



Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or Authorized Representative: Moritz Bosselmann
Mailing Address: 4046 Wembley Forest Way
City/State/Zip Code: Atlanta, GA 30340
Email: mbosselmann@gmail.com
Telephone Home: 404.384.6105 Business: 404.384.6105

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: Moritz Bosselmann
Address (Mailing): 4046 Wembley Forest Way, Atlanta, GA 30340
Email: mbosselmann@gmail.com Telephone Home: 404.384.6105 Business: 404.384.6105

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 4046 Wembley Forest Way City: Atlanta State: GA Zip: 30340
District(s): _____ Land Lot(s): _____ Block: _____ Parcel: 18 288 04 032
Zoning Classification: R-100 Commission District & Super District: 1/7

CHECK TYPE OF HEARING REQUESTED:

- VARIANCE** (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS** (To reduce or waive off-street parking or loading space requirements.)
- OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.**

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

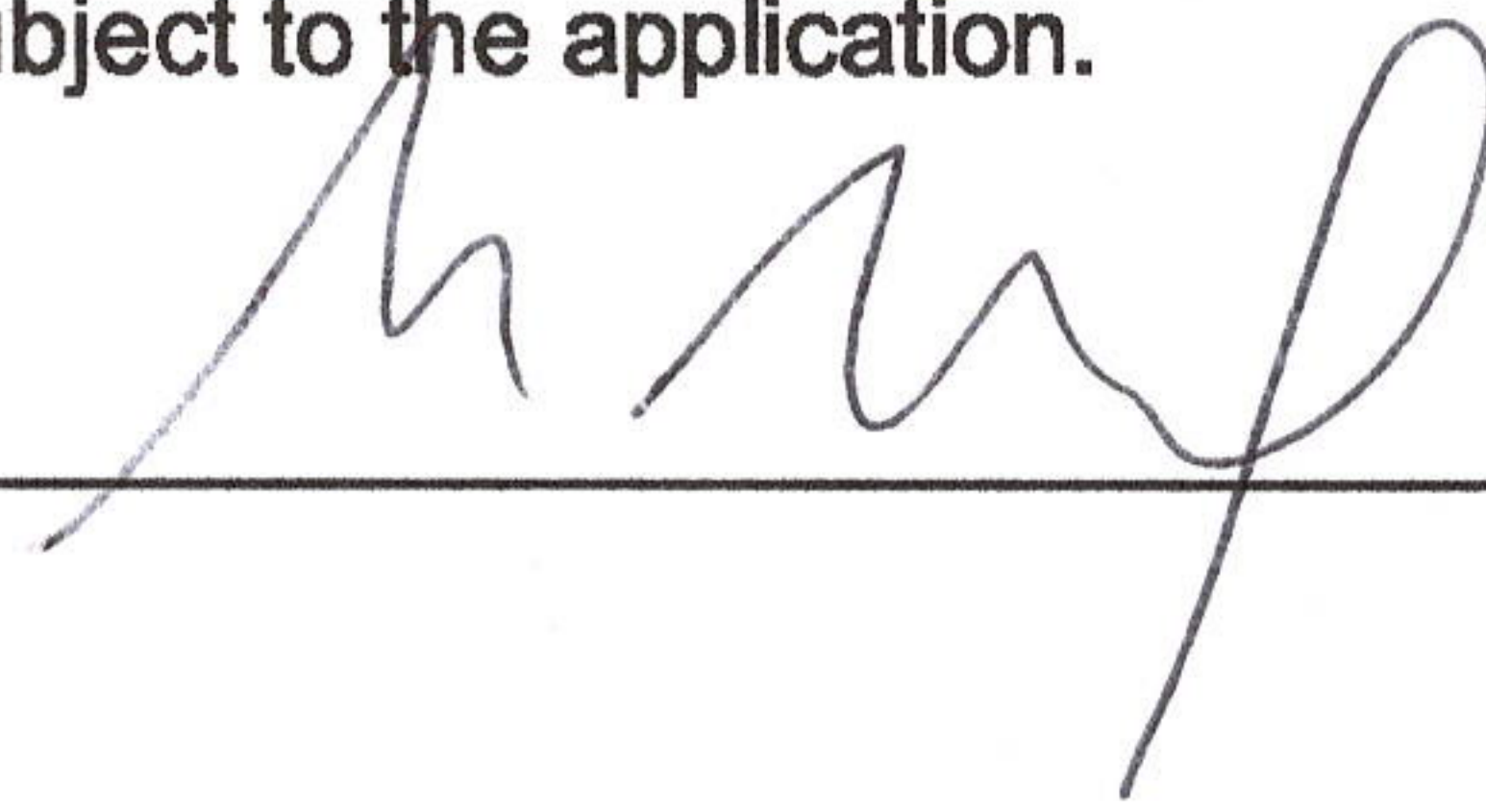
I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 1/16/2025

Applicant
Signature:



DATE: _____

Applicant
Signature:

ZONING BOARD OF APPEALS APPLICATION

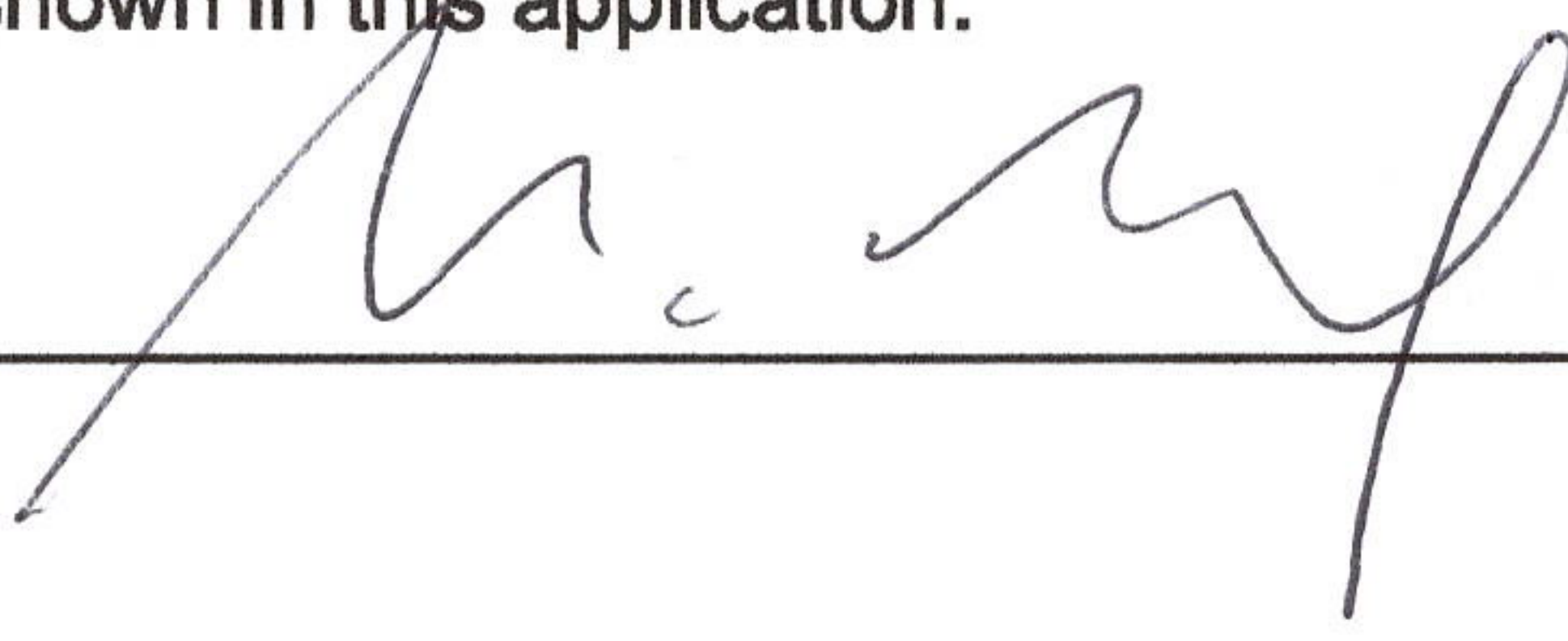
AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.


DATE: 1/16/2025


Applicant/Agent
Signature: 

TO WHOM IT MAY CONCERN:

(I)/ (WE): Moritz Bosselmann
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.


Notary Public

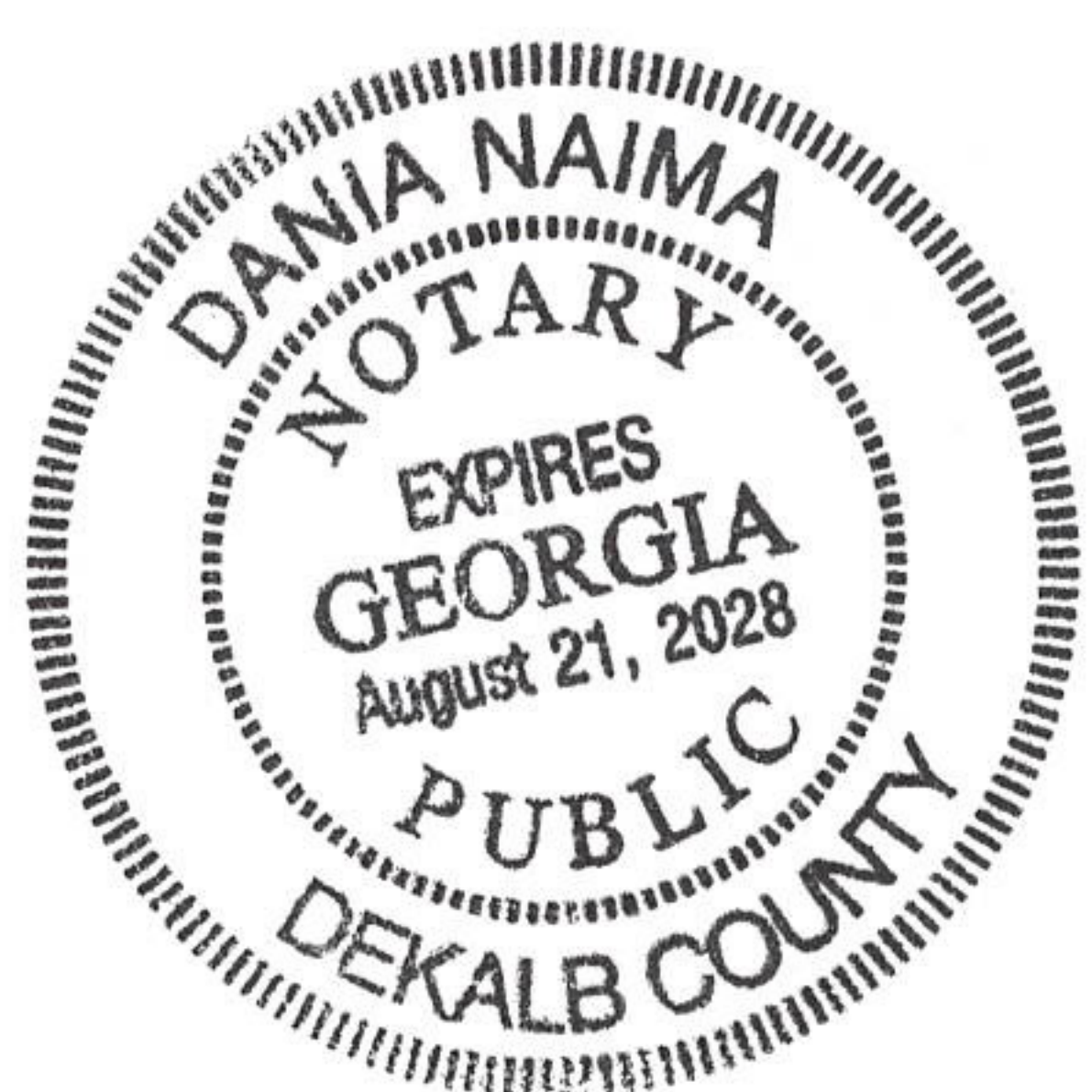

Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature



Letter of Intent

Dekalb County Department of Planning & Sustainability
Zoning Board of Appeals
178 Sams Street, Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Esteemed members of the Zoning Board of Appeals,

My name is Moritz Bosselmann, and I have lived in DeKalb County for over 30 years, including the last 17 years at 4046 Wembley Forest Way, 30340. I am a designer, my wife is a schoolteacher, and we have two sons: Jonah (20) and Miles (25). Miles has autism and lives with us. However, he needs his own living space. He has developmental delays, and we have been preparing him to be more independent for many years. This context is important because the apartment we wish to build above our garage is intended for him, so that, in time, he can learn to live on his own in a separate living area with a bedroom, bathroom, and a small kitchen.

In order to build this second-story ADU (#316), we are seeking a variance (Section 27-2.2.1) to reduce the side yard setback from 10 feet to 4 feet.

1. Physical Conditions of the Site:

Our home and garage were built in 1977, long before the zoning code was established in 2015. There are many large trees on the property, and we have already removed one large pine tree between our garage and the neighboring property in order to clear space and prevent potential damage. If we were to consider building in another location, we would need to remove multiple trees, including large pines, magnolias, and sweetgum trees located directly behind the existing garage.

Additionally, there is a significant slope across most of our property (an 8-foot drop in the rear yard, and more in the front yard). As a result, there are no suitable areas to build without extensive deforestation and grading. Building on top of the garage is the least intrusive option, as it allows us to tie into the existing power and wastewater lines with minimal disruption.

2. Minimum Variance Necessary:

We are seeking the minimum variance necessary—reducing the side yard setback from 10 feet to 4 feet. This request does not expand the degree of nonconformity because we are building upward, not outward.

3. Public Welfare:

We have lived at 4046 Wembley Forest Way since 2007 and maintain friendly relationships with all of our neighbors. The property next to our garage is owned by an elderly woman, and her daughter and family live next door. We have discussed our plans to build the garage ADU with this family and all other adjacent neighbors, and they are supportive of our proposal, as evidenced by the letters we have gathered.

Furthermore, adding the second story to our garage will improve housing density, eliminating the need for our son to seek alternative housing. It will also enhance the appearance of our property. We frequently receive compliments from neighbors about how well we maintain our house and yard, and we have put considerable effort into designing this additional space to ensure it complements the neighborhood aesthetically.

4. Ordinance Hardship:

Building an apartment on top of our garage is the only feasible option that allows us to keep our adult son close by while providing the care he needs and giving him a chance to become more independent. Given the terrain of our property, there is no viable alternative to building above the garage.

5. Alignment with the Spirit of the Law:

Our area is designated as Suburban (SUB). Adding this ADU would be an example of infill development, increasing housing availability and contributing, even if modestly, to addressing the current housing shortage. At 25 years old, our son needs his own living space. Building this ADU would prevent him from having to seek housing elsewhere, which, due to his disability, is not a realistic option at this time.

I sincerely appreciate your consideration of this variance application and hope that my explanation will be sufficient for approval. I respect the important work you do to ensure safe and compliant building in DeKalb County.

Thank you for your time and attention.

