMENT AREA:
513.82 sq ft

1 BASEMENT LEVEL PLAN
SCALE: 1/4" = 1'-0"



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2/18/25

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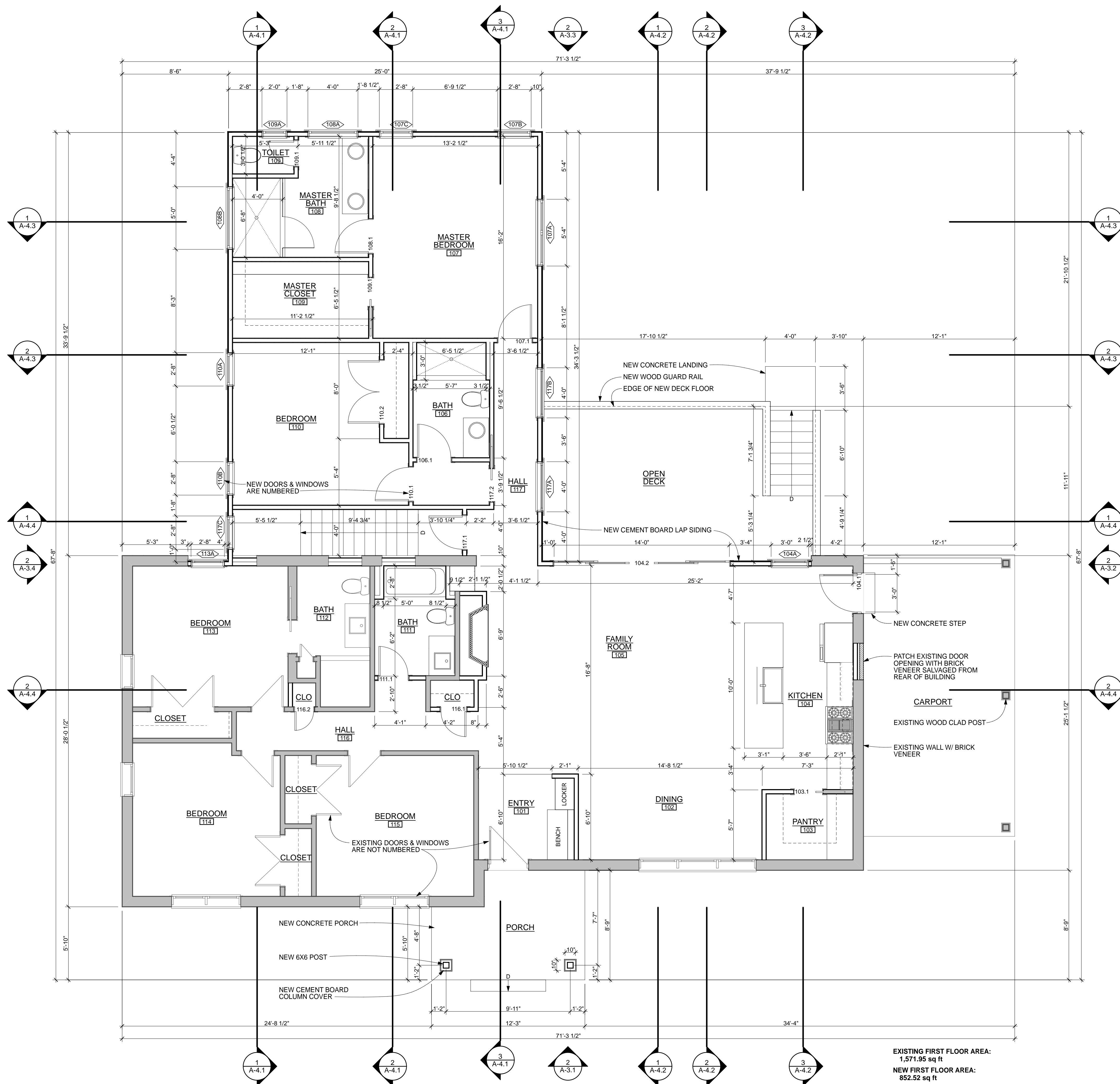
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2416

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ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

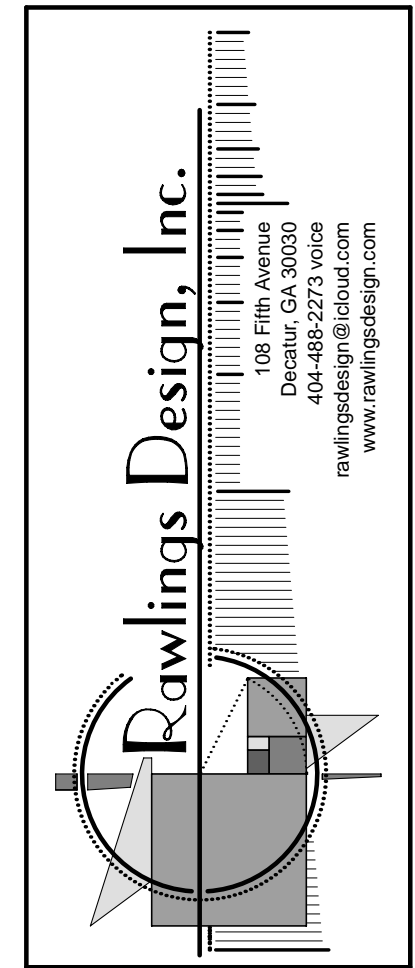
Drawing Description:
Floor Plans

A-2.3



EXISTING FIRST FLOOR AREA:
1,571.95 sq ft
NEW FIRST FLOOR AREA:
852.52 sq ft

1 FIRST LEVEL PLAN
SCALE: 1/4" = 1'-0"



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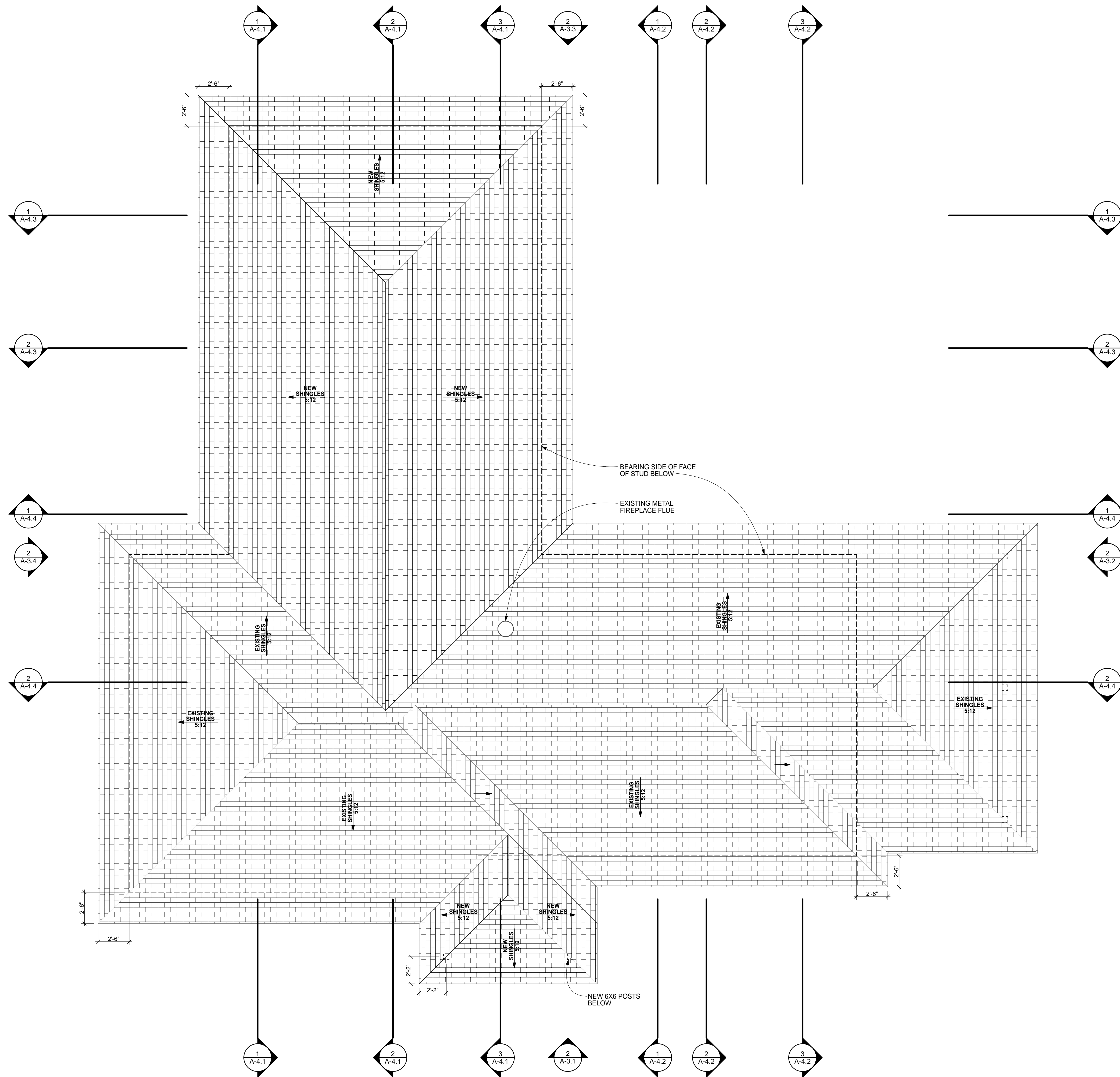
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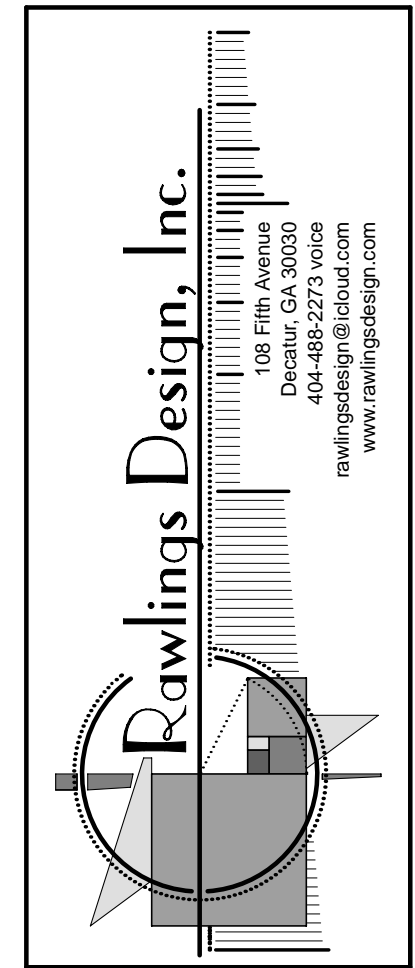
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ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:
Floor Plans