Sincerely,
Moritz Bosselmann
4046 Wembley Forest Way, 30340
404.384.6105

BLOCK IS RESERVED FOR THE CLERK OF THE SUPERIOR COURT

SURVEYOR'S NOTES

1. THIS SURVEY, PREPARED FOR CLIENT AS SHOWN ON THIS PLAT, REPRESENTS A SPECIFIC SCOPE OF SERVICES. THERE MAY BE OTHER MATTERS OF TITLE, BURDENING OR FAVORING THE SUBJECT PROPERTY, THAT ARE NOT SHOWN HEREON.
2. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS RECTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.
3. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
4. CONVENTIONAL SURVEY MEASUREMENTS WERE OBTAINED WITH A GEOMAX ZC1165 GNSS SURVEY MEASUREMENTS WERE OBTAINED WITH A EGPS 20T GNSS RECEIVER.
5. THE FIELD MEASUREMENTS FOR THE ESTABLISHMENT OF PROJECT CONTROL WAS BASED ON A GNSS SURVEY WITH A EGPS 20T GNSS RECEIVER. THE COORDINATES WERE COMPUTED BY USING EGPS VRS NETWORK.
6. THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A RELATIVE POSITIONAL PRECISION OF 2 CM (0.07 FEET) PLUS 50 PARTS PER MILLION.
7. THIS PLAT HAS A CLOSURE PRECISION OF ONE FOOT IN 125227 FEET.
8. NO 811 DESIGN TICKET WAS ORDER FOR THIS SURVEY.
9. LAST FIELD DATE: 12/02/2024

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEY IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

VESTING PARCEL NUMBER

18 288 04 032

FEE AREA

0.476 ACRES (20727 SQ.FT.), MORE OR LESS

ZONING

R100
 MINIMUM LOT AREA - 15000 SQ.FT.
 MINIMUM LOT WIDTH- 100'
 MINIMUM LOT FRONTAGE ON ROW: ??'
 FRONT SETBACK:
 50' (THROUGH DARES)
 40' (ARTERIALS)
 35' (COLLECTOR)
 25' (ALLEY)
 SIDE SETBACK: 10'
 REAR SETBACK: 40'
 MAXIMUM HEIGHT: 35'
 MAXIMUM LOT COVERAGE: 35%

SURVEYOR'S REFERENCES

1. DEED BOOK 19953, PAGE 596
2. PLAT BOOK 65, PAGE 129

SURVEY DATA:

1. HORIZONTAL DATUM - BASED UPON THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM, NAD83 (2011), IN FEET. BEARINGS ARE BASED ON SAID COORDINATE SYSTEM AND ESTABLISHED BY GPS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK.
2. VERTICAL DATUM - NAVD88, IN FEET. ELEVATIONS OBTAINED VIA GNSS DETERMINED FROM GEOID18
3. ALL BEARINGS AND DISTANCES SHOWN HEREON ARE SURVEYED UNLESS OTHERWISE NOTED.

FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS NOT LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NUMBER: 13089C0038K WITH AN EFFECTIVE DATE OF AUGUST 15, 2019.

IMPERVIOUS AREA

HOUSE	1236 SQ.FT.
SCREEN PORCH	271 SQ.FT.
BRICK PATIO/POOL	1635 SQ.FT.
GARAGE	526 SQ.FT.
CONC DRIVE	1239 SQ.FT.
PATH/STEPS	151 SQ.FT.

TOTAL: 5058 SQ.FT

LOT AREA: 20727 SQ.FT

% IMPERVIOUS = 24.4%

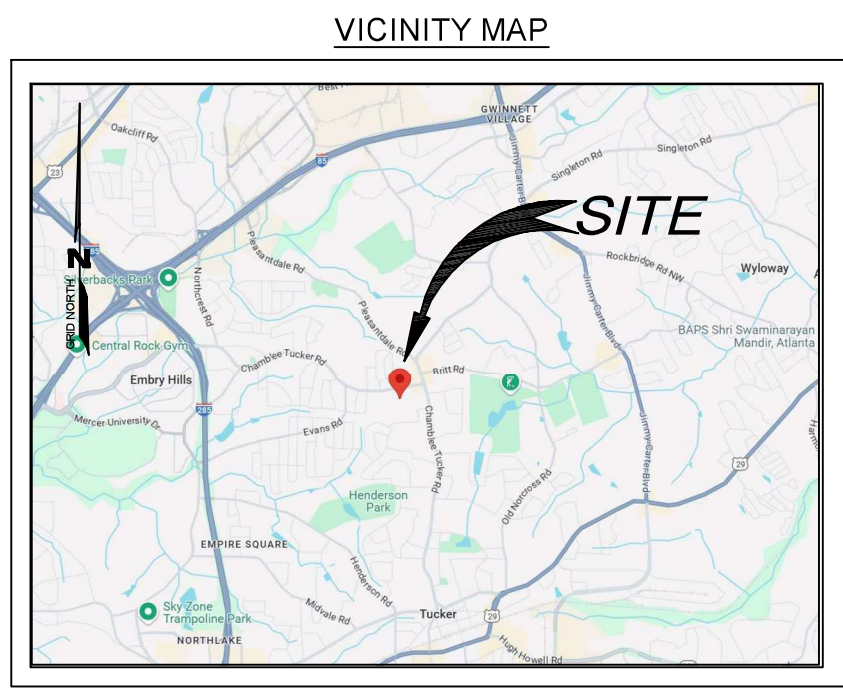
LAND LOT 287

LAND LOT 288

N/F ONAC LLC
PID: 18 288 04 009

N/F MORITZ BOSSELMANN
PID: 18 288 04 032
#4046
LOT 39

N/F LESLIE CLEMENT ROBINSON & MATTHEW ROBINSON
PID: 18 288 04 031
#4040
LOT 40



CERTIFICATION:

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

NORTH SURVEYING AND MAPPING, LLC.

Scott C. North

SCOTT C. NORTH DATE 12/03/2024
GEORGIA REGISTERED LAND SURVEYOR
STATE OF GEORGIA LICENSE NO. 3176



LAND LOT 288, 18TH DISTRICT, DEKALB COUNTY, GEORGIA
LOT 39, BLOCK C OF WEMBLEY FOREST, UNIT ONE

SYMBOL LEGEND

- ◆ BENCH MARK
- MONUMENT FOUND
- CONCRETE MONUMENT FOUND
- MONUMENT SET
- ⊠ CONCRETE MONUMENT SET
- X 917.3 EXISTING COMPUTED ELEVATION
- △ COMPUTED POINT (NOT MONUMENTED)
- UTILITY POLE
- FIRE HYDRANT
- WATER VALVE
- GAS MARKER
- ELECTRIC MANHOLE
- SANITARY SEWER MANHOLE
- STORM MANHOLE
- STORM WATER DROP INLET
- SANITARY SEWER MANHOLE
- STORM WATER JUNCTION BOX
- TELEPHONE PEDESTAL/BOX
- GUY ANCHOR
- ROAD SIGN
- FIBER OPTIC MARKER
- GRATE STORM INLET
- TELEPHONE MANHOLE
- WATER METER
- AIR CONDITIONER
- GAS METER
- MAIL BOX
- SANITARY CLEAN OUT
- TREE
- GAS VALVE
- IRRIGATION CONTROL VALE
- HAND HOLE
- SUBJECT PROPERTY LINE
- ADJOINER PROPERTY LINE
- RIGHT OF WAY LINE
- EXISTING FENCE (TYP)
- EXISTING 115KV TRANSMISSION LINE
- EXISTING 46KV TRANSMISSION LINE
- OVERHEAD DISTRIBUTION LINE
- EXISTING EASEMENT
- LAND LOT LINE
- UNDERGROUND UNKNWN UTILITY
- TREE LINE
- UNDERGROUND COMMUNICATION LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- OVERHEAD DISTRIBUTION LINE
- UNDERGROUND DISTRIBUTION LINE
- SANITARY SEWER LINE
- STORM PIPE
- ASPHALT
- GRAVEL
- CONCRETE
- DRAINAGE DITCH

ABBREVIATION LEGEND

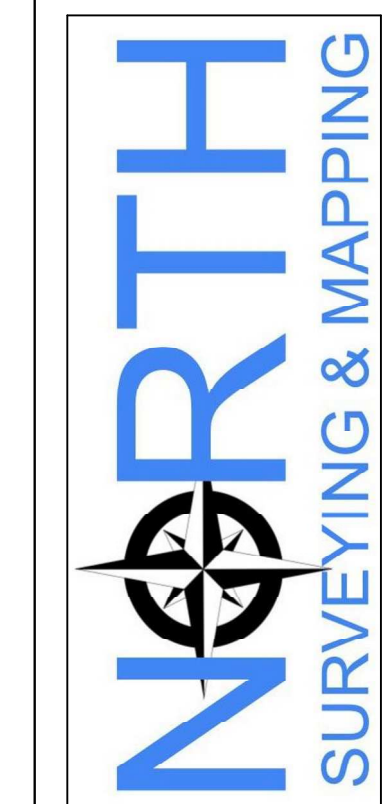
- Δ DELTA ANGLE
- CB CHORD BEARING AND DISTANCE
- CTP CRIMPED TOP PIPE
- A ARC LENGTH
- LLL LAND LOT LINE
- N/F NOW OR FORMERLY
- OTP OPEN TOP PIPE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PL PROPERTY LINE
- R RADIUS
- RB REBAR
- RBC REBAR WITH CAP
- R/W RIGHT OF WAY
- T/L TRANSMISSION LINE

SHEET 1 OF 1

BOUNDARY SURVEY OF
PID 18 288 04 032
4046 WEMBLEY FOREST WAY,
DORAVILLE, DEKALB COUNTY GEORGIA
FOR MORITZ BOSSELMANN

PROJECT NAME: 4046 WEMBLEY FOREST WAY
 PROJECT #: 2400276
 DATE: 12/03/2024
 SCALE: 1"=10'
 SURVEYOR: SCOTT NORTH
 TECHNICIAN: SCOTT NORTH
 CREW CHIEF: SCOTT NORTH
 FIELD BOOK: 24-007

1071 DEAN DRIVE NW
 ATLANTA GEORGIA 30318
 404-203-1147
 GEORGIA COA: LCF001411

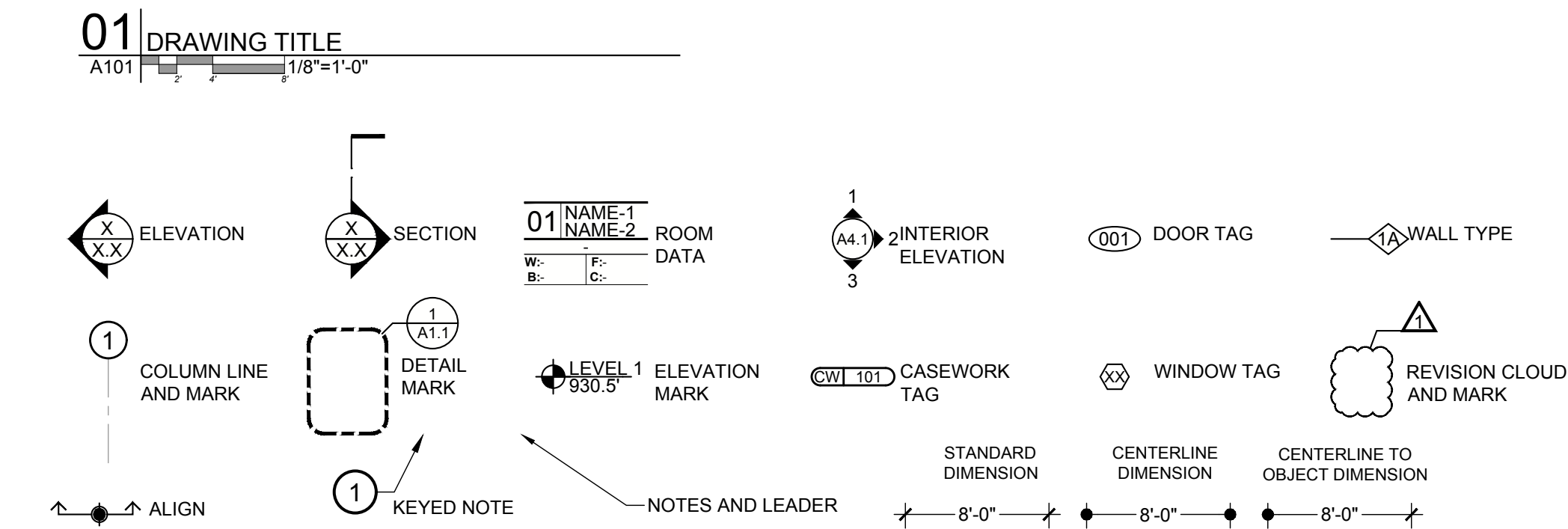


MILES PLACE 2ND STORY ADDITION

4046 Wembley Forest Way, Atlanta, GA 30340

CONSTRUCTION DOCUMENTS

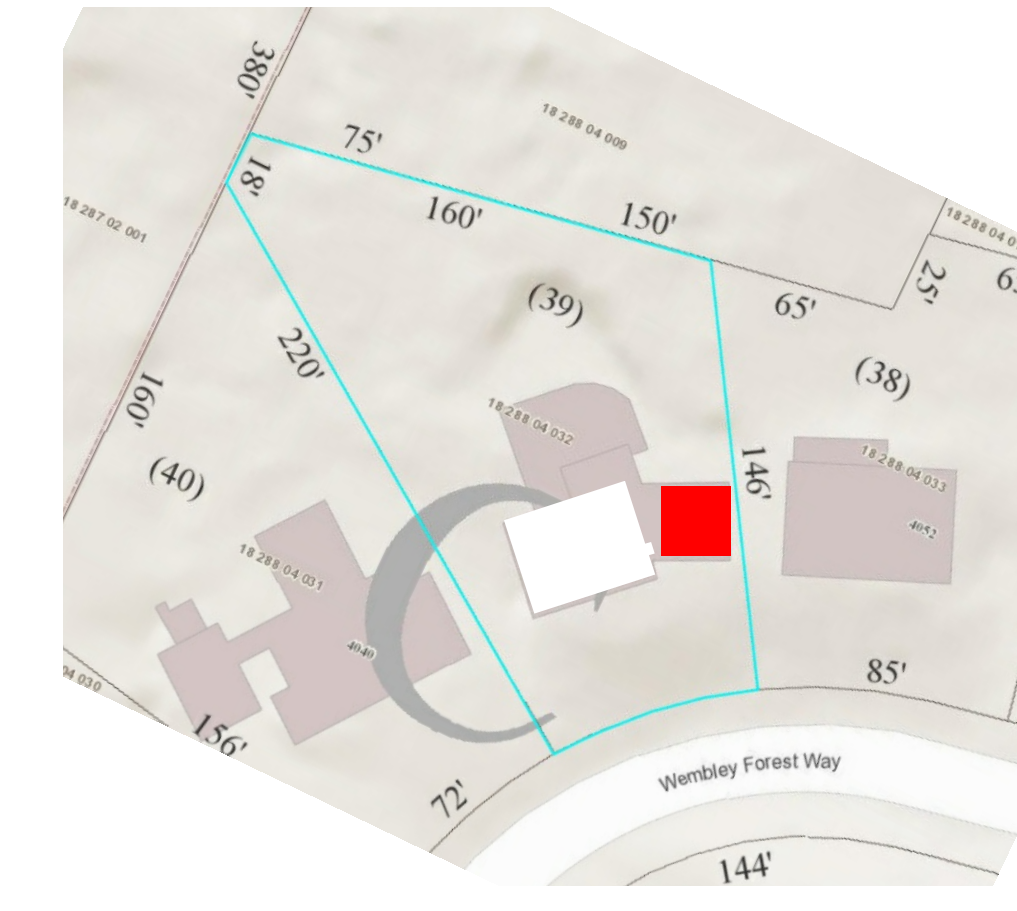
SYMBOL LEGEND



VICINITY PLAN (NOT TO SCALE):