A-2.4



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



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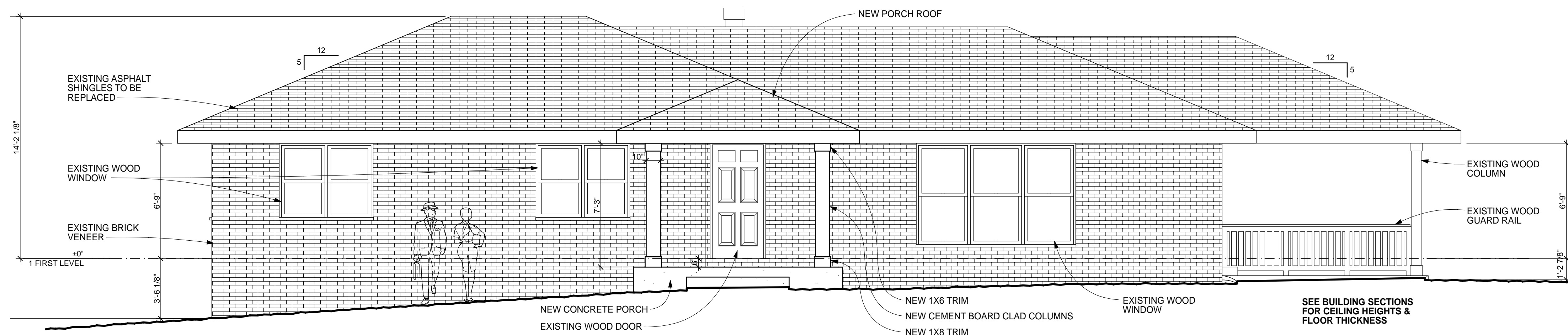
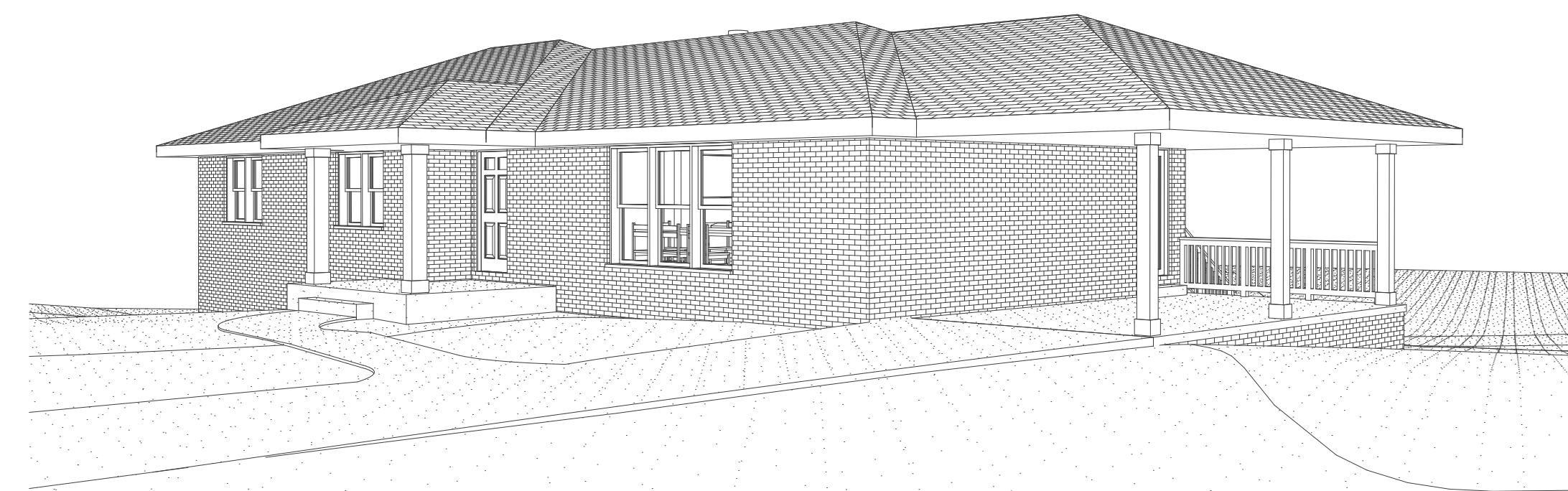
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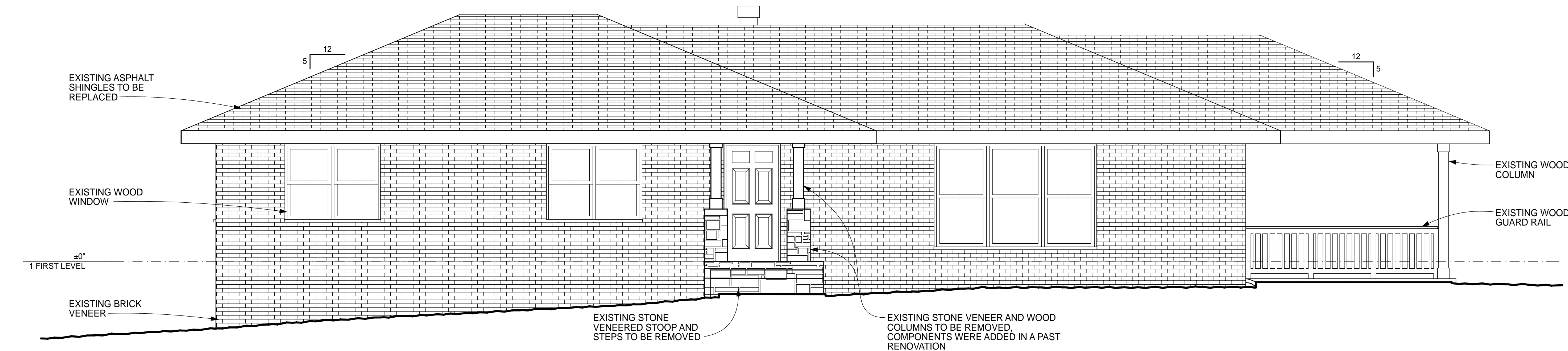
FARKAS-KALARITHARA RESIDENCE
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ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:
Floor Plans

A-2.5



2 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



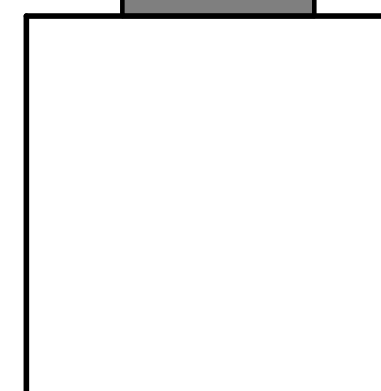
1 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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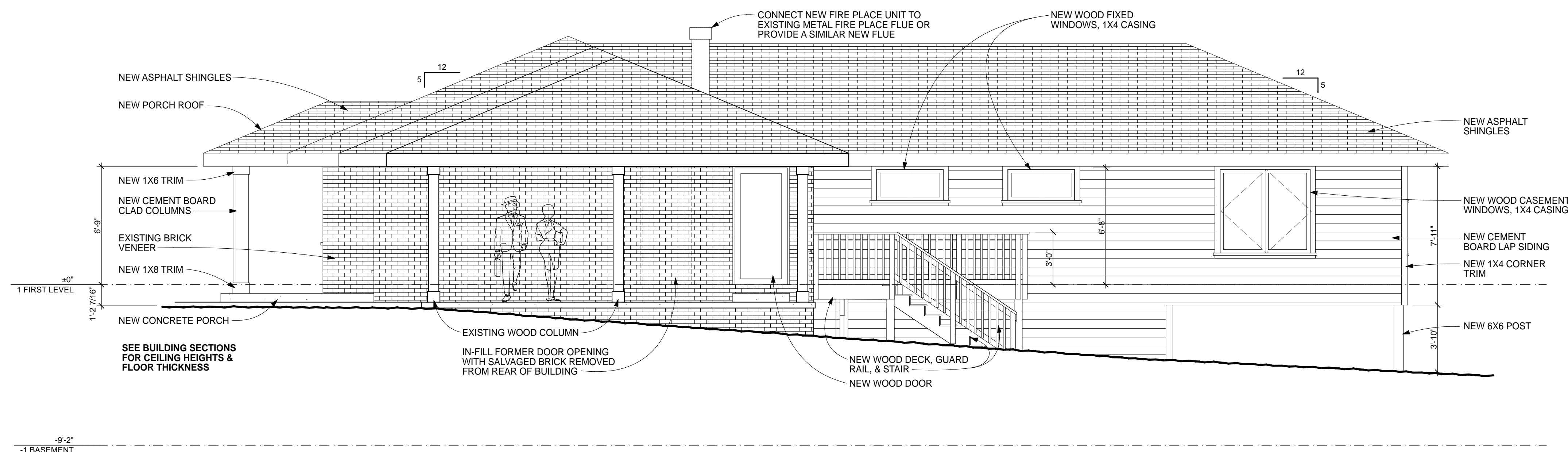
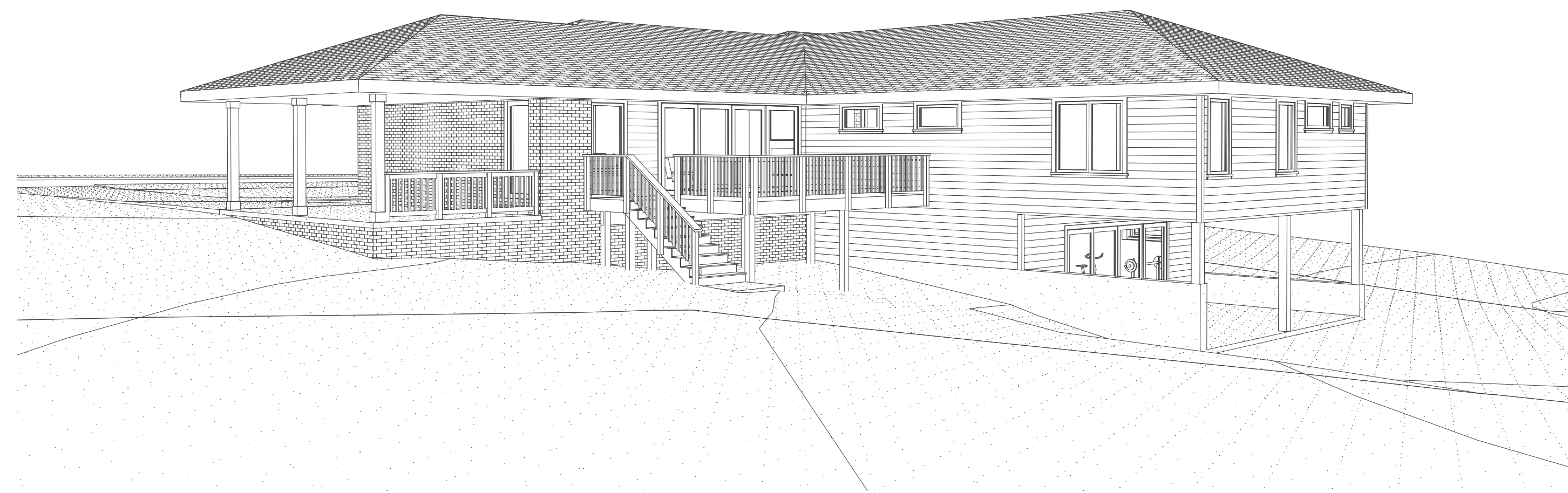
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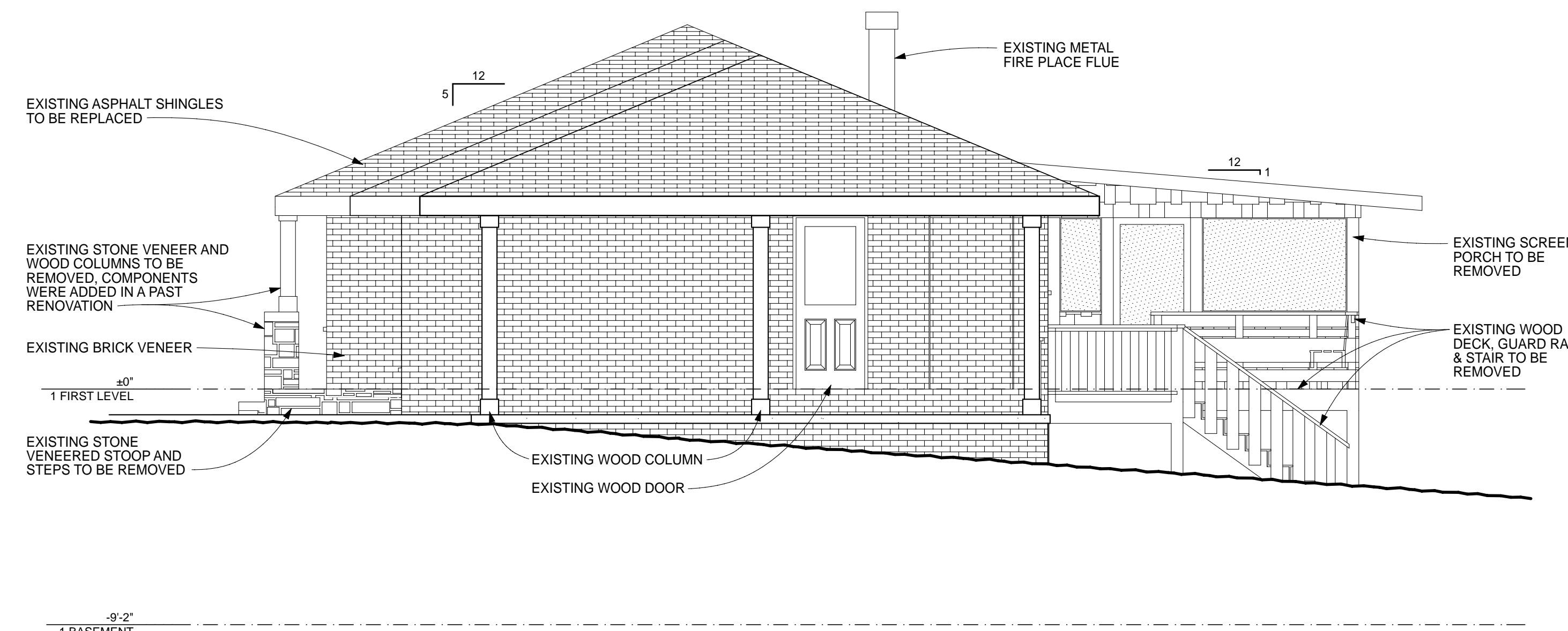
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1756 RIDGECREST COURT NE
ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description: Exterior Elevations