PROJECT INFORMATION



GENERAL SPECIFICATIONS & NOTES

DIVISION 01 - GENERAL REQUIREMENTS

GENERAL NOTES AND WORK REQUIREMENTS

- THE DRAWINGS ILLUSTRATE GENERAL WORK/SCOPE REQUIREMENTS AND DO NOT ELABORATE ON INSTALLATION TECHNIQUES. ALL WORK SHALL MEET OR EXCEED INDUSTRY STANDARDS, AND BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- DRAWINGS SHOW DESIGN INTENT FOR CONSTRUCTION ONLY, AND DO NOT SHOW EVERY CONDITION OR ASPECT OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONDITIONS IN THE FIELD WHICH ARE DIFFERENT THAN THOSE INDICATED IN THE DRAWINGS.
- DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED CRITICAL. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD-VERIFY CONSTRUCTION TOLERANCES AND TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THE WORK ON THIS PROJECT. ANY CONDITIONS ENCOUNTERED THAT ARE DIFFERENT THAN THOSE INDICATED IN THE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE WORK IS DONE.
- THE ARCHITECT IS NOT RESPONSIBLE FOR CHANGES MADE OR AUTHORIZED BY THE OWNER, OR OWNER'S REPRESENTATIVE WITHOUT WRITTEN CONSENT OF THE ARCHITECT OR CONSULTANT.
- COORDINATE WORK OF TRADES WITH EACH OTHER. NOTIFY THE ARCHITECT OF DISCREPANCIES PRIOR TO COMMENCING WORK.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. THE CONTRACTOR SHALL SECURE ALL REQUIRED BUILDING PERMITS AND INSPECTIONS FOR THE EXECUTION, COMPLETION, AND OCCUPATION OF THE PROJECT. THE CONTRACTOR SHALL APPLY FOR AND SECURE THESE PERMITS WITHOUT DELAY, SO THAT THE PROJECT MAY COMMENCE AS SOON AS POSSIBLE FOLLOWING THE EXECUTION OF THE CONTRACT.
- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL SCHEDULE A MEETING BETWEEN CONTRACTOR, OWNER AND ARCHITECT, TO DISCUSS COMPLETE SCOPE OF WORK, SCHEDULE, PROCEDURES, AND COORDINATION.
- CONTRACTOR IS RESPONSIBLE FOR LEGAL MEANS OF DISPOSING OF DEBRIS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE FIRE EXTINGUISHERS AND OTHER NECESSARY FIRE PROTECTION METHODS THROUGHOUT THE DURATION OF DEMOLITION AND NEW CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND LOCAL SAFETY REGULATIONS IN THE EXECUTION OF THE WORK
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING, SHORING, AND FITTING NECESSARY TO ACHIEVE THE SCOPE OF WORK.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN, SECURE, AND SAFE JOB SITE AT ALL TIMES. PROTECT FINISHED FLOORS, STAIRS, ROOFS, DECKS, AND OTHER SURFACES FROM TRAFFIC, DIRT, WEAR AND DAMAGE WITH DURABLE SHEET MATERIALS. CONDUCT A FINAL COMPREHENSIVE CLEANING OF THE BUILDING AND STRUCTURE PRIOR TO SUBSTANTIAL COMPLETION AND OCCUPANCY BY THE OWNER.
- ALL WALLS, CEILINGS AND OTHER ASSEMBLIES ARE TO BE PLUMB, TRUE, AND SQUARE, UNLESS OTHERWISE SHOWN ON DRAWINGS. ALL WORK TO BE DONE IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS.
- THE CONTRACTOR SHALL PROVIDE A WARRANTY FOR CORRECTION OF WORK FOR THE PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE WORK ON THIS PROJECT.
- ALL MATERIALS, HARDWARE AND FIXTURES WILL BE U.L. LISTED
- ALL INTERIOR FINISHES, MATERIALS, AND FURNISHINGS SHALL MEET SMOKE AND FIRE RATING REQUIREMENTS OF STATE AND LOCAL CODES, AS WELL AS THE INTERNATIONAL BUILDING CODE.
- ALL FLOOR AND WALL PENETRATIONS IN RATED ASSEMBLIES SHALL BE SEALED WITH APPROVED AND CURRENT FIRESTOP ASSEMBLIES.

MECHANICAL, ELECTRICAL, PLUMBING

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL WORK WITH THE ARCHITECTURAL DRAWINGS. DISCREPANCIES IN THE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION BEFORE WORK IS DONE.
- COORDINATE SPACE REQUIREMENTS, INSTALLATION, AND SUPPORTS OF MECHANICAL, ELECTRICAL, AND PLUMBING WORK WHICH ARE INDICATED DIAGRAMMATICALLY ON THE DRAWINGS. FOLLOW ROUTING SHOWN FOR PIPES, DUCTS, AND CONDUIT, AS

CLOSELY AS PRACTICABLE; PLACE RUNS PARALLEL WITH LINES OF BUILDING. UTILIZE SPACES EFFICIENTLY. IN FINISHED AREAS CONCEAL PIPES, DUCTS, AND WIRING WITHIN THE CONSTRUCTION. COORDINATE LOCATIONS OF FIXTURES AND OUTLETS WITH FINISH ELEMENTS, EXCEPT AS OTHERWISE INDICATED.

- MECHANICAL, ELECTRICAL, AND PLUMBING SCOPE IS GENERALLY SHOWN IN THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PERMIT DRAWINGS AND OBTAINING ALL MEP PERMITS. COORDINATE EXACT LOCATIONS OF DEVICES AND LIGHT FIXTURES WITH OWNER IN FIELD.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT AND APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY ALL PLUMBING AND ELECTRICAL REQUIREMENTS RELATED TO THE EQUIPMENT AND APPLIANCES IN THE SCOPE OF WORK.

UTILITIES

COORDINATION WITH AUTHORITIES AND UTILITY COMPANIES: THE CONTRACTOR SHALL COORDINATE WITH ALL NECESSARY STATE AND LOCAL AUTHORITIES AND COMPANIES PRIOR TO COMMENCING ANY UTILITY WORK. UTMOST CARE MUST BE TAKEN TO AVOID DISRUPTION OR DAMAGE TO UTILITIES DURING THE WORK. OWNER IS NOT RESPONSIBLE FOR UNFORESEEN DAMAGES TO UNDERGROUND UTILITIES WHERE CONTRACTOR HAS NOT TAKEN ALL NECESSARY PRECAUTIONS, NOTIFICATIONS, AND SURVEYING IN ORDER TO LOCATE AND PROPERLY COORDINATE WITH UTILITIES.

TEMPORARY UTILITIES

PERMANENT UTILITY SERVICES SHALL BE INITIATED BY THE CONTRACTOR, COORDINATED WITH THE OWNER, AND PLACED IN THE NAME OF THE OWNER. THE OWNER WILL PAY FOR ALL UTILITY SERVICES LISTED BELOW REQUIRED TO UNDERTAKE AND COMPLETE THE WORK: NATURAL GAS, ELECTRIC SERVICE, WATER, CABLE, TELEPHONE / DATA. THE OWNER SHALL NOT BE RESPONSIBLE FOR TASK-SPECIFIC UTILITY OR ENERGY SERVICES REQUIRED TO COMPLETE THE WORK THAT ARE ABOVE AND BEYOND THOSE COSTS LISTED IN THE CONTROL ESTIMATE AND CONTRACT SUM, INCLUDING BUT NOT LIMITED TO: SPECIALIZED FUELS AND GASES, TEMPORARY GENERATORS, TEMPORARY HEATER.

ALTERNATES AND SUBSTITUTIONS

ALTERNATIVES TO THE WORK MAY BE REQUESTED BY THE ARCHITECT ONLY AS PART OF THE CONTROL ESTIMATE PROCESS. THE OWNER MAY ELECT TO MODIFY THE CONTROL ESTIMATE PRIOR TO THE SIGNING OF THE CONTRACT, BY INCORPORATING SAID ALTERNATIVES. ONCE ELECTED, THE ALTERNATIVES BECOME PART OF THE CONTRACT DOCUMENTS AND THE CONTRACT SUM.

THE CONTRACTOR MAY PROPOSE SUBSTITUTIONS TO THE WORK DURING THE PROCESS OF THE CONTROL ESTIMATE OR DURING THE COURSE OF THE WORK. A REQUEST FOR SUBSTITUTION CONSTITUTES A REPRESENTATION THAT THE SUBMITTER:

- HAS INVESTIGATED PROPOSED PRODUCT AND DETERMINED THAT IT MEETS OR EXCEEDS THE QUALITY LEVEL OF THE SPECIFIED PRODUCT.
- WILL PROVIDE THE SAME WARRANTY FOR THE SUBSTITUTION AS FOR THE SPECIFIED PRODUCT.
- WILL COORDINATE INSTALLATION AND MAKE CHANGES TO OTHER WORK WHICH MAY BE REQUIRED FOR THE WORK TO BE COMPLETE WITH NO ADDITIONAL COST TO OWNER.
- WAIVES CLAIMS FOR ADDITIONAL COSTS OR TIME EXTENSION WHICH MAY SUBSEQUENTLY BECOME APPARENT.
- WILL REIMBURSE OWNER AND ARCHITECT FOR REVIEW OR REDESIGN SERVICES ASSOCIATED WITH RE-APPROVAL BY AUTHORITIES.
- WILL ADJUST THE CONTROL ESTIMATE AND / OR CONTRACT SUM TO REFLECT THE ADDITIONAL SAVINGS OR COSTS REALIZED BY THE USE OF THE SUBSTITUTION.

ANY CHANGE TO THE COST OF THE WORK (POSITIVE OR NEGATIVE) SHALL BE STATED AS PART OF THE SUBSTITUTION REQUEST, UNLESS THERE IS TO BE NO COST IMPACT WHETHER FOR THE SUBSTITUTED ITEM ITSELF OR ANY RELATED PARTS OF THE WORK.

DOCUMENTATION OF THE WORK

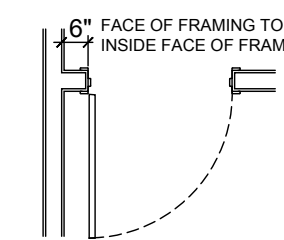
- CONTRACTOR SHALL TAKE A MINIMUM OF (20) DIGITAL PHOTOGRAPHS PER WEEK TO DOCUMENT THE CONSTRUCTION. PHOTOGRAPHS MUST FOCUS ON APPROPRIATE AREAS OF WORK AND MUST DOCUMENT CONDITIONS BEFORE THEY ARE CONCEALED BY SUBSEQUENT CONSTRUCTION. PHOTOGRAPHS ARE TO BE SHARED WITH ARCHITECT AND OWNER AT REQUEST.

GENERAL DRAWING NOTES:

- DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TO FACE OF FRAMING.

- DIMENSION FROM FINISH MATERIAL TO FINISH MATERIAL
- DIMENSION FROM FINISH MATERIAL TO FACE OF FRAMING
- DIMENSION FROM FINISH MATERIAL TO CENTERLINE OF DOOR OR ASSEMBLY

TYPICAL DOOR LOCATION DIMENSION:



WALL HATCHES:

- NEW WALL CONSTRUCTION; SEE WALL TYPES
- EXISTING WALL CONSTRUCTION

- FURNITURE IS SHOWN FOR REFERENCE ONLY, AND IS PROVIDED & INSTALLED BY OWNER.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL FOUNDATION, SLAB, AND FOOTING INFORMATION.
- DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTERLINE OF OPENING, UNLESS NOTED OTHERWISE.

DIVISION 02 - EXISTING CONDITIONS

PRIOR TO DEMOLITION, THE CONTRACTOR SHALL EXAMINE THE VARIOUS DRAWINGS, VISIT THE SITE, DETERMINE THE EXTENT OF THE WORK, THE EXTENT OF WORK AFFECTED THEREIN, AND ALL CONDITIONS UNDER WHICH HE IS REQUIRED TO PERFORM THE VARIOUS OPERATIONS.

PRIOR TO DEMOLITION, THE CONTRACTOR SHALL OBTAIN WRITTEN VERIFICATION FROM THE UTILITY OWNER(S) THAT THE EXISTING UTILITIES, INCLUDING STORMWATER, WASTEWATER, AND/OR WATER FACILITIES, ARE NOT OPERATIONAL AND ARE READY FOR DEMOLITION.

DEMOLITION GENERALLY INCLUDES:

- COMPLETE DEMOLITION AND REMOVAL OF MANHOLES, VALVE VAULTS, WETWELLS, PIPING, AND MECHANICAL AND ELECTRICAL EQUIPMENT RELATED TO THE WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- COMPLETE DEMOLITION AND REMOVAL OF ALL ABOVE AND BELOW GROUND STRUCTURES, CONCRETE SLABS AND FOUNDATIONS, VAULTS, AND UNDERGROUND UTILITIES (WATER, WASTEWATER, ELECTRICAL, ETC.) AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIAL, EQUIPMENT, RUBBLE, DEBRIS, AND OTHER PRODUCTS OF THE DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR HIS DISPOSAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS AND ORDINANCES AT THE CONTRACTOR'S EXPENSE. THE SALE OF SALVAGEABLE MATERIALS BY THE CONTRACTOR SHALL ONLY BE CONDUCTED OFF-SITE. THE SALE OF REMOVED ITEMS ON THE SITE IS PROHIBITED BY THE COUNTY.

DURING DEMOLITION, PROTECT AREAS NOT SCHEDULED FOR DEMOLITION. CUT SQUARE AND PLUMB AT TRANSITIONS FROM AREAS OF DEMOLITION TO AREAS TO BE KEPT. REMOVE ALL DEMOLISHED MATERIAL FROM PROPERTY TO LICENSED TRASH DISPOSAL FACILITY.

REFER TO DEMOLITION PLAN FOR FURTHER INSTRUCTIONS.

Scope of Work:

The work consists of the demolition and removal of the roof and roof structure on the existing detached garage, and the addition of a ~450 sq.ft. second story to serve as an efficiency dwelling space including full bath, kitchenette, and bedroom. The dwelling will be accessed by a new set of external stairs, and will have additional fire egress through egress-sized windows.

Dwelling space electrical service to be from a 60amp sub-panel connected to main residence feed.

Dwelling space to be conditioned by a 1 Ton/12,000 BTU ductless mini-split heat pump.

Vaulted ceiling to be framed with 2x10, and insulated to R30.

All work within current setbacks, no variance required. No trees to be affected or removed.

ZONING: R-3, R100 Unincorporated Dekalb County

APPLICABLE CODES

International Residential Code, 2012 Edition, with GA Amendments (2015)

IECC 2009, with GA Amendment

MILES PLACE

BOSELMAN RESIDENCE

4046 WEMBLEY FOREST WAY
ATLANTA, GA 30340

PRINT RECORD

No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

Drawn By _____ Checked By _____
Checker

Date 03/29/2022 Job No. _____

Sheet Title

COVER SHEET

Sheet No.