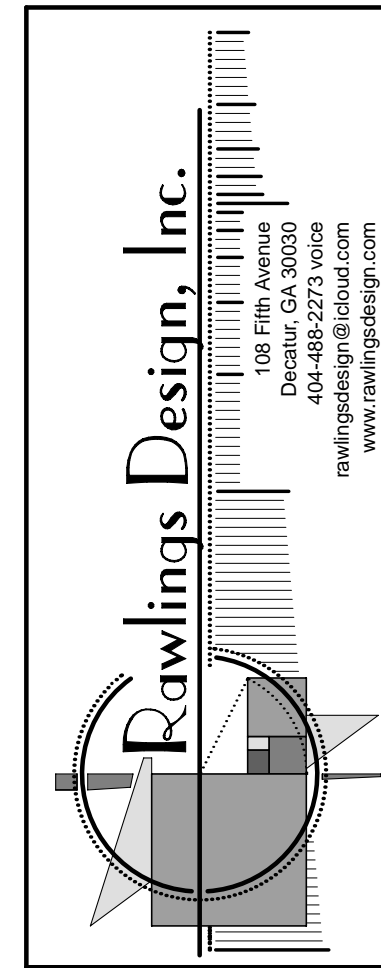
A-3.1



2 PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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Revisions

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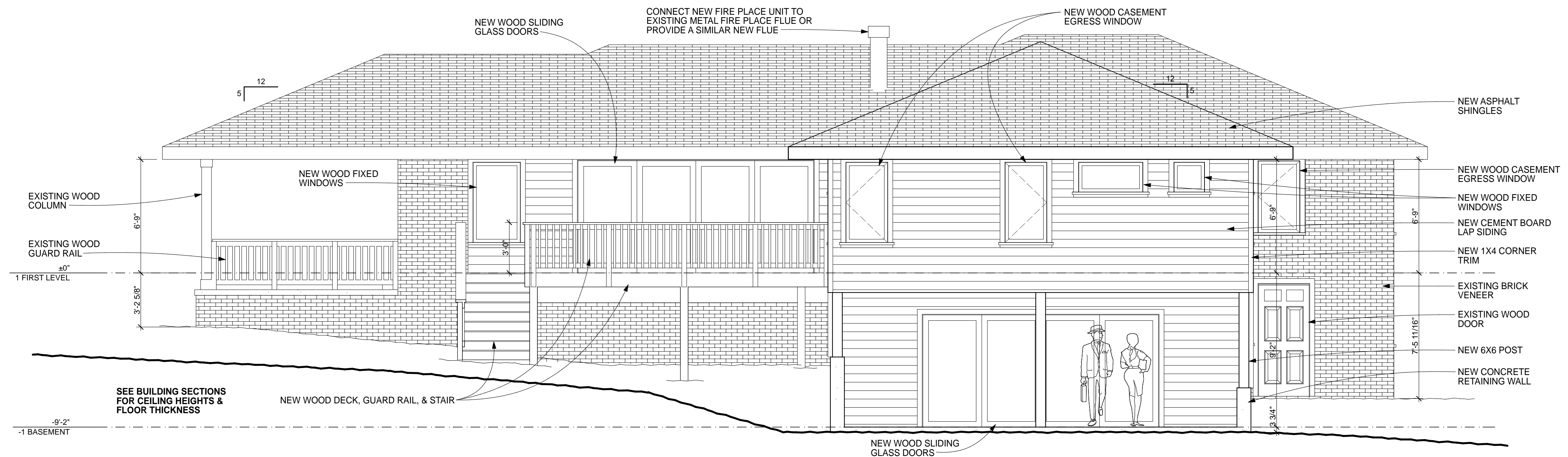
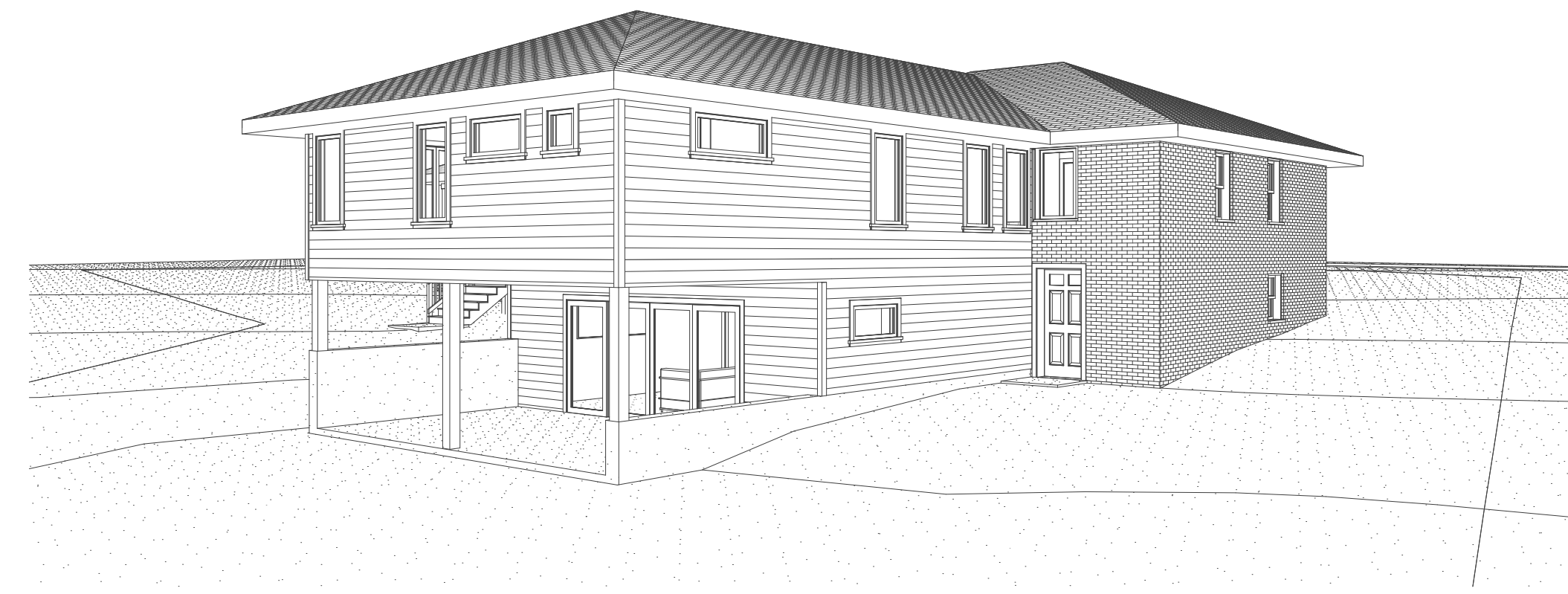
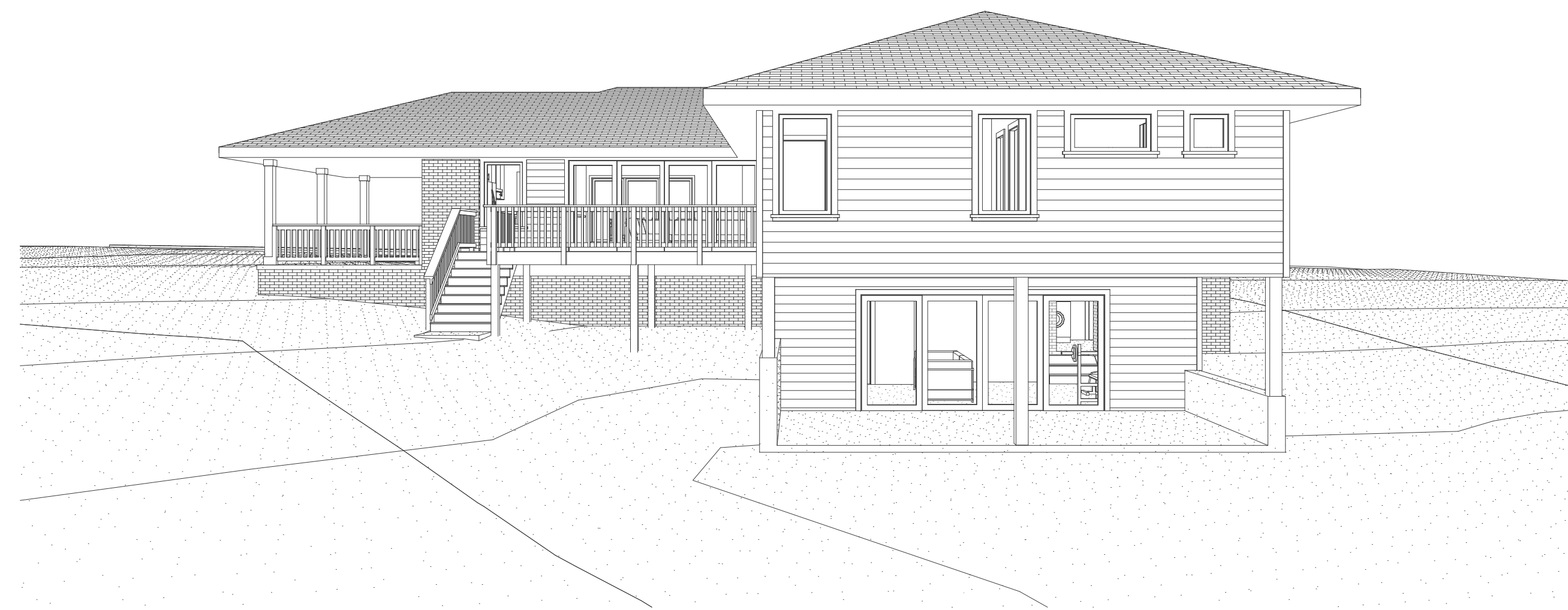
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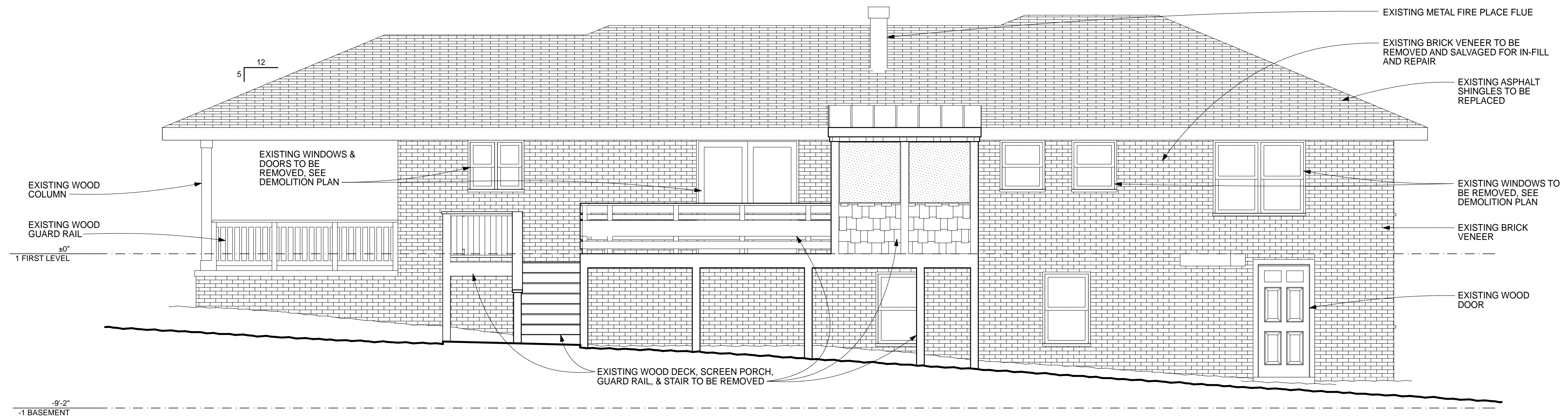
FARKAS-KALARITHARA RESIDENCE
1756 RIDGECREST COURT NE
ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description: Exterior Elevations

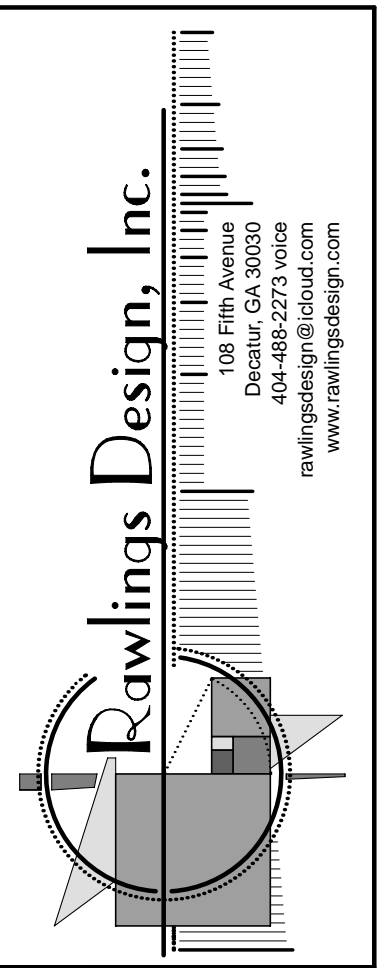
A-3.2



2 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



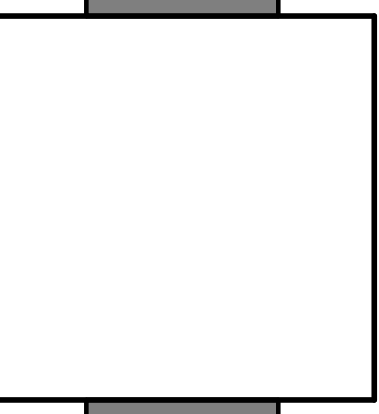
1 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



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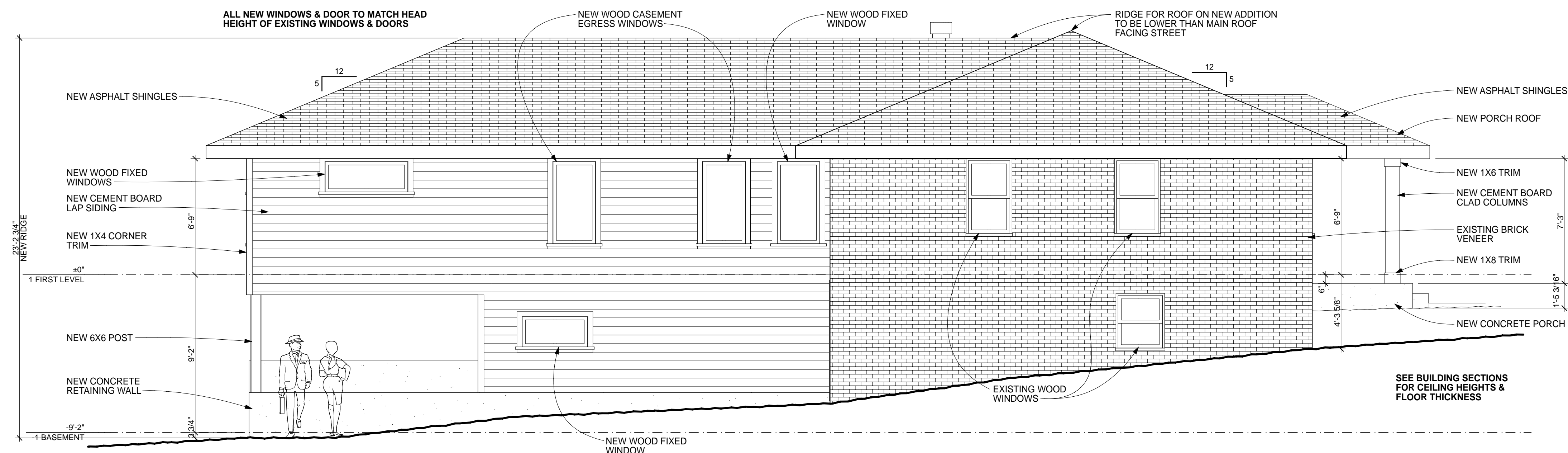
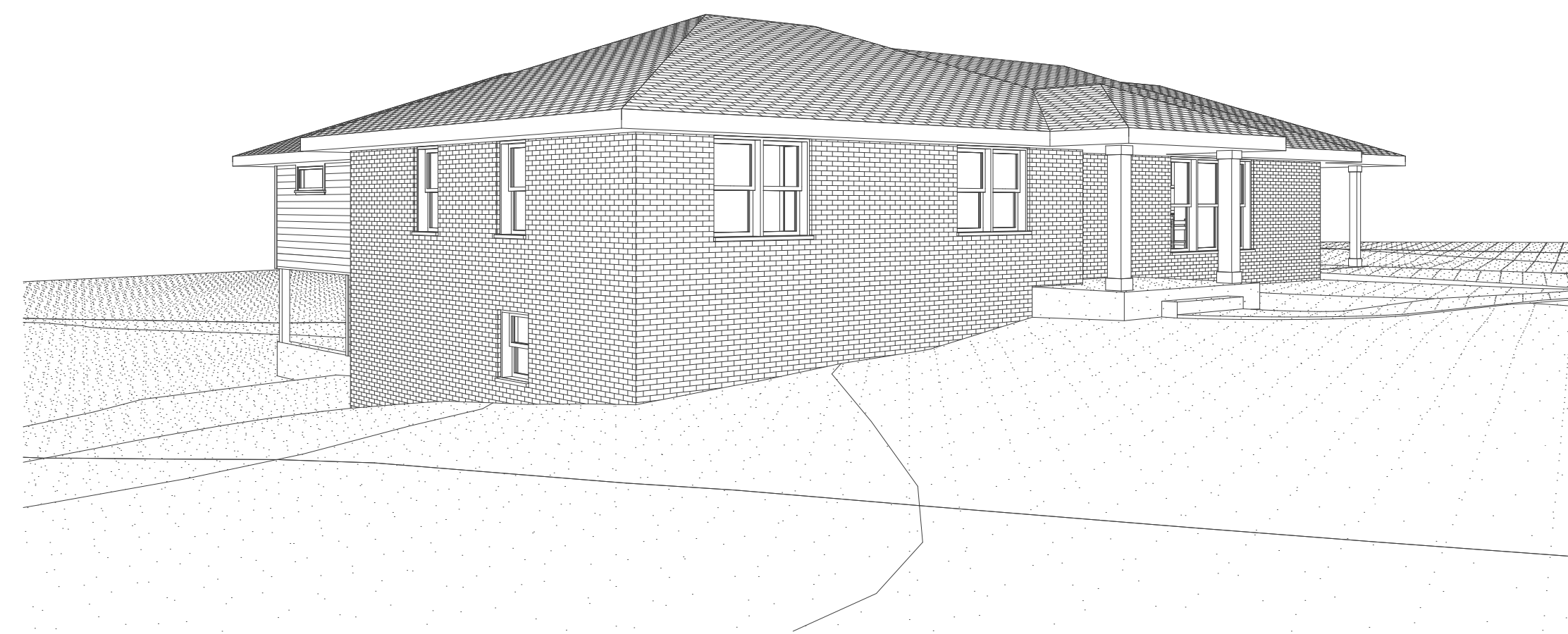
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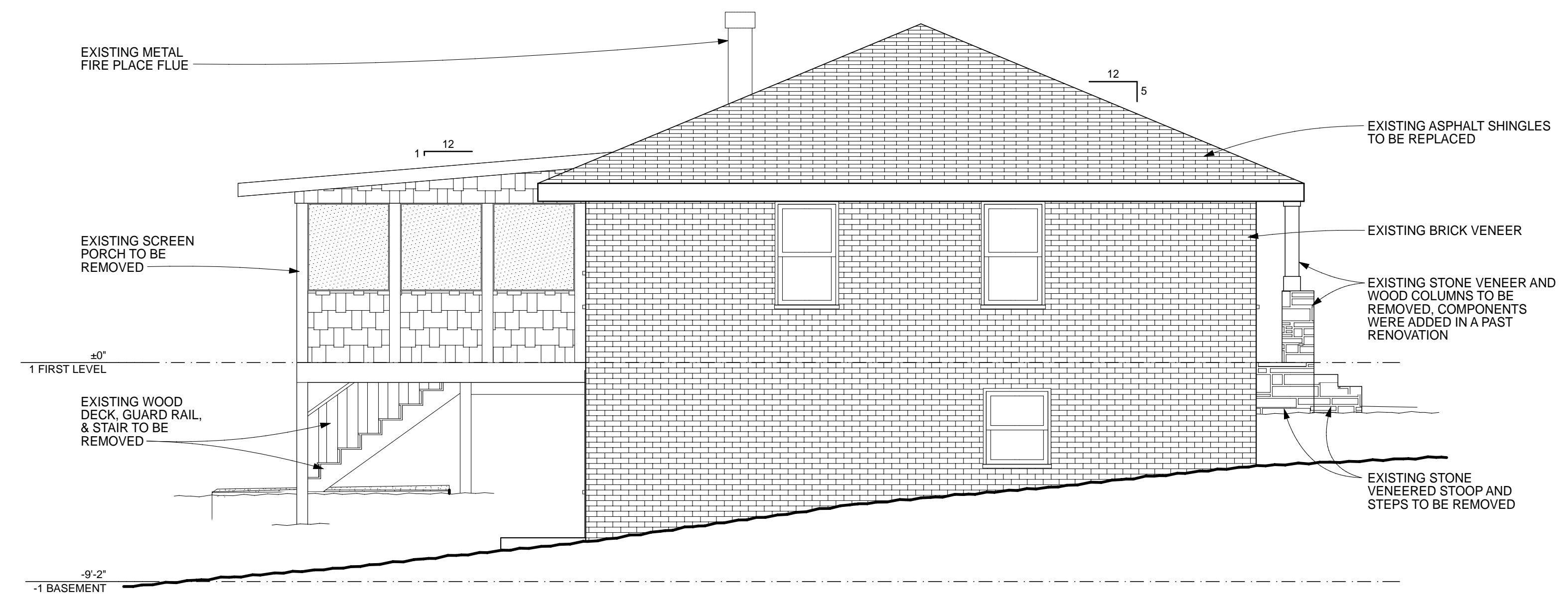
FARKAS-KALARITHARA RESIDENCE
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ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:
Exterior Elevations