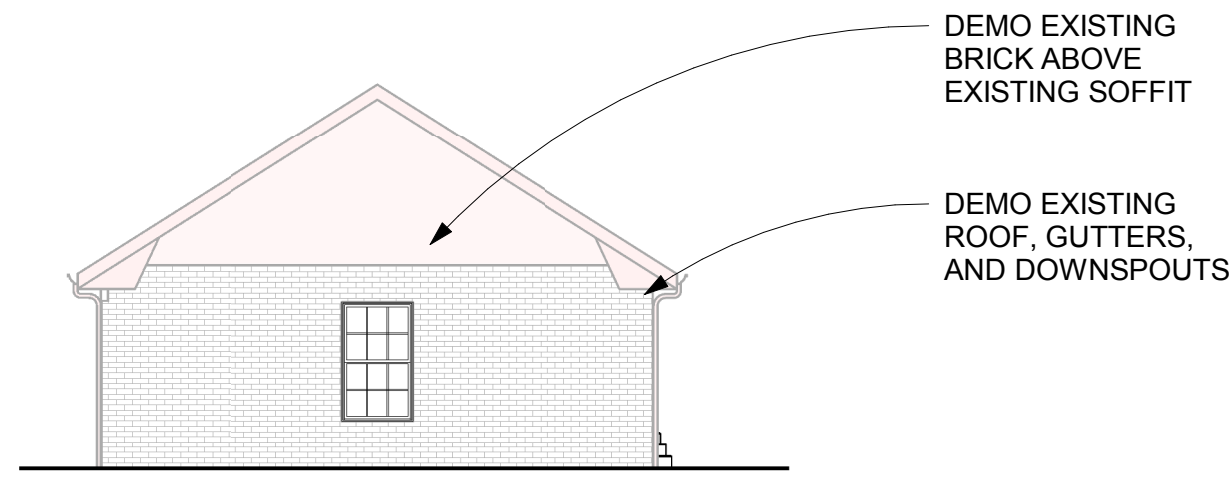
CS-1.01

DOOR SCHEDULE					
NO.	WIDTH	HEIGHT	MATERIAL	COUNT	NOTES
E01	3'-0"	7'-0"	ALUM	1	EXTERIOR DOOR
I01	3'-0"	7'-0"	WOOD	1	INTERIOR CASED OPENING
I02	2'-6"	7'-0"	WOOD	1	INTERIOR POCKET DOOR
I03	5'-0"	7'-0"	WOOD	1	INTERIOR 4 PANEL BIFOLD DOOR
I04	2'-0"	6'-6"	WOOD	1	INTERIOR 2 PANEL BIFOLD DOOR

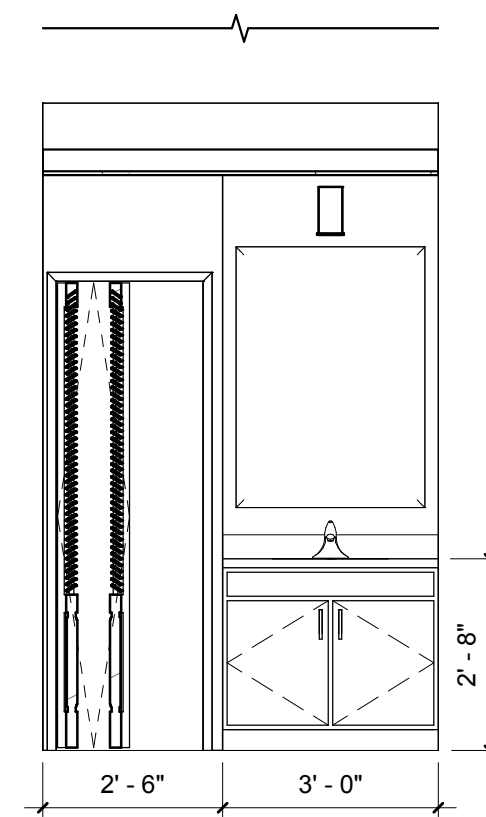
WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	COUNT	FRAME	COMMENTS
W01	3'-0"	5'-0"	3	WOOD	
W02	3'-0"	2'-6"	5	WOOD	
W03	5'-6 1/2"	5'-6 1/2"	1	WOOD	CUSTOM ROUND WINDOW

FLOOR PLAN GENERAL NOTES

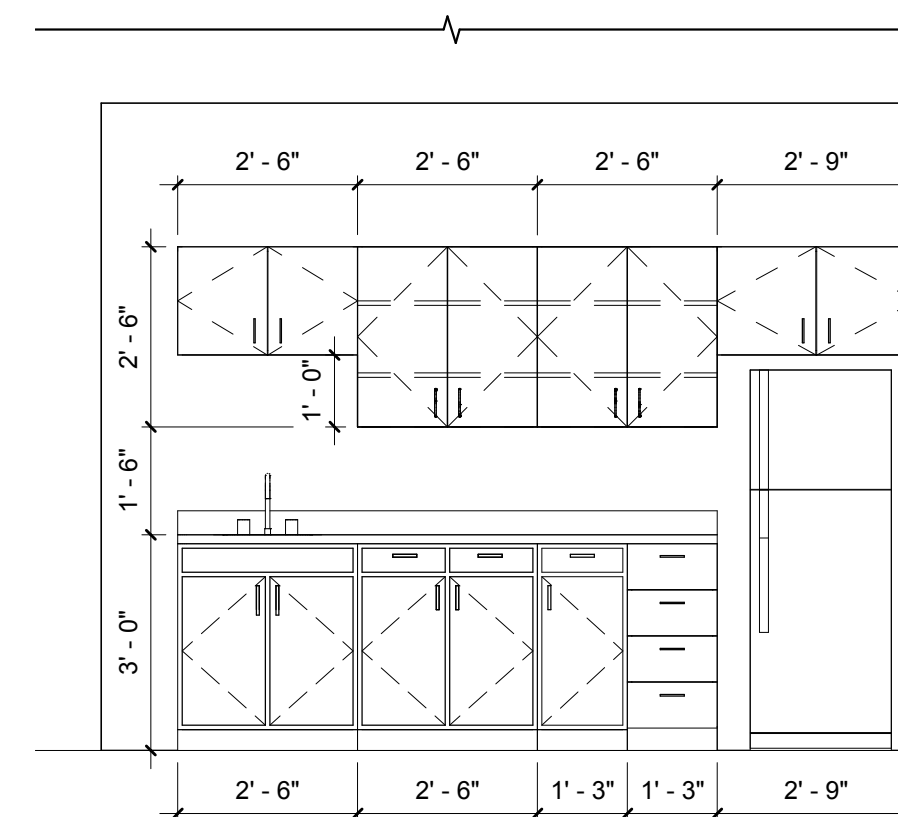
- ALL DOOR FRAMES IN STUD WALLS SHALL BE SET 4" FROM PERPENDICULAR WALLS ADJACENT TO DOOR HINGE SIDE, U.N.O.
- THE FINISH ELEVATIONS OF EXIT LANDINGS SHALL NOT EXCEED A MAXIMUM OF 1/2" BELOW THRESHOLDS.



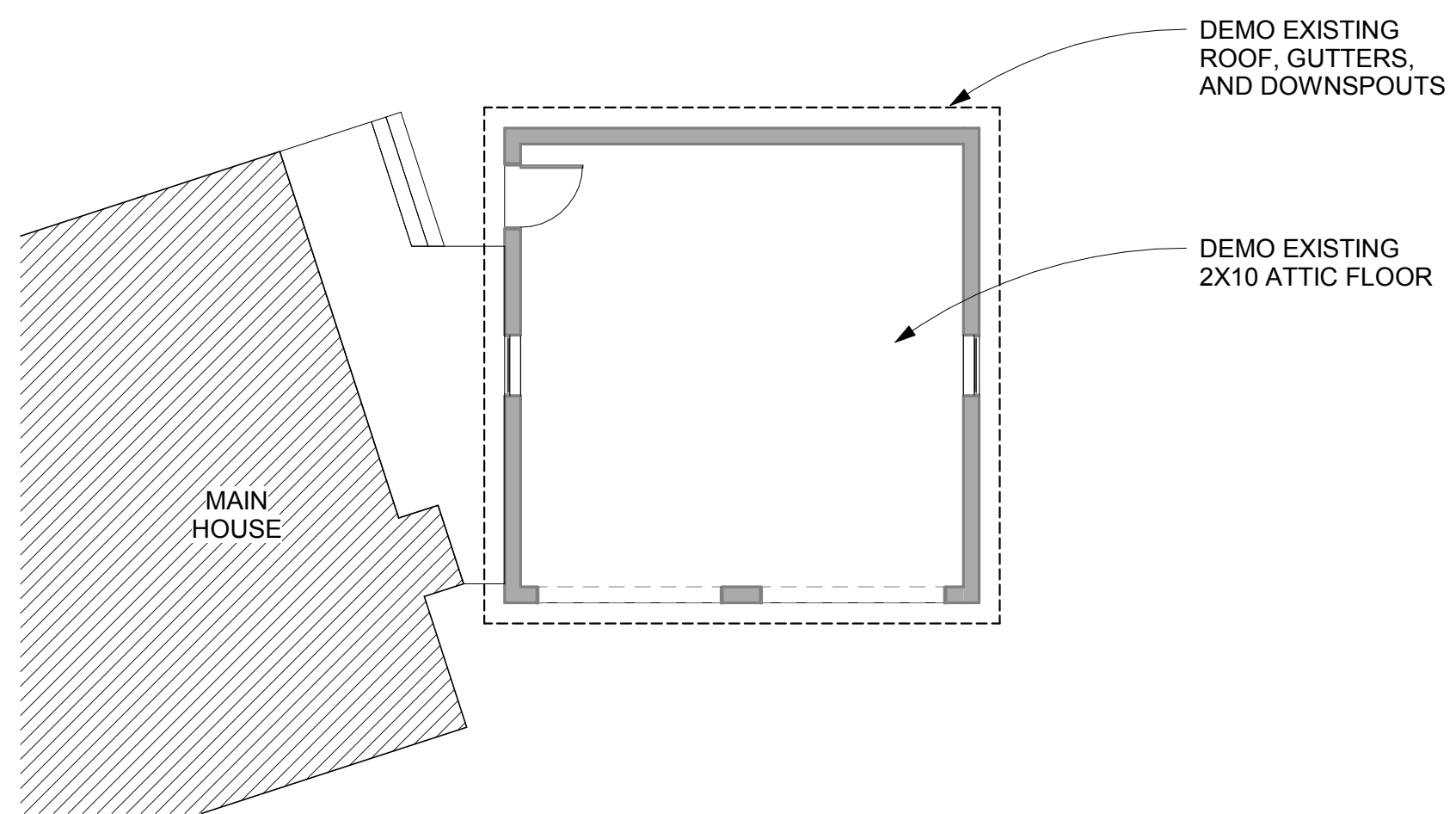
9 DEMO ELEVATION
SCALE: 1/8" = 1'-0"



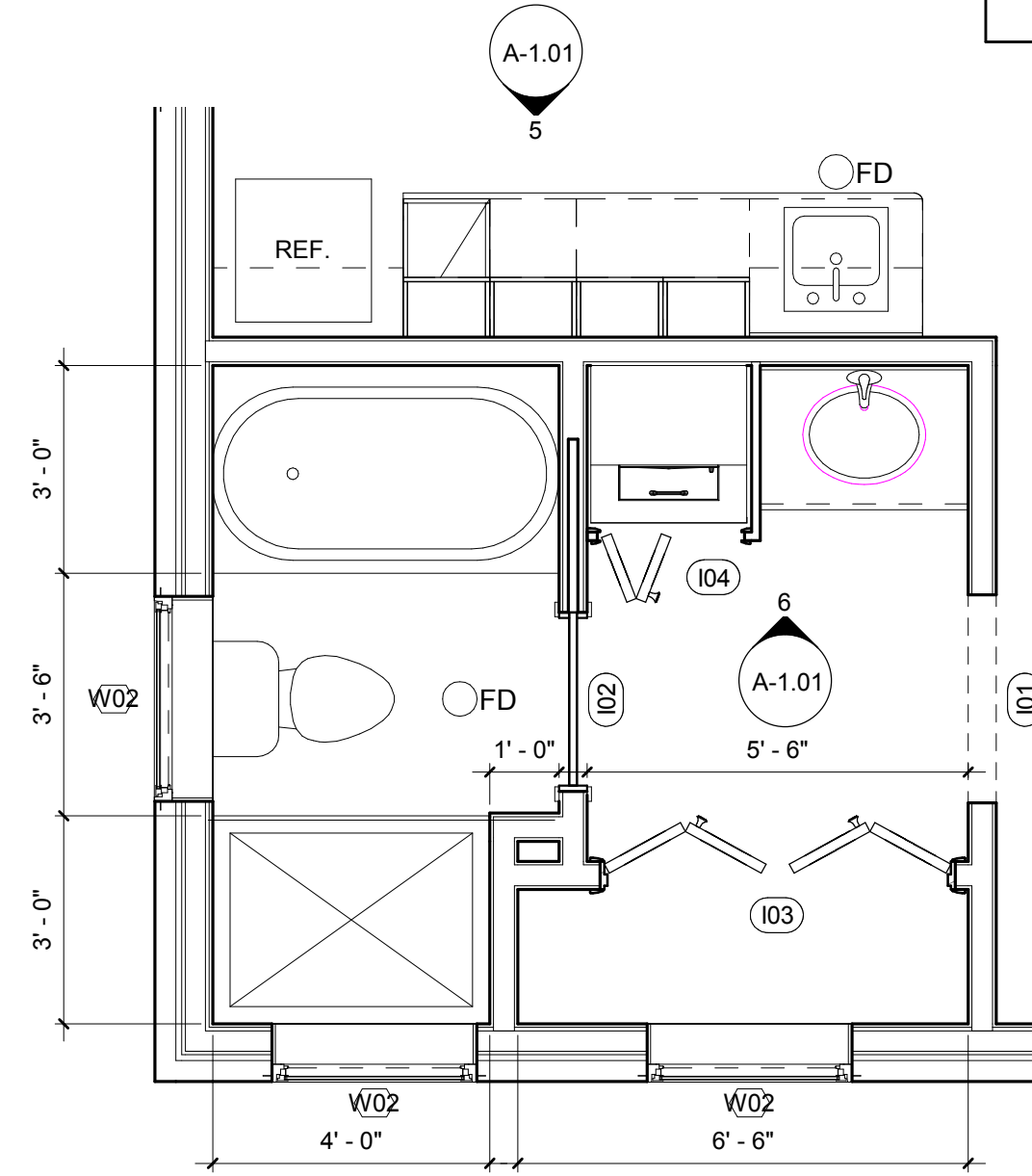
6 VANITY ELEV
SCALE: 3/8" = 1'-0"



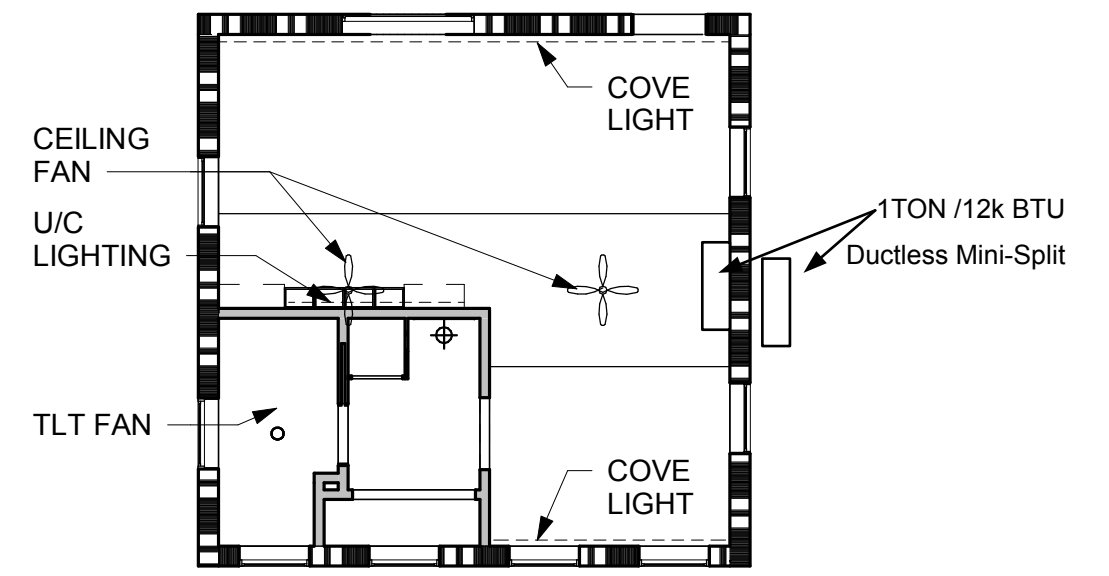
5 KITCHEN ELEV
SCALE: 3/8" = 1'-0"