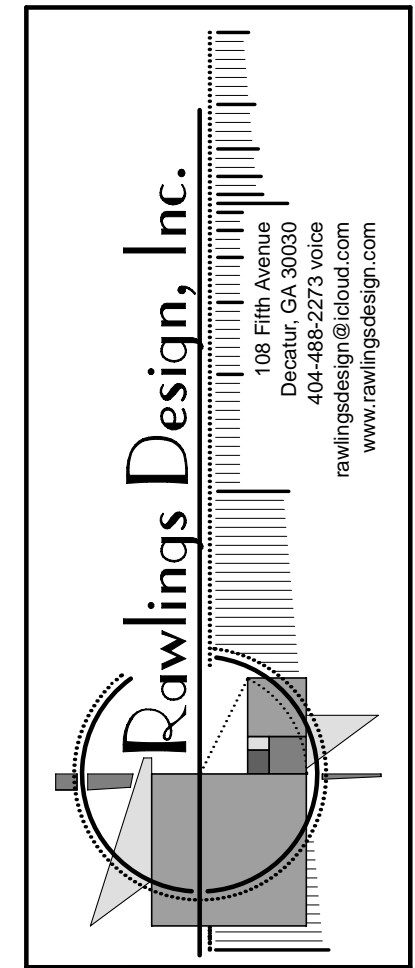
A-3.3



2 PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



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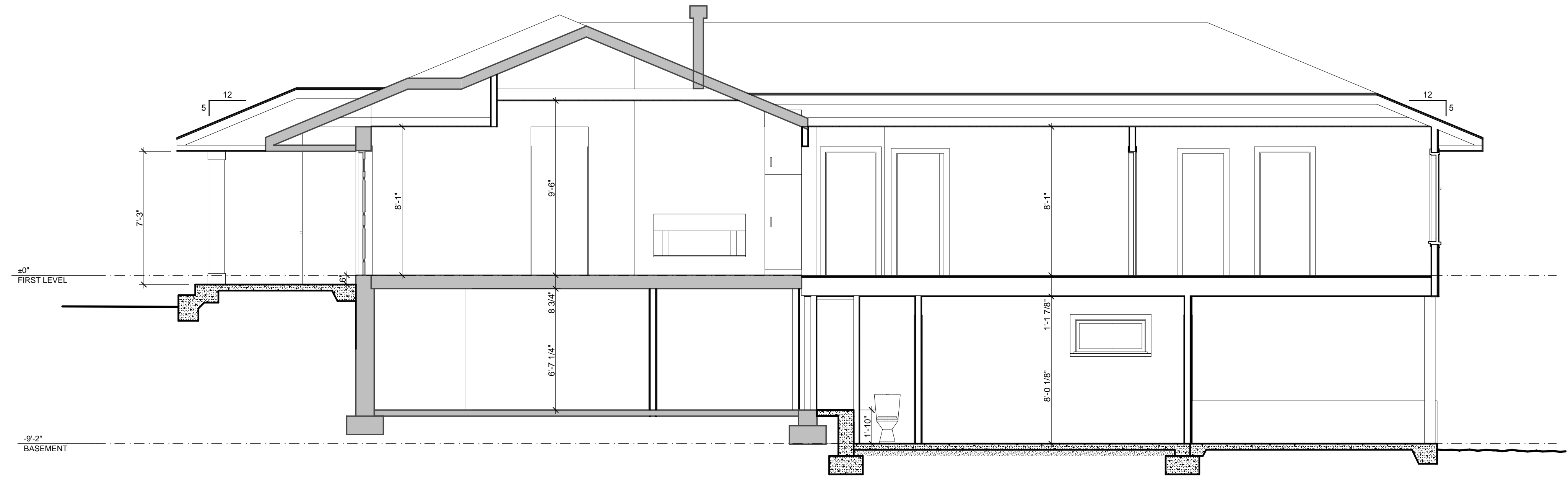
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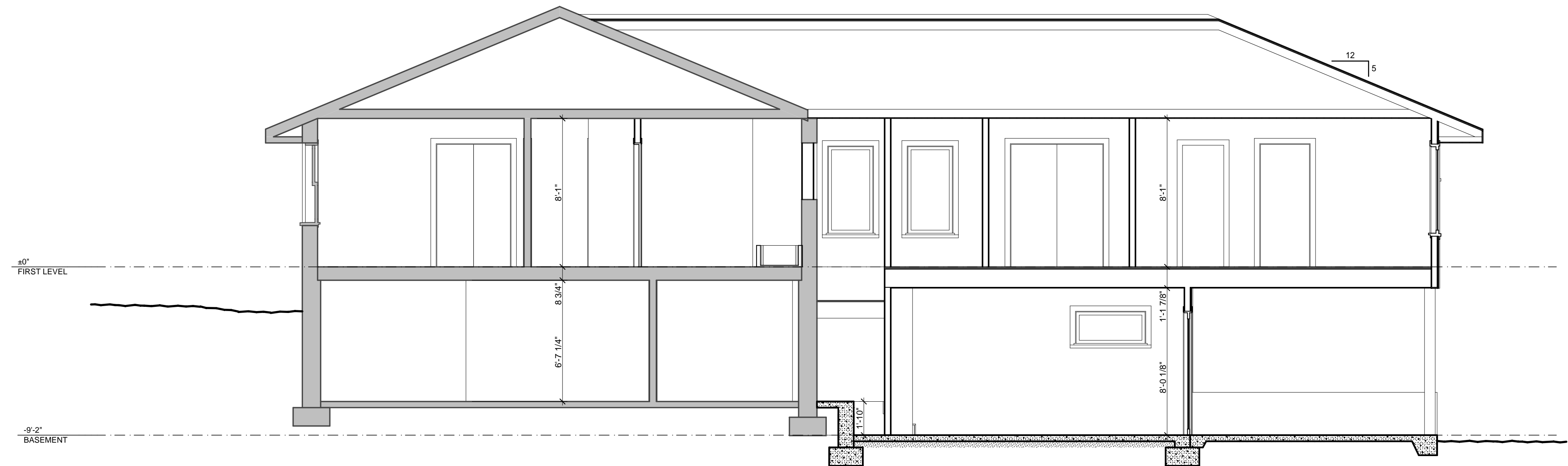
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ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:
Exterior Elevations

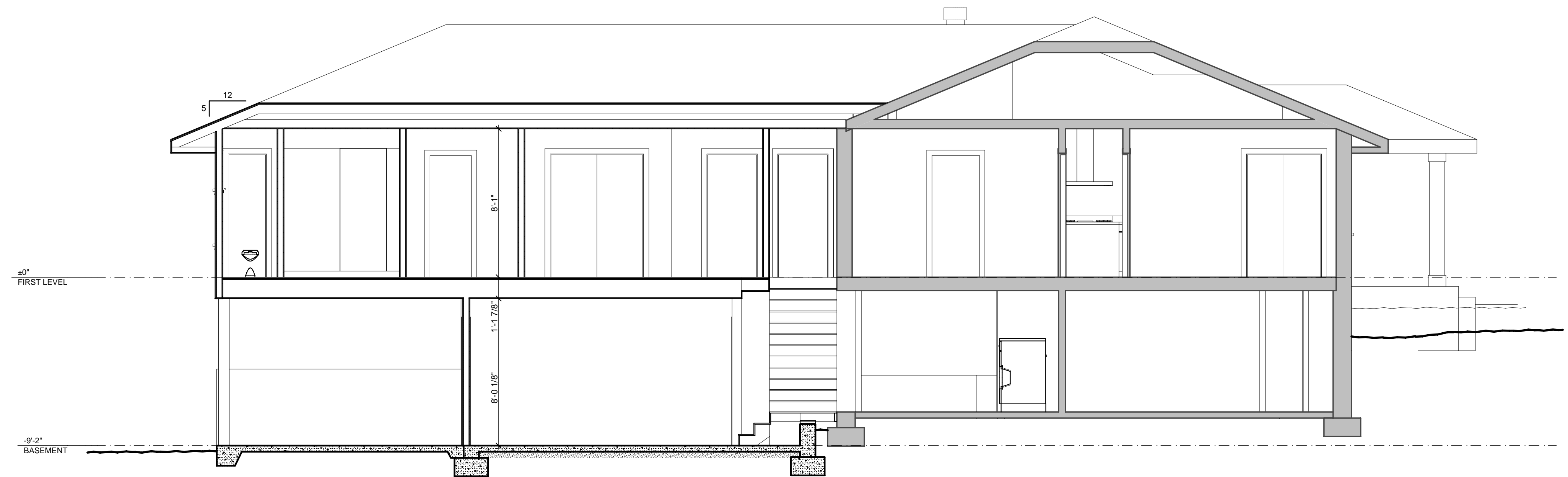
A-3.4



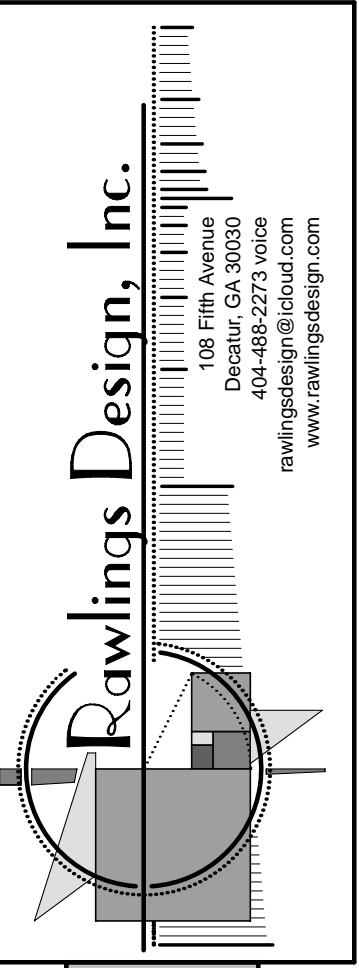
3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



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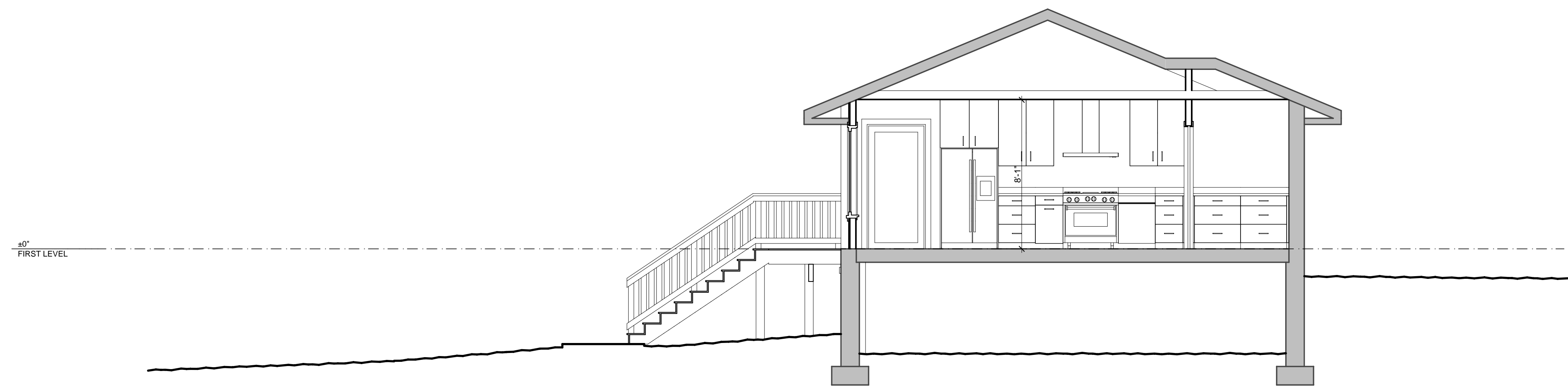
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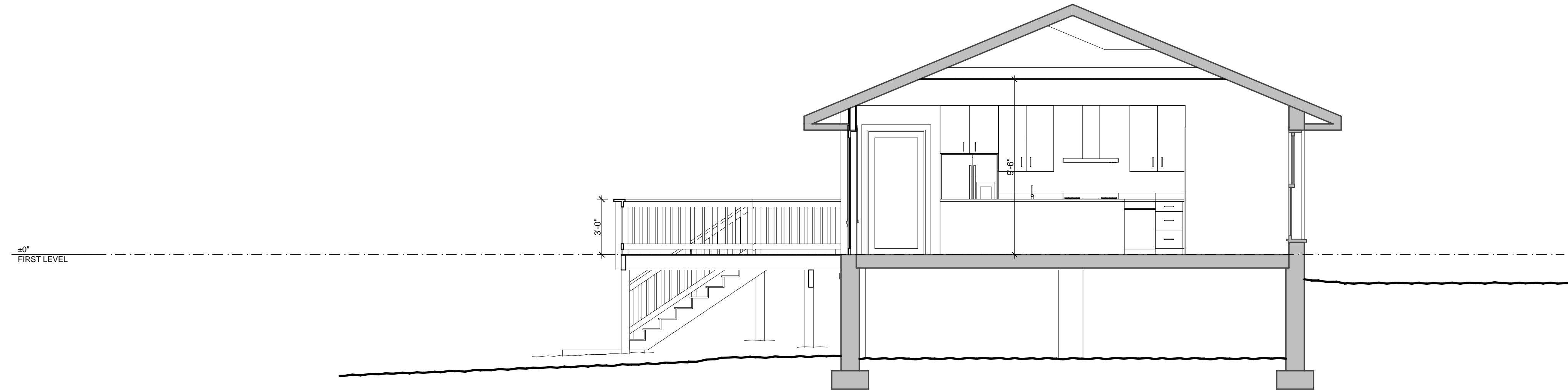
FARKAS-KALARITHARA RESIDENCE
1756 RIDGECREST COURT NE
ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:
Building Sections

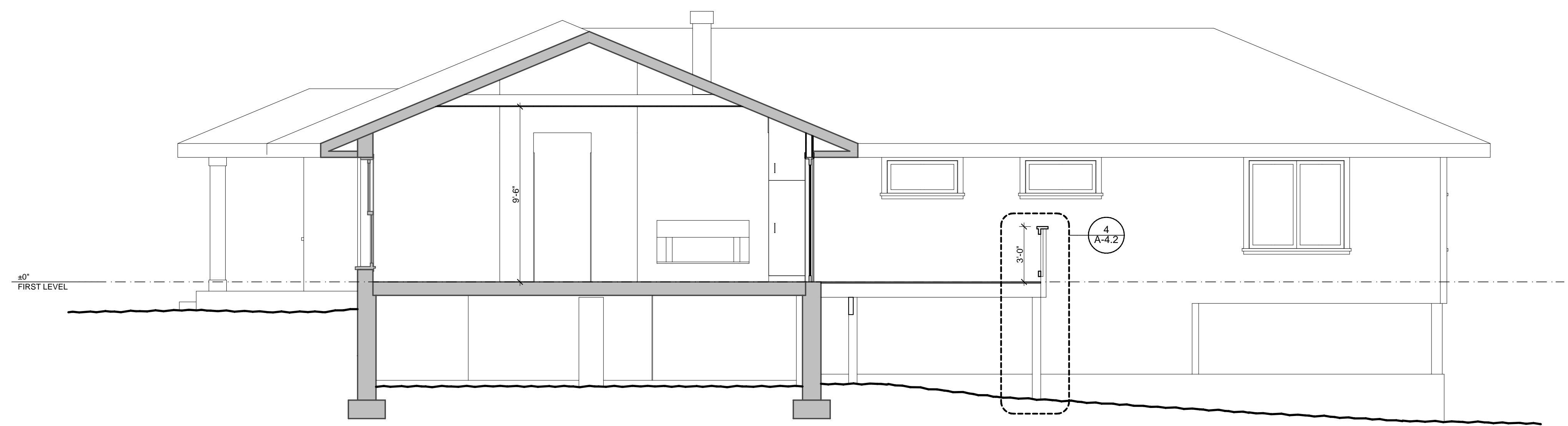
A-4.1



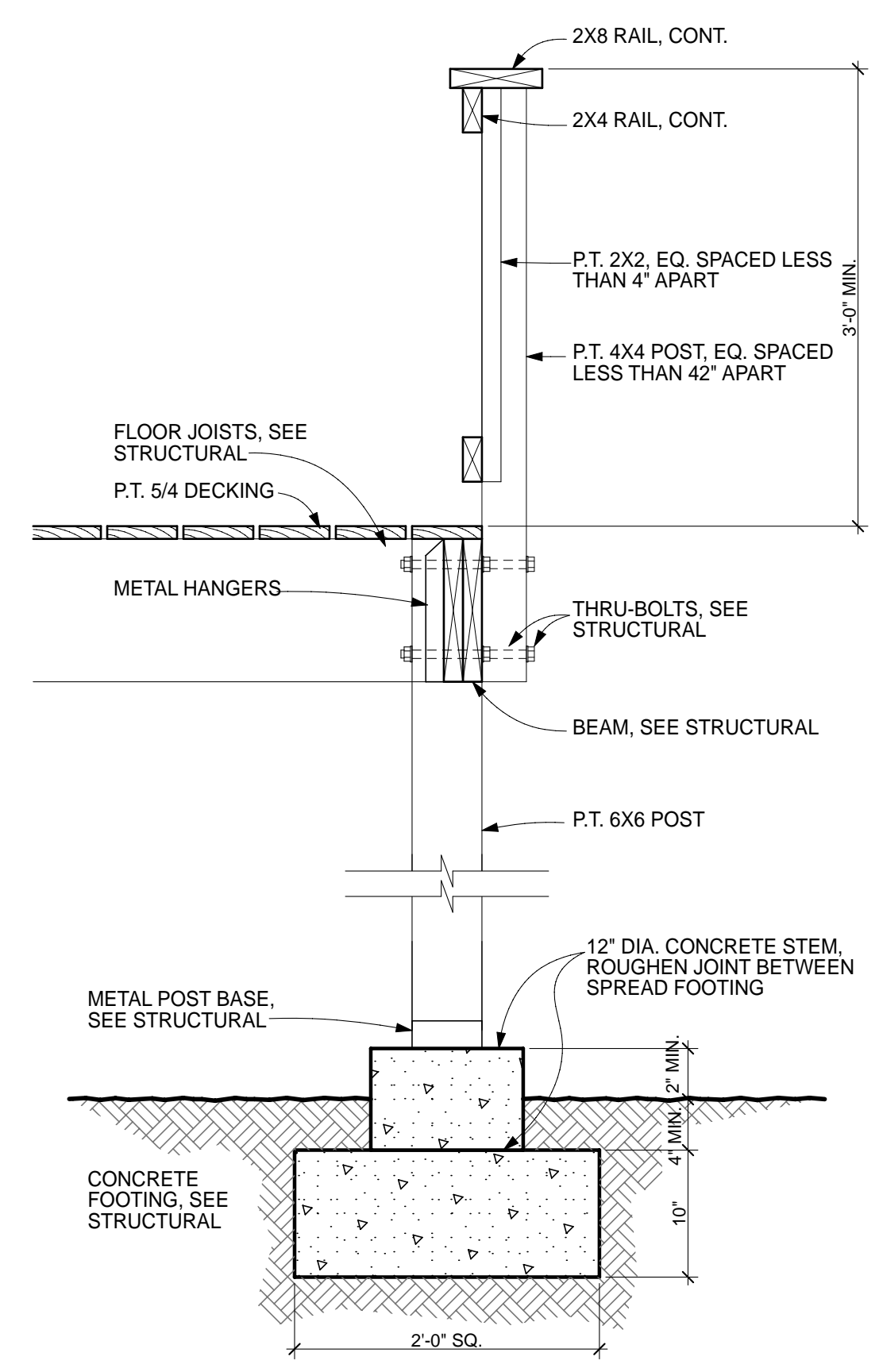
3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



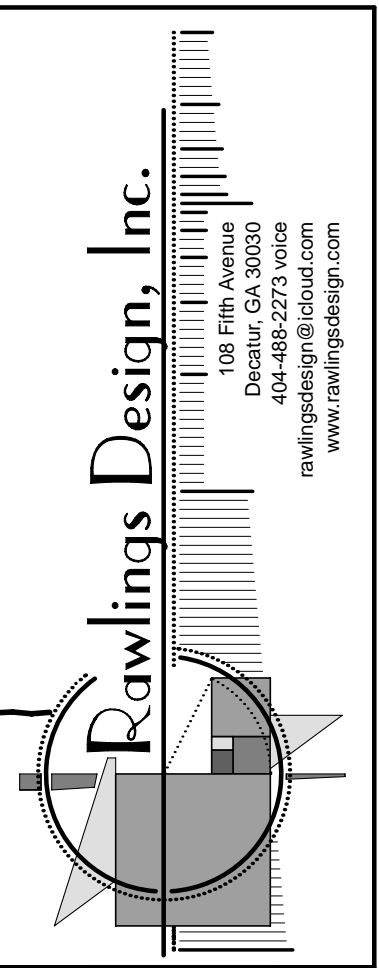
2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