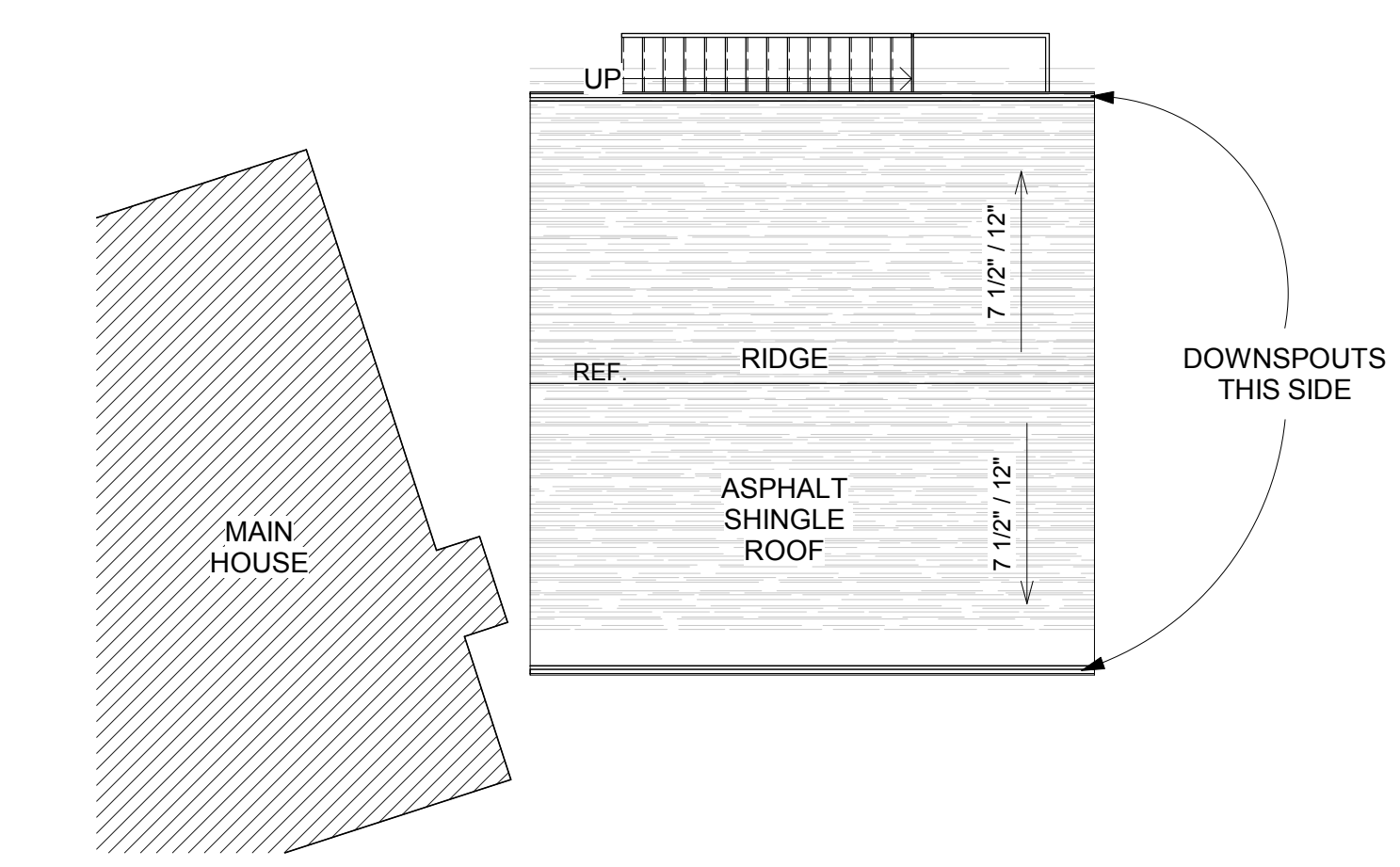
7 DEMO PLAN
SCALE: 1/8" = 1'-0"



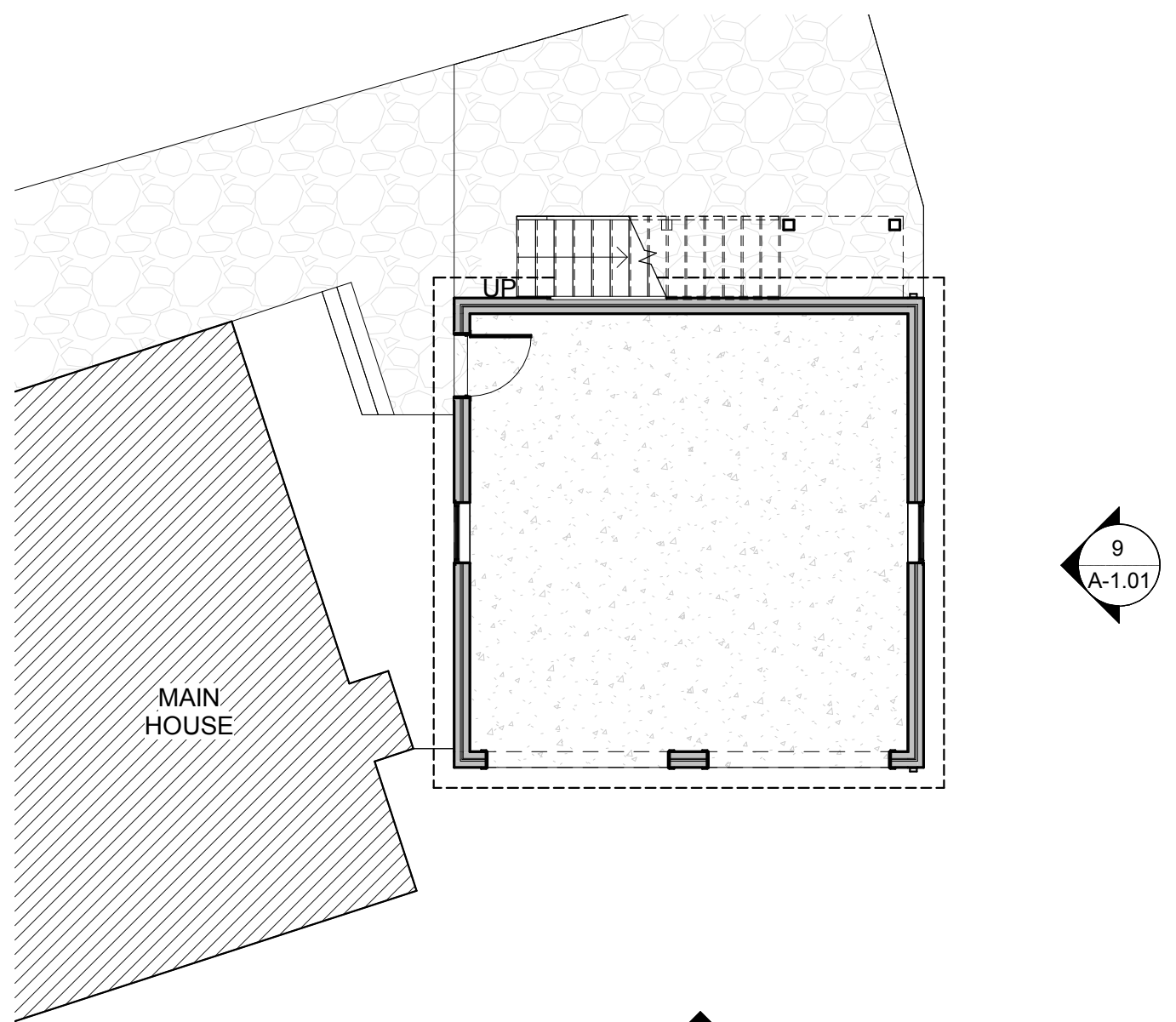
4 ENLARGED FLOOR PLAN
SCALE: 3/8" = 1'-0"



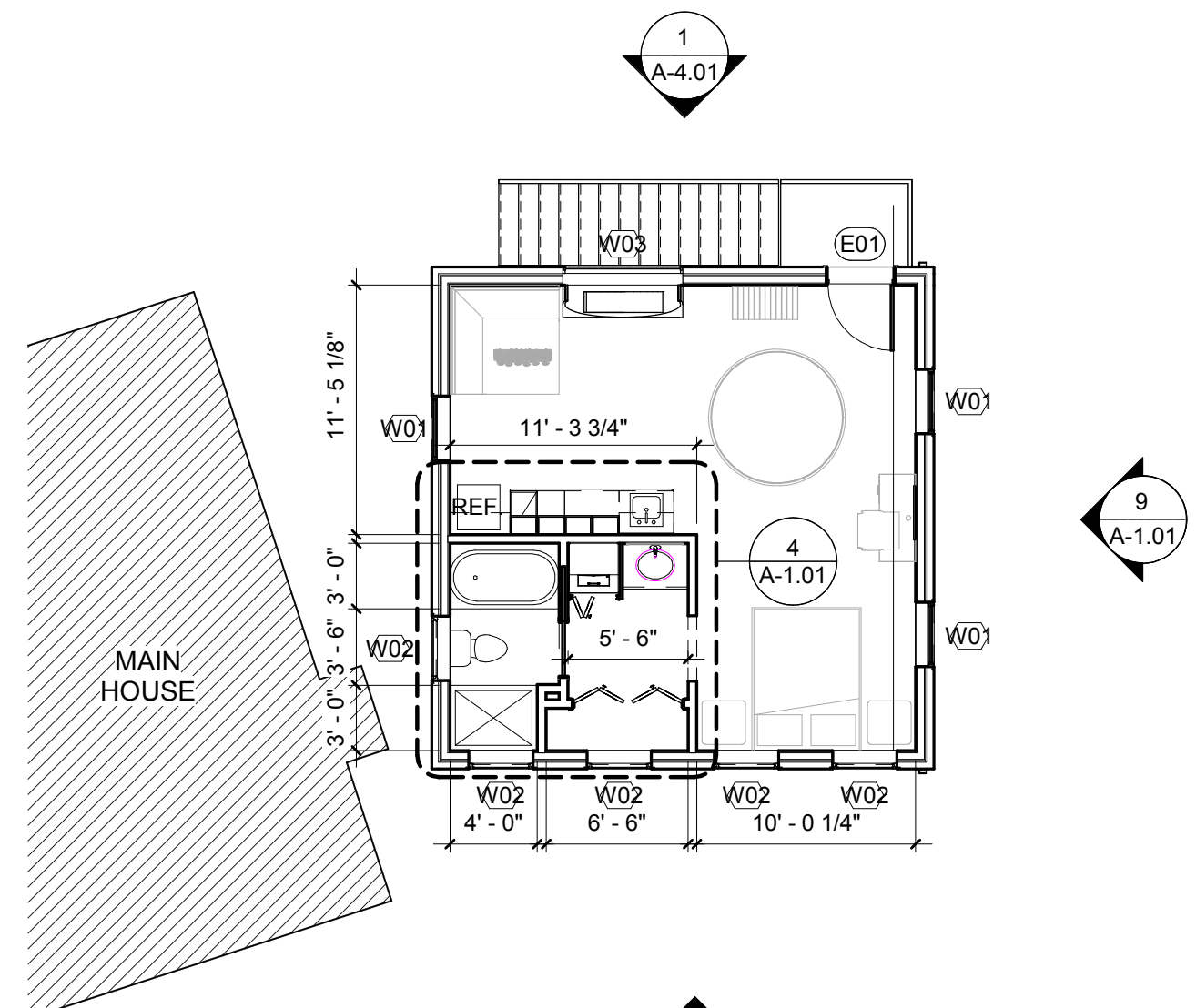
8 SECOND LEVEL - RCP
SCALE: 1/8" = 1'-0"



3 ROOF PLAN
SCALE: 1/8" = 1'-0"



2 FIRST LEVEL - FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 SECOND LEVEL - FLOOR PLAN
SCALE: 1/8" = 1'-0"

MILES PLACE
BOSSELMAN RESIDENCE
4046 WEMBLEY FOREST WAY
ATLANTA, GA 30340

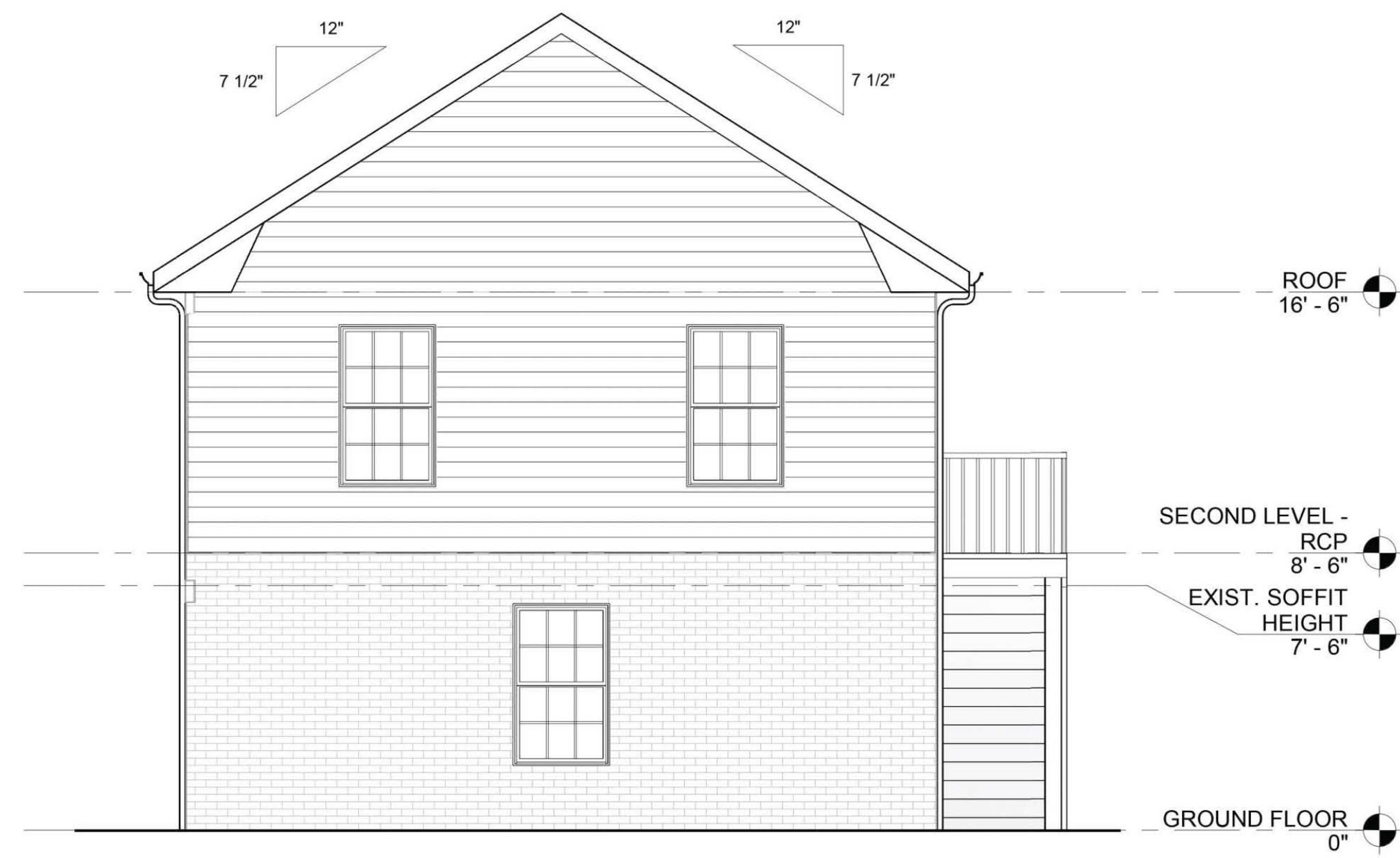
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Checked By: BT
Date: 03/29/2022
Job No.:

Sheet Title:
FLOOR PLANS
Sheet No.:

A-101

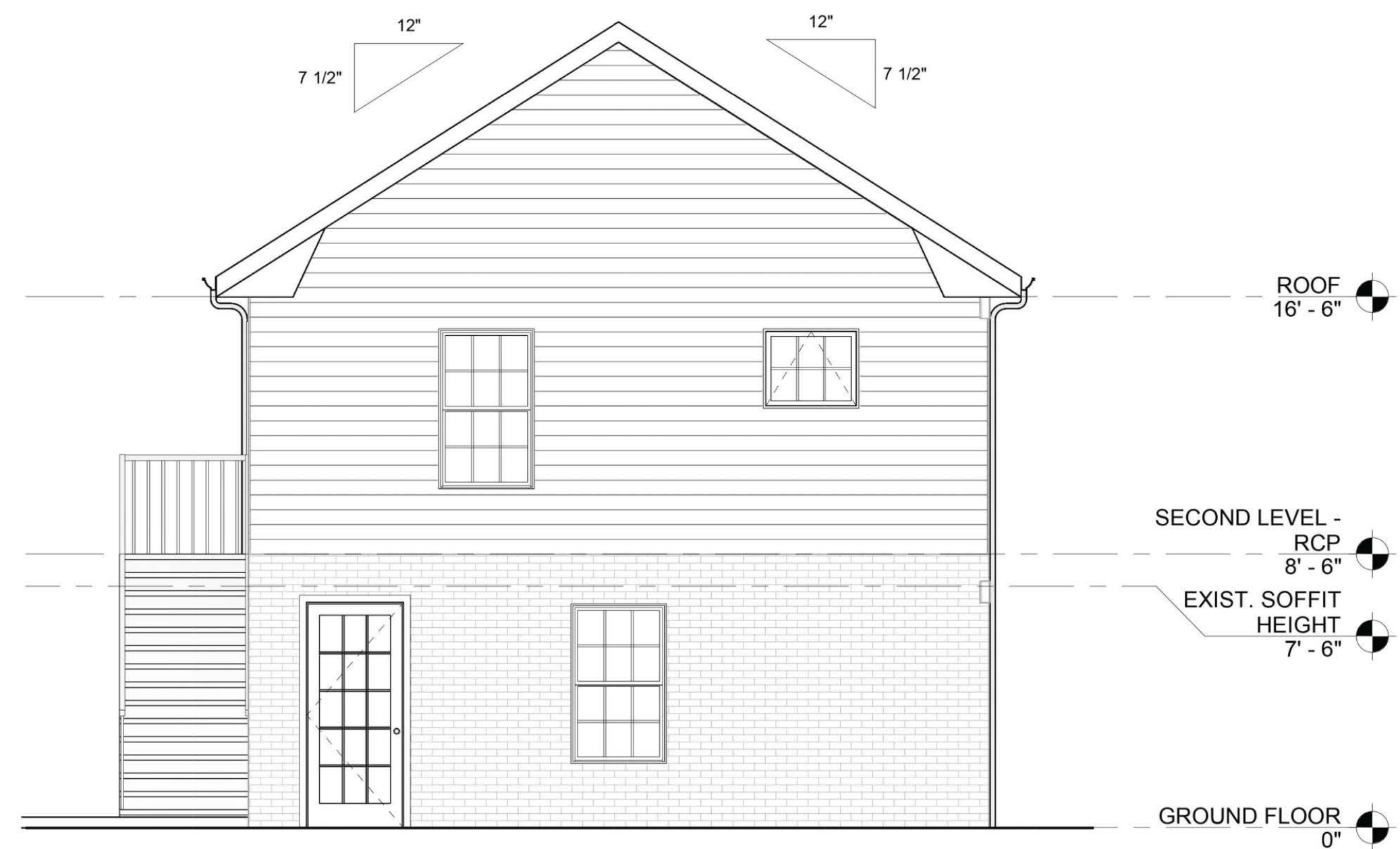
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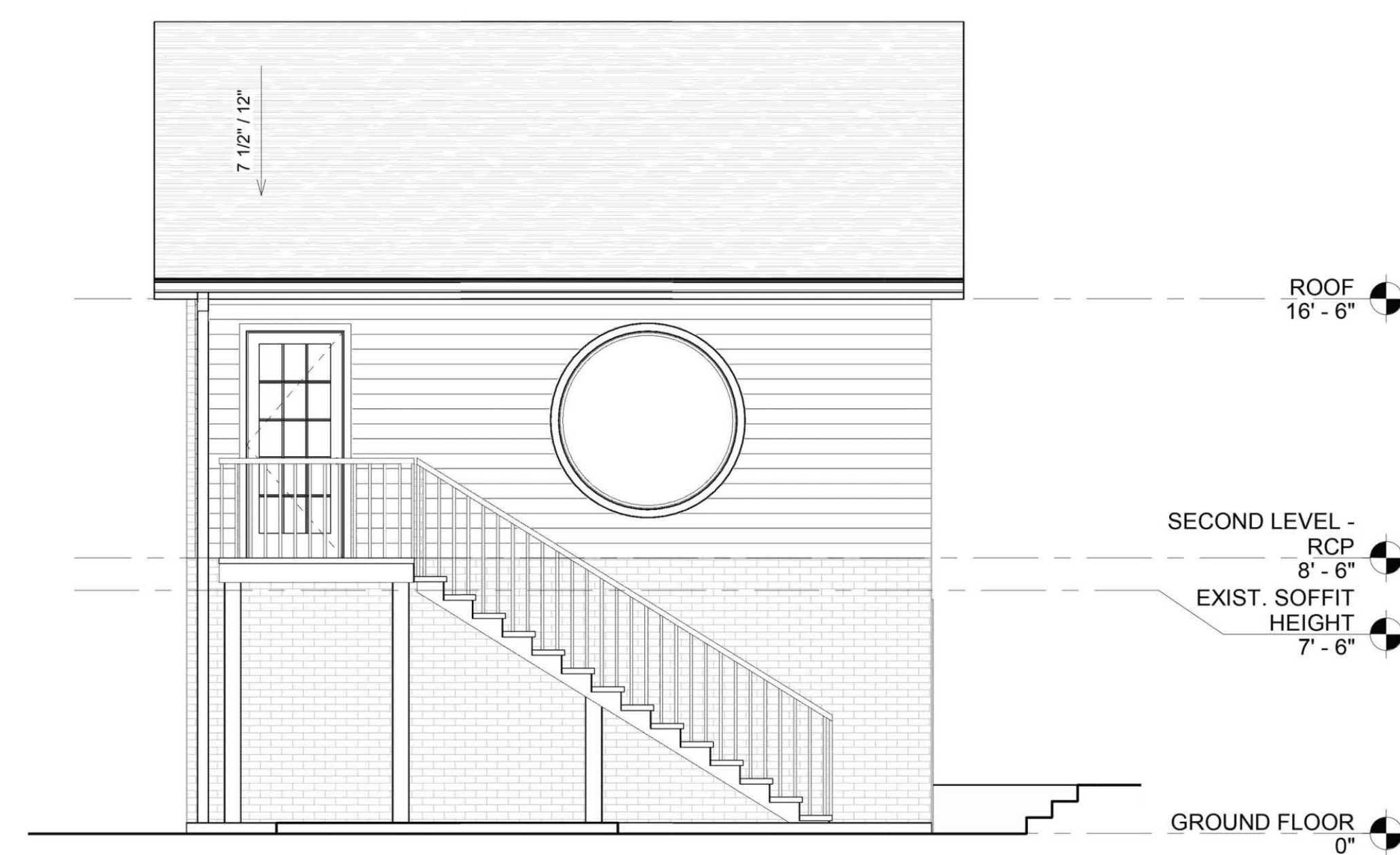
4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MILES PLACE
BOSSELMAN RESIDENCE
4046 WEMBLEY FOREST WAY
ATLANTA, GA 30340

PRINT RECORD
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

Drawn By MG **Checked By** DS

Date 10/29/2024 **Job No.**

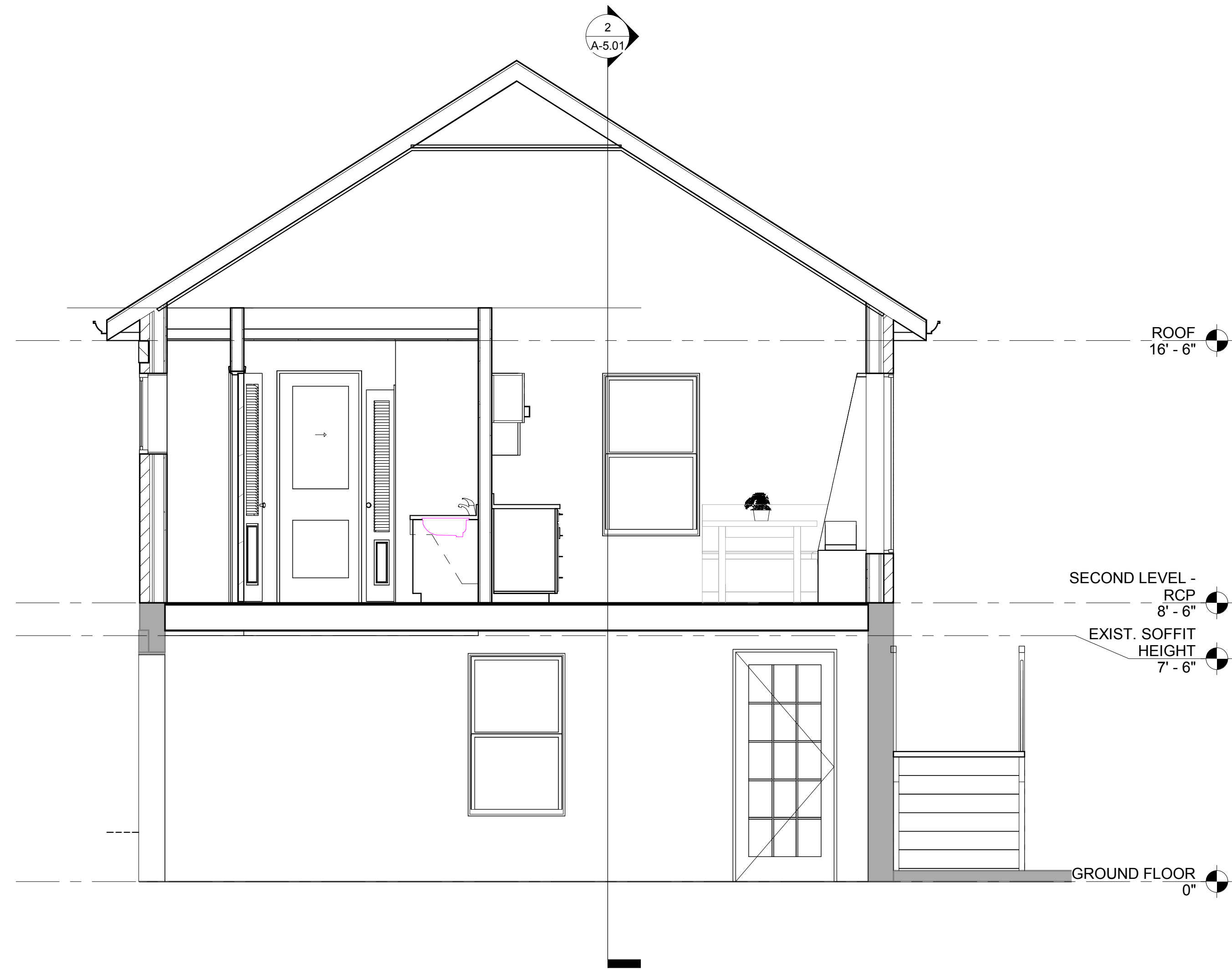
Sheet Title

EXTERIOR ELEVATIONS

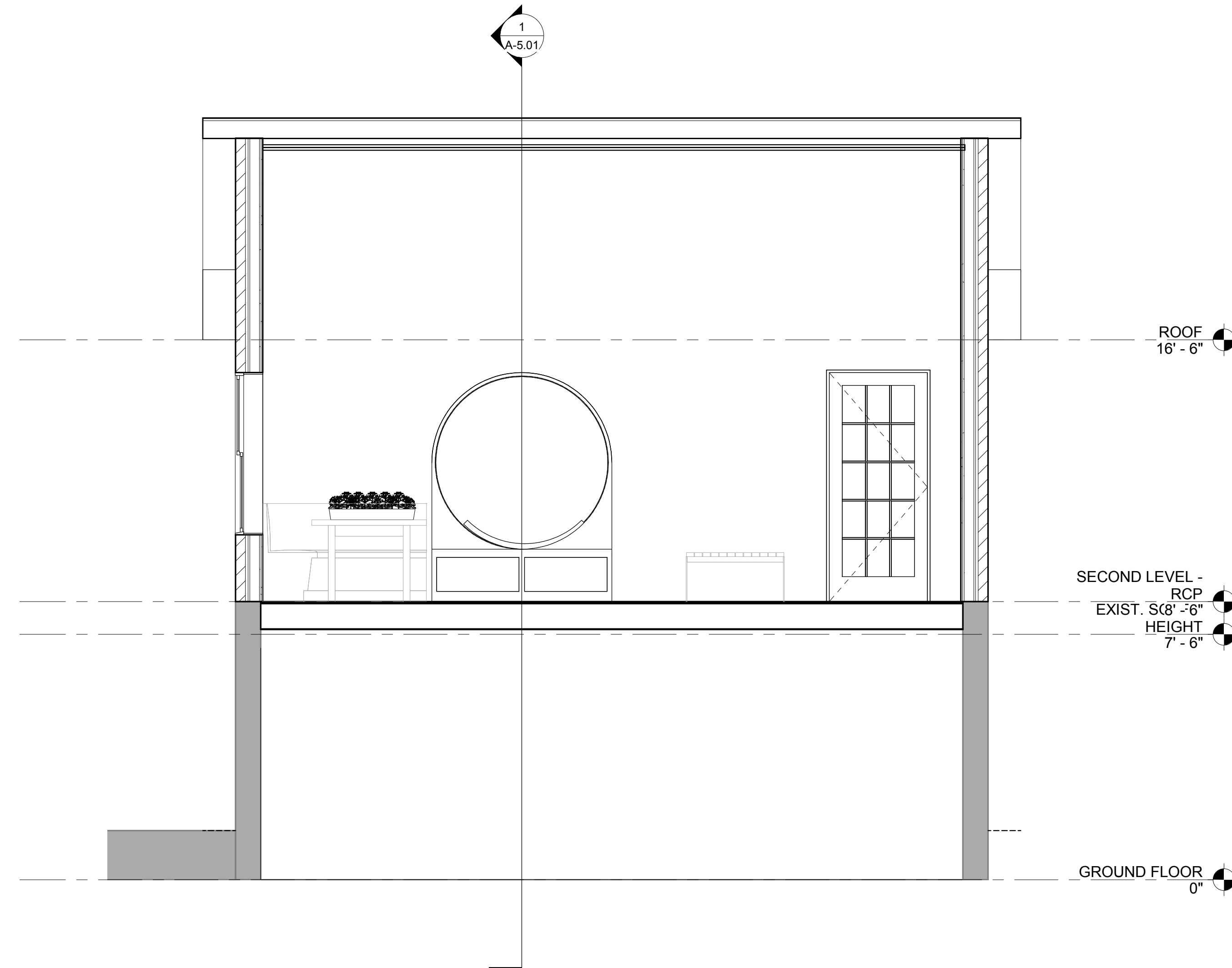
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A-2.01

3/29/2021 1:03:22 PM
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1 SECTION 1
SCALE: 3/8" = 1'-0"