4 DECK DETAIL
SCALE: 1" = 1'-0"



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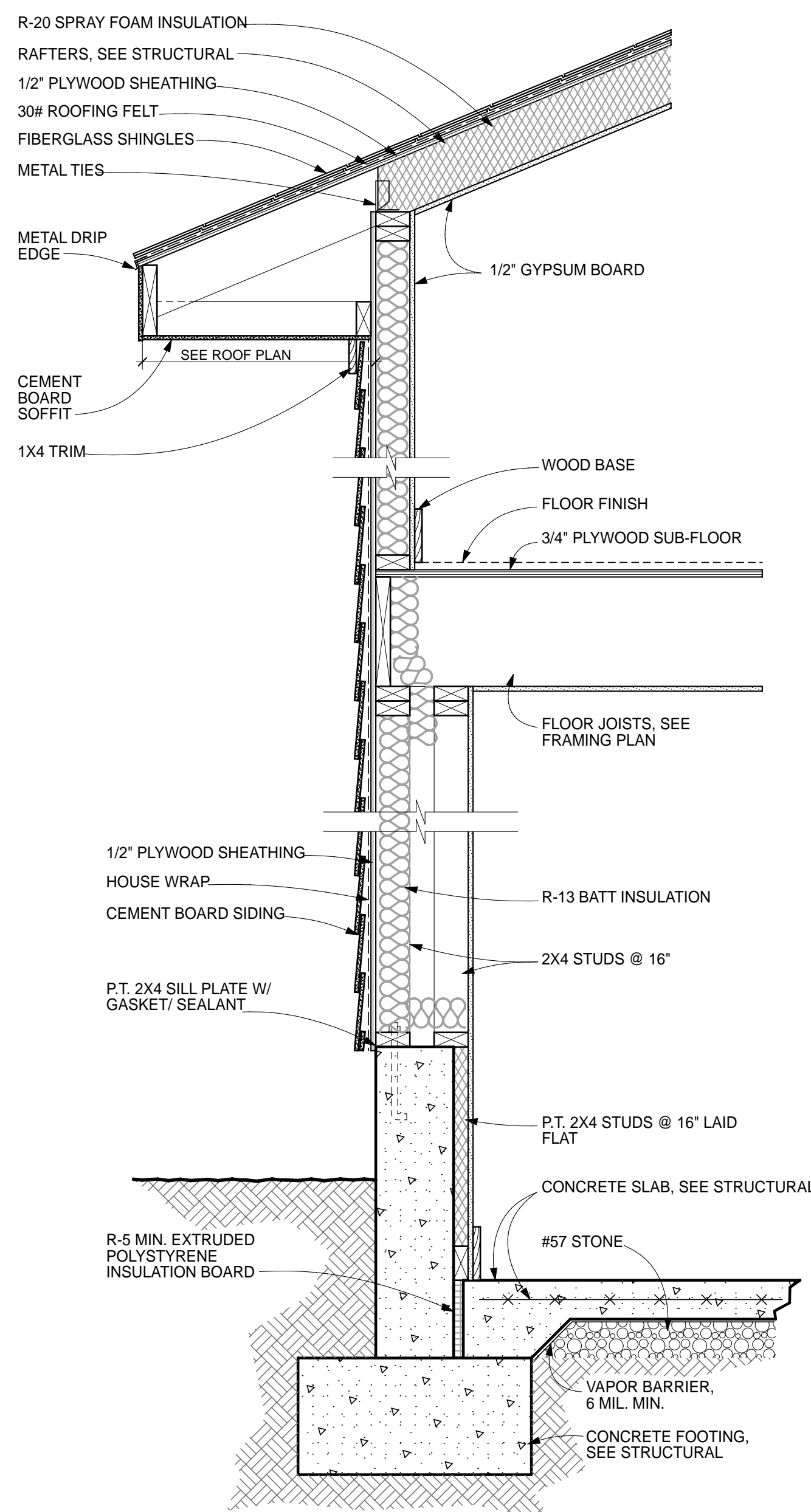
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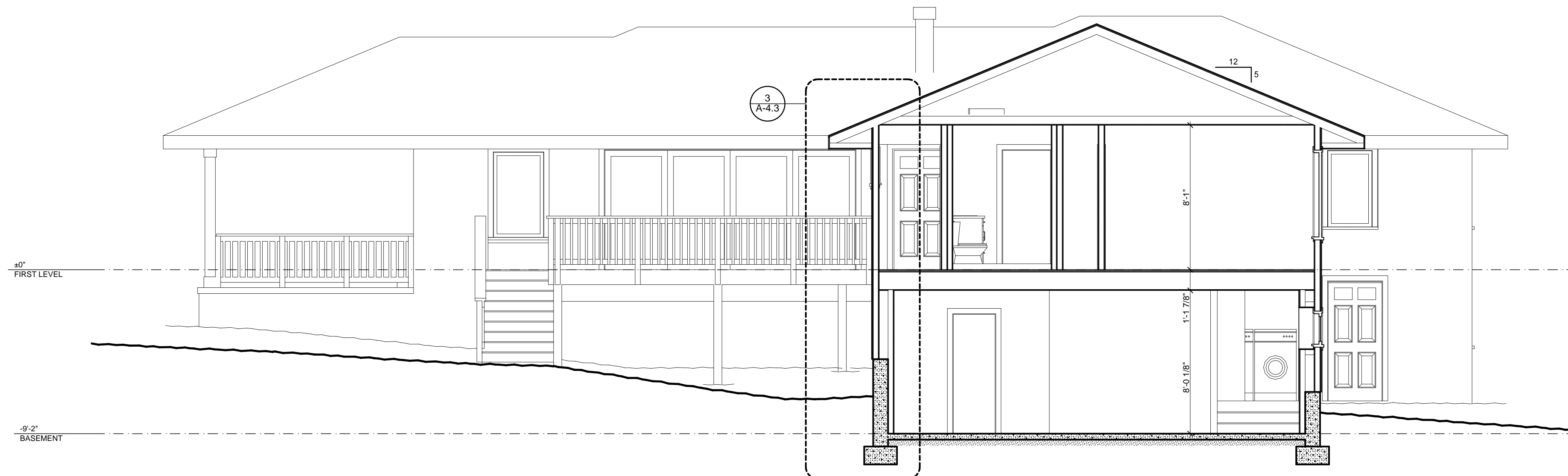
FARKAS-KALARITHARA RESIDENCE
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SHERIL KALARITHARA

Drawing Description:
Building Sections

A-4.2



3 WALL SECTION
SCALE: 1" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



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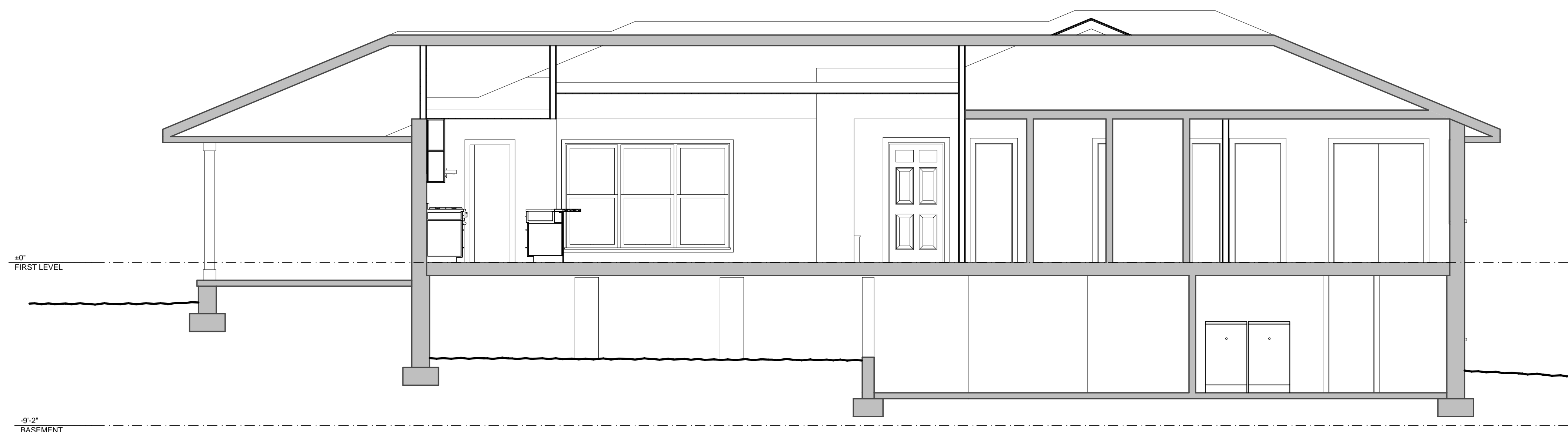
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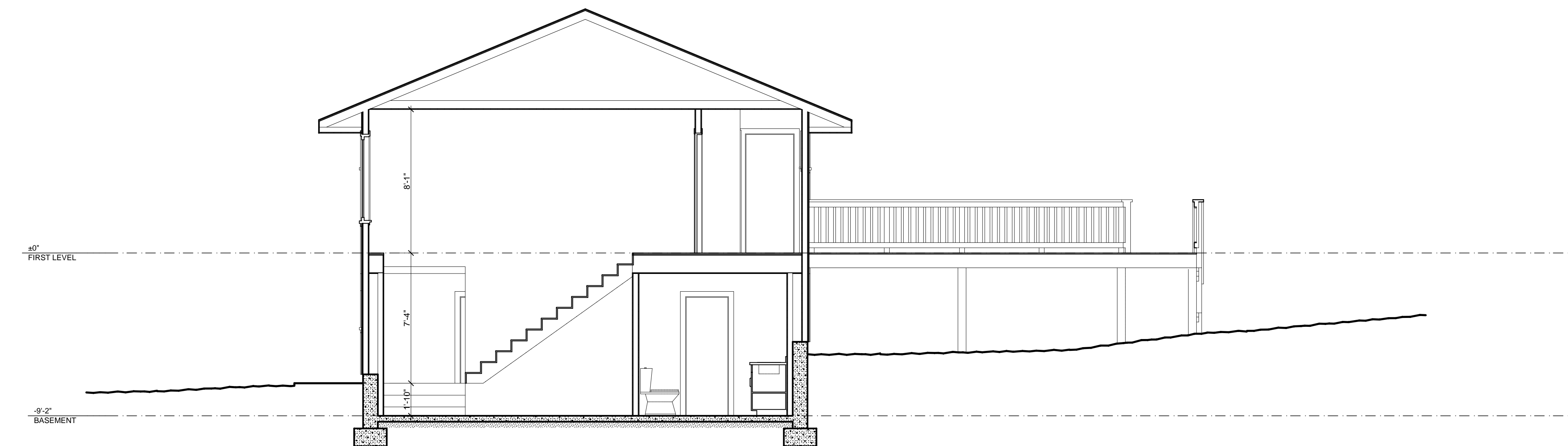
FARKAS-KALARITHARA RESIDENCE
1756 RIDGECREST COURT NE
ATLANTA, GA 30307
ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:
Building Sections

A-4.3



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



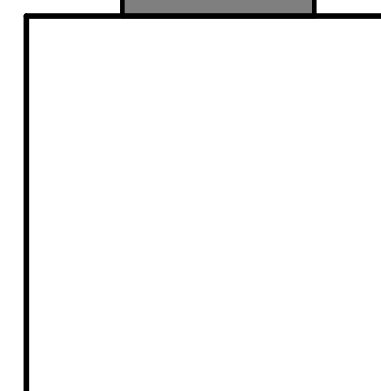
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



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ANDREW FARKAS
SHERIL KALARITHARA

Drawing Description:
Building Sections

A-4.4