2 SECTION 2
SCALE: 3/8" = 1'-0"

MILES PLACE
BOSELMAN RESIDENCE
4046 WEMBLEY FOREST WAY
ATLANTA, GA 30340

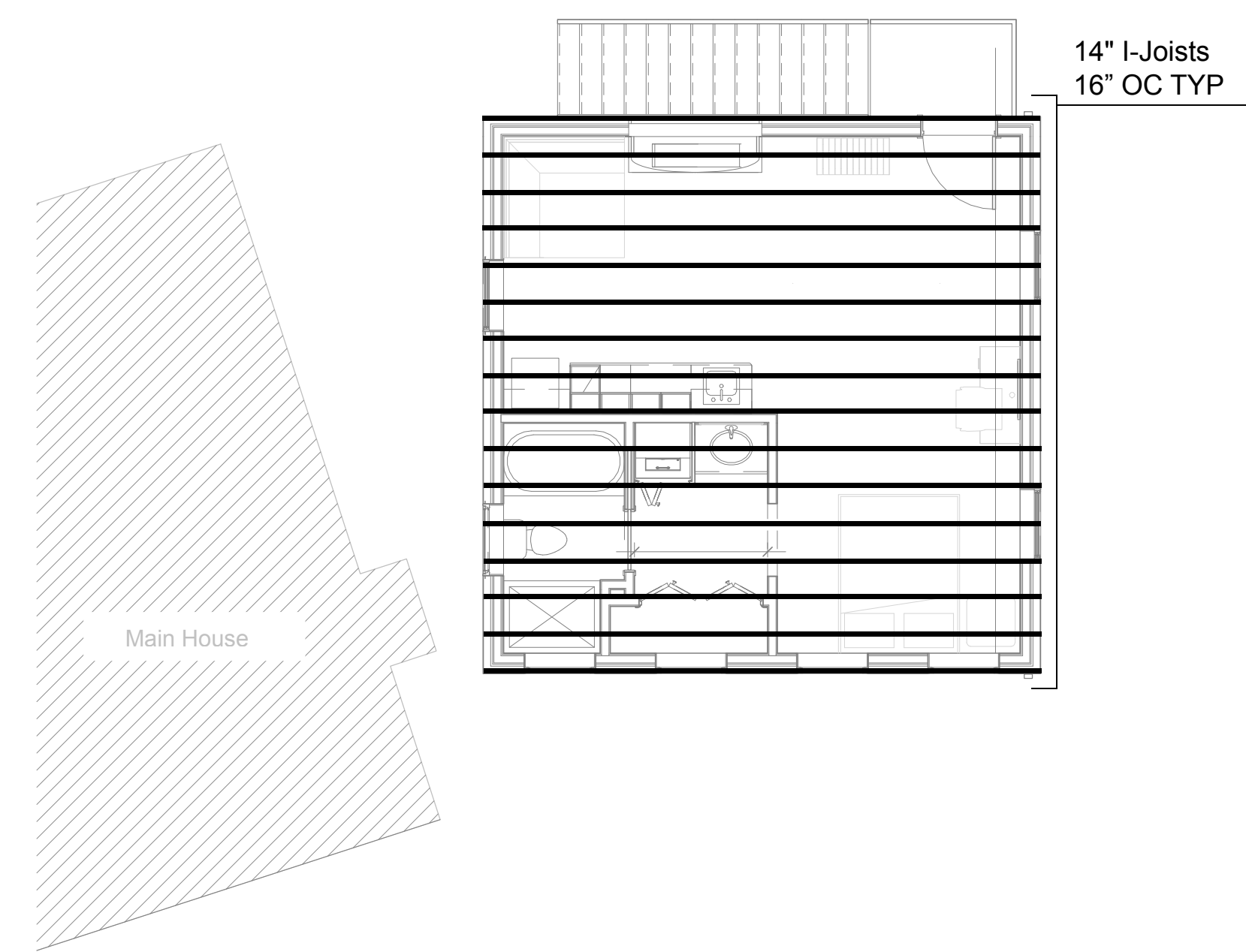
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No.	DATE	DESCRIPTION

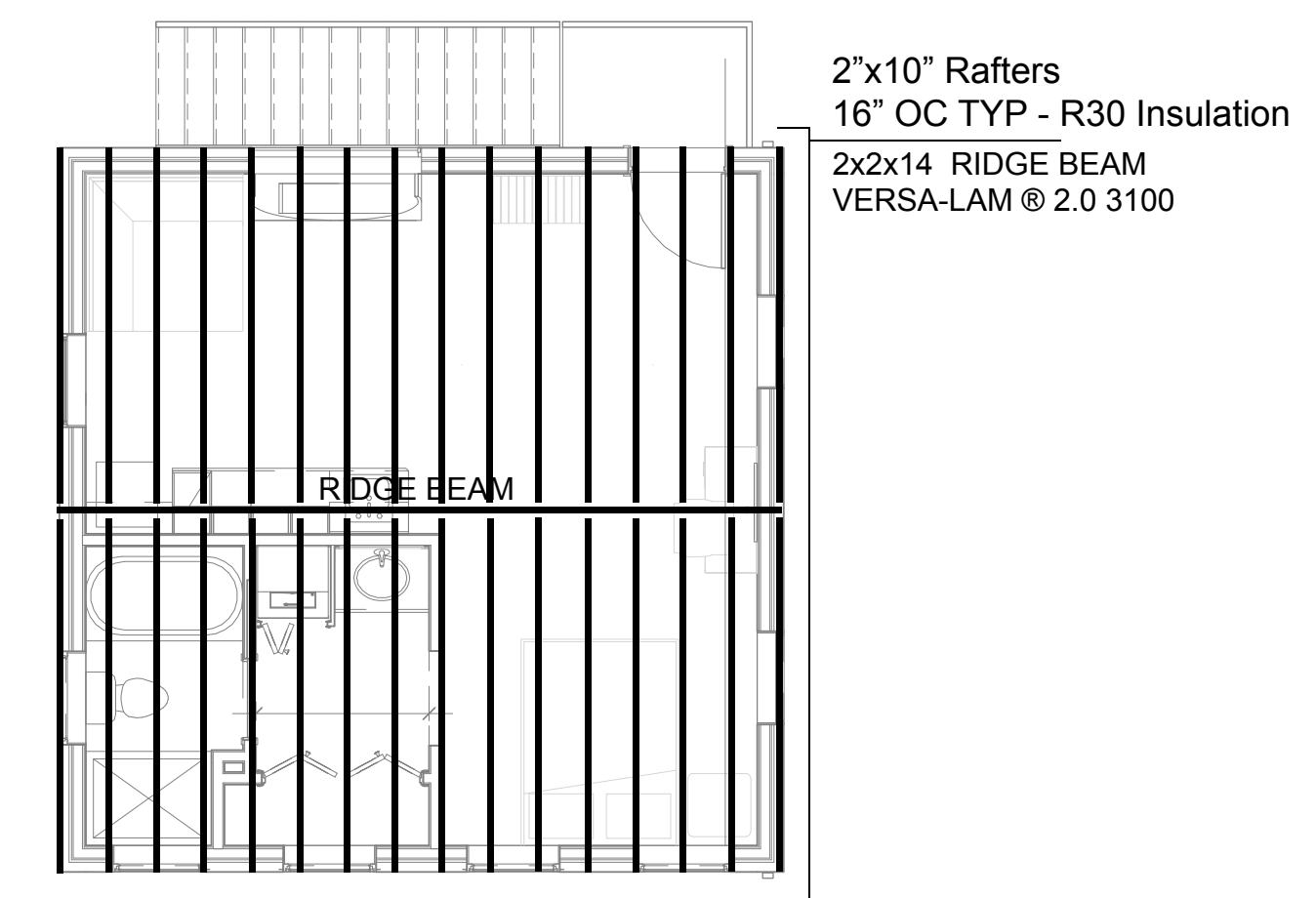
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Checked By: Checker
Date: 03/29/2022
Job No.:
Sheet Title:
BUILDING SECTIONS
Sheet No.:
A-5.01

NOT RELEASED FOR CONSTRUCTION

1 2nd Floor Framing Plan



2 Rafters Framing Plan



- 1**

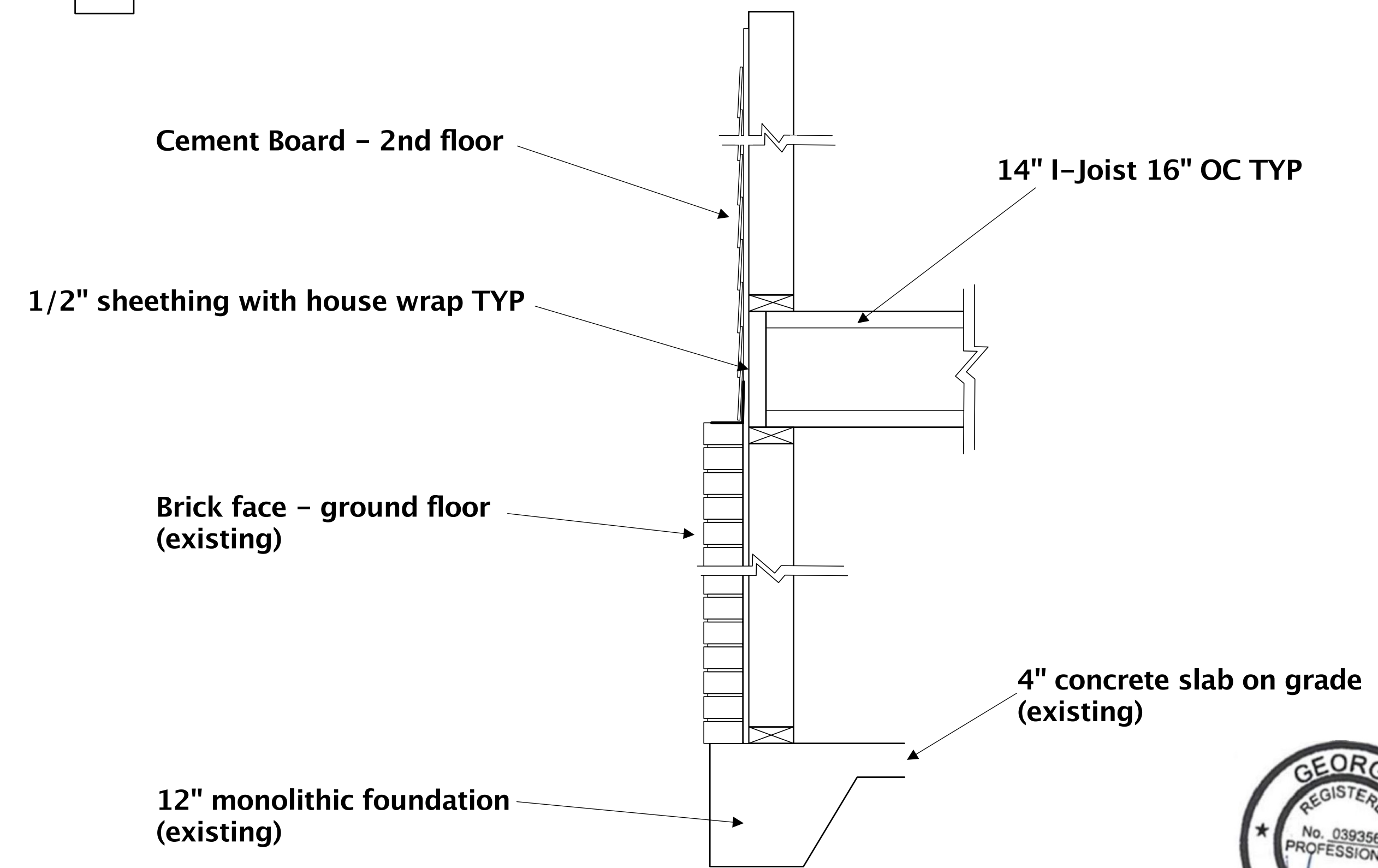
DESCRIPTION: 2X4 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON EACH SIDE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS.
VARIABLE DESIGNATIONS:
 1X: FIRE-RATED WALL. PROVIDE TYPE 'X' GWB
 1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT. PROVIDE SOUND BATTS/INSULATION
- 2**

DESCRIPTION: 2X4 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON ONE SIDE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS.
VARIABLE DESIGNATIONS:
 1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT. PROVIDE SOUND BATTS/INSULATION
- 3**

DESCRIPTION: 2X4 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON ONE SIDE, CEMENT BOARD ON THE OTHER, TO RECEIVE THINSET GROUT AND WALL TILE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS.
VARIABLE DESIGNATIONS:
 1X: FIRE-RATED WALL. PROVIDE TYPE 'X' GWB
 1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT. PROVIDE SOUND BATTS/INSULATION
- 4**

DESCRIPTION: 2X6 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON EACH SIDE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS.
VARIABLE DESIGNATIONS:
 1X: FIRE-RATED WALL. PROVIDE TYPE 'X' GWB
 1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT. PROVIDE SOUND BATTS/INSULATION

D Foundation / Wall cross section detail



MILES PLACE
BOSELMAN RESIDENCE
 4046 WEMBLEY FOREST WAY
 ATLANTA, GA 30340

PRINT RECORD

No.	DATE	DESCRIPTION

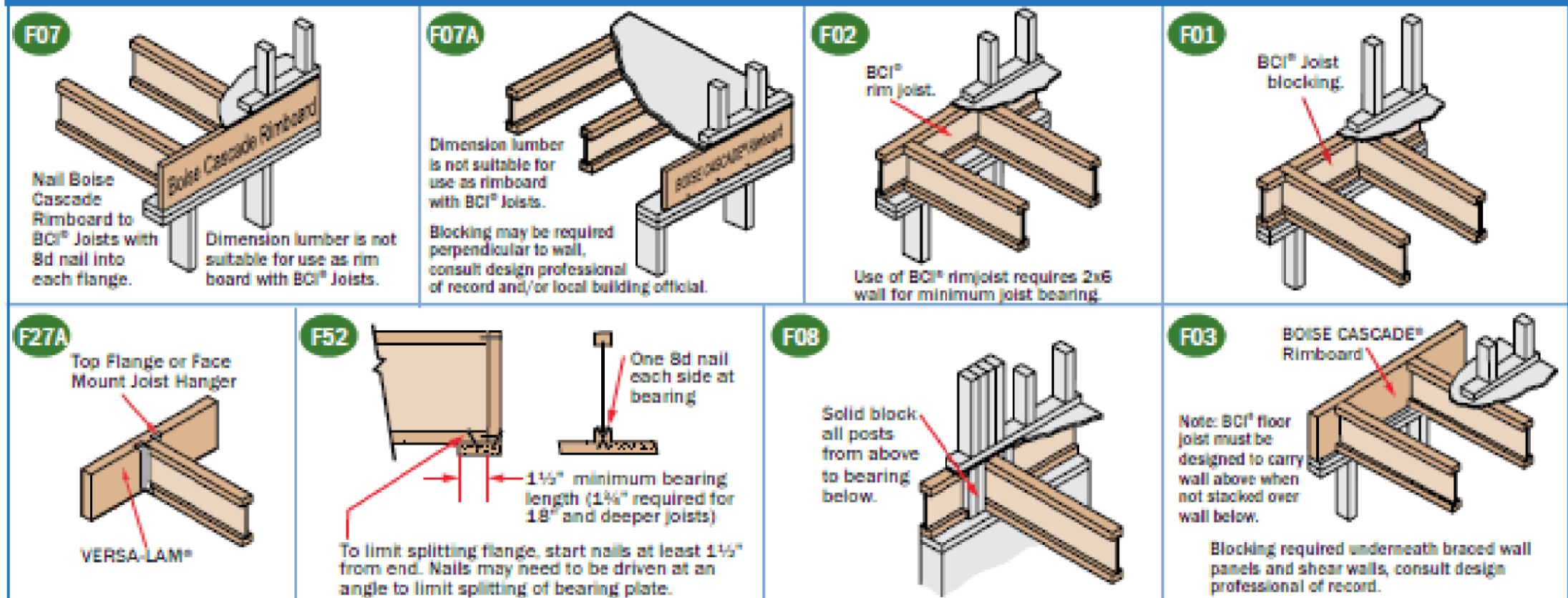
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 Date: 03/29/2022
 Job No.

Sheet Title
INTERIOR RENDERINGS -OPT B

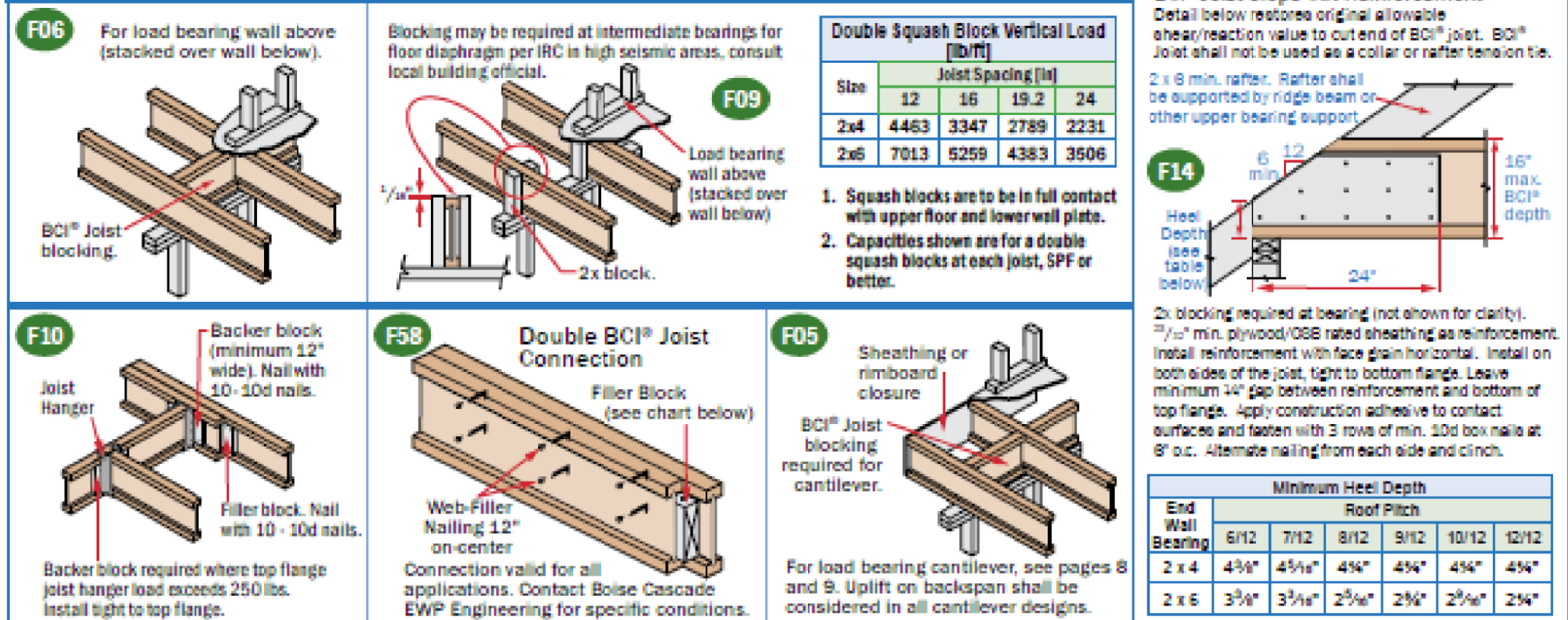
Sheet No.
PR-1.01

Additional floor framing details available with BC FRAMER® software

END BEARING DETAILS



INTERMEDIATE BEARING DETAILS



Double Squeak Block Vertical Load [lb/ft]

Site	12	16	19.2	24
2x4	4463	3347	2789	2231
2x6	7013	5259	4383	3508

BCI Joist Slope Cut Reinforcement
Detail below restores original allowable shear reaction value to cut end of BCI joist. BCI joist shall not be used as a collar or rafter tension tie.
2 x 6 min. rafter. Rafter shall be supported by ridge beam or other upper bearing support.

End Wall Bearing

Roof Pitch	6/12	7/12	8/12	9/12	10/12	12/12
2 x 4	4 1/4"	4 3/4"	4 7/8"	4 7/8"	4 7/8"	4 7/8"
2 x 6	3 3/4"	3 3/4"	2 3/4"	2 3/4"	2 3/4"	2 3/4"

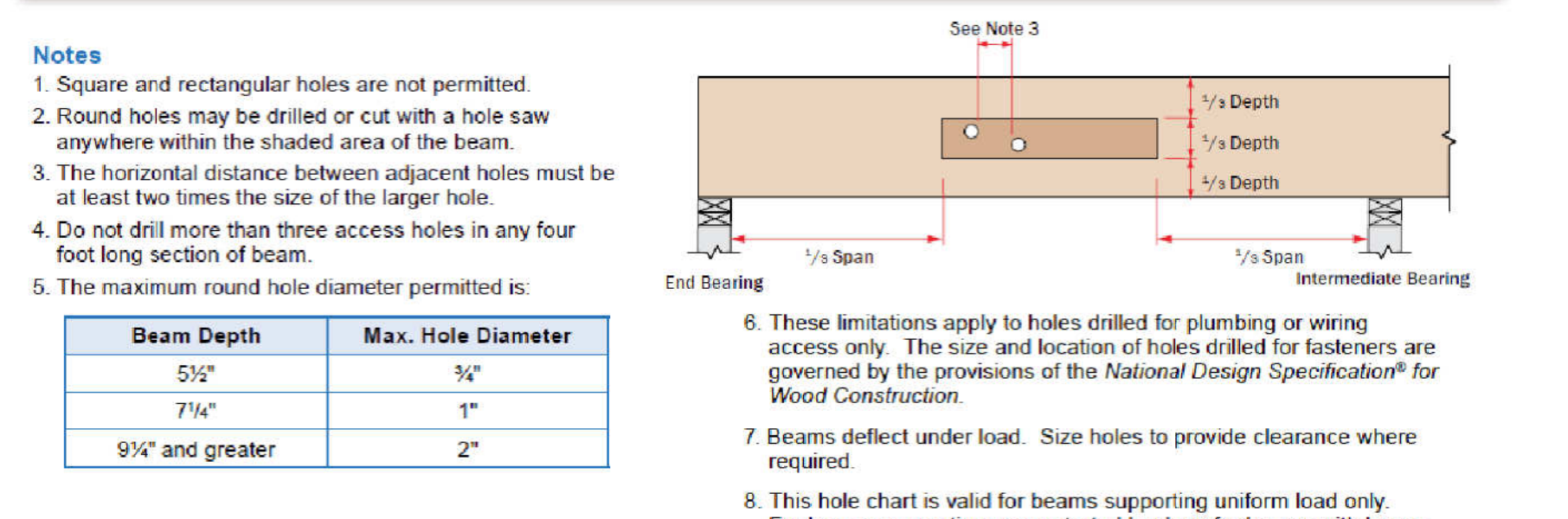
LATERAL SUPPORT
- BCI Joists shall be laterally supported at the ends with hangers, rimboard, BCI rim joist or blocking panels. BCI blocking panels or rimboard are required at cantilever supports.
- Blocking may be required at intermediate bearings for floor diaphragm per IRC in high seismic areas, consult local building official.

MINIMUM BEARING LENGTH FOR BCI JOISTS
- Minimum end bearing: 1 1/2" for all BCI Joists. 3 1/4" is required at cantilever and intermediate supports.
- Longer bearing lengths allow higher reaction values. Refer to the building code evaluation report or the BC CALC® software.

NAILING REQUIREMENTS
- BCI rim joist, rim board or closure panel to BCI joist: - Rims or closure panel 1 1/2 inches thick and less: 2-8d nails, one on each side of the top and bottom flange.
- BCI 4500s/5000s rim joist: 2-16d box nails, one on each side of the top and bottom flange.
- BCI 6000s/600s rim joist: 2-16d box nails, one on each side of the top and bottom flange.
- BCI 6500s/90s rim joist: Toe-nail top flange to rim joist with 2-10d box nails, one each side of flange.
- BCI rim joist, rim board or BCI blocking panel to support:
- Min. 8d nails @ 6" o.c. per IRC.
- Connection per design professional of record's specification for shear transfer.

CUT BAKER AND FILLER BLOCKS TO A MAXIMUM DEPTH EQUAL TO THE WEB DEPTH MINUS 1/4" TO AVOID A FORCED FIT.

Allowable Holes in VERSA-LAM® Beams



Beam Depth	Max. Hole Diameter
5 1/2"	3/4"
7 1/4"	1"
9 1/4" and greater	2"

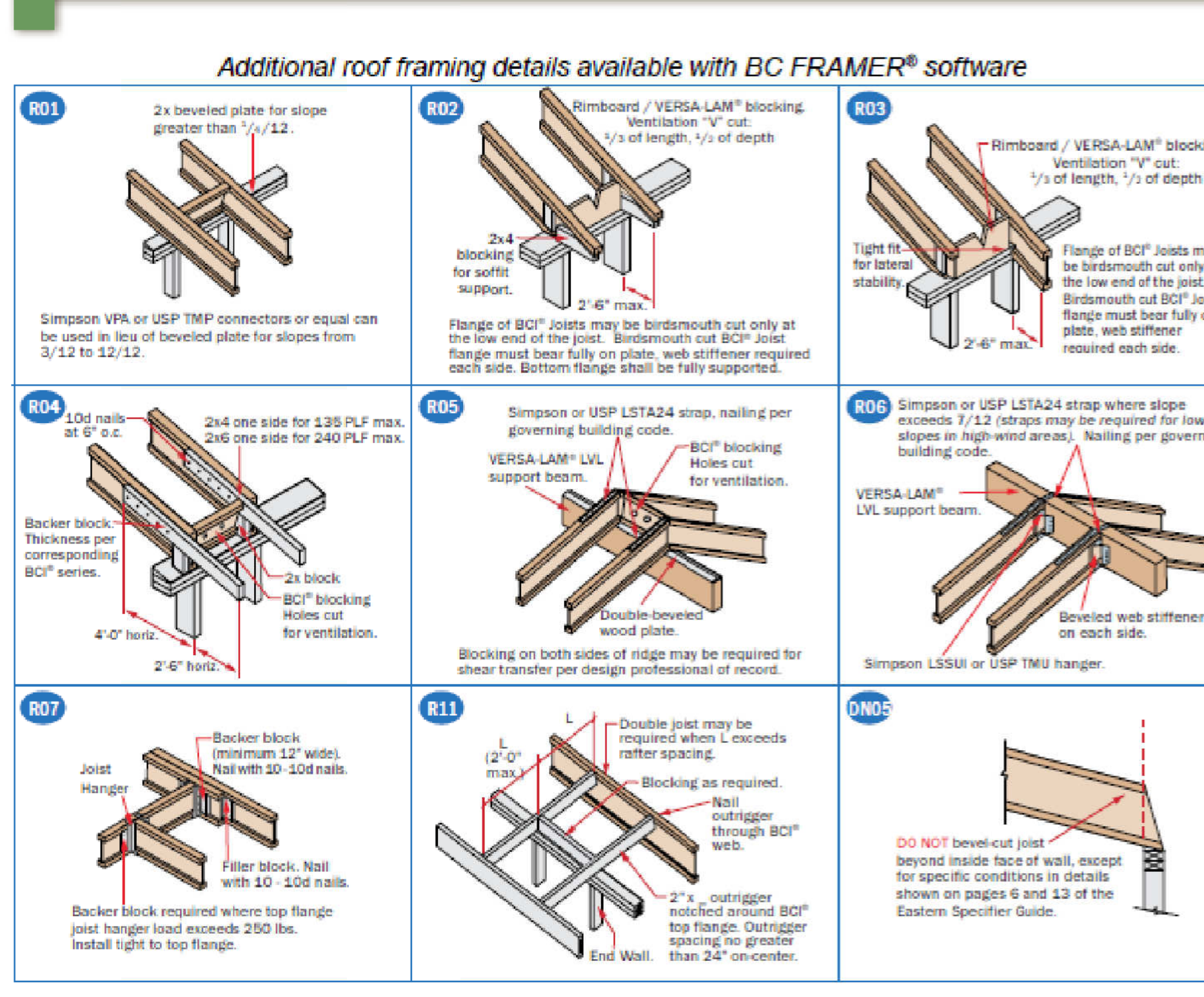
VERSA-LAM® 2.0 3100 (100% Load Duration)

KEY TO TABLE

- Top Figure - Allowable Total Load [plf]
- Middle Figure - Allowable Live Load [plf]
- Bottom Figures - Minimum Required Bearing Length at End / Intermediate Supports [inches]

Span [ft]	1 1/2" VERSA-LAM® 2.0 3100				Double Ply 1 1/2" VERSA-LAM® 2.0 3100 or 3/2" VERSA-LAM® 2.0 3100				Triple Ply 1 1/2" VERSA-LAM® 2.0 3100 or 5/4" VERSA-LAM® 2.0 3100				Quadryply 1 1/2" VERSA-LAM® 2.0 3100 or 7/8" VERSA-LAM® 2.0 3100					
	7 1/2"	9 1/2"	11 1/2"	14"	7 1/2"	9 1/2"	11 1/2"	14"	16"	18"	20"	24"	11 1/2"	14"	16"	18"	20"	24"
6	763	1063	1424	1795	1025	2126	2949	3990	4387	5232	5226	3189	4273	5384	6580	7848	7848	7838
8	322	724	1027	1419	443	1447						2171	2337	2932	3622	4320	5103	5876
10	166	370	527	724	229	741	1447					1111	1271	1617	2003	2453	2884	3413
12	95	214	307	429	133	437	837	1373	1921	2268	2668	645	759	989	1236	1511	1816	2147
14	56	132	190	267	81	281	505	844	1184	1392	1615	413	495	648	812	1000	1215	1457
16	33	78	113	157	48	167	309	556	814	1001	1181	300	367	485	613	766	941	1138
18	21	52	73	101	32	113	210	380	541	711	869	218	269	356	453	576	720	887
20	14	36	51	69	21	74	138	242	347	455	557	147	183	243	314	402	510	629
22	9	24	33	45	14	48	88	158	228	301	370	102	128	171	222	285	360	447
24	6	16	22	30	9	32	57	101	145	191	240	71	90	120	157	204	263	325
26	4	10	14	19	6	20	36	63	91	121	156	51	63	83	108	141	183	231
28	3	7	10	14	4	14	24	41	60	82	109	42	51	68	91	119	156	202
30	2	5	7	10	3	10	18	31	46	63	85	33	40	54	72	95	126	166

Roof Framing Details



Allowable Uniform Floor Load (in pounds per lineal foot [PLF])

100% Load Duration

Span Length	BCI® 6000s 1.8 Series 2 1/2" Flange Width								BCI® 6500s 1.8 Series 2 1/2" Flange Width							
	9 1/2" BCI® 6000s 1.8		11 1/2" BCI® 6000s 1.8		14" BCI® 6000s 1.8		16" BCI® 6000s 1.8		9 1/2" BCI® 6500s 1.8		11 1/2" BCI® 6500s 1.8		14" BCI® 6500s 1.8		16" BCI® 6500s 1.8	
	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load
6	320	-	333	-	348	-	353	-	320	-	333	-	348	-	353	-
7	274	-	285	-	297	-	302	-	274	-	285	-	297	-	302	-
8	240	-	250	-	260	-	265	-	240	-	250	-	260	-	265	-
9	213	-	222	-	231	-	235	-	213	-	222	-	231	-	235	-
10	183	192	-	200	-	208	-	212	-	183	192	-	200	-	208	-
11	141	174	-	181	-	189	-	192	153	174	-	181	-	189	-	192
12	112	160	-	166	-	173	-	178	121	160	-	166	-	173	-	178
13	89	147	144	153	-	160	-	163	97	147	-	153	-	160	-	163
14	73	129	117	142	-	148	-	151	79	137	129	142	-	148	-	151
15	60	112	97	133	-	138	-	141	65	124	106	133	-	138	-	141
16	50	98	81	125	117	130	-	132	54	109	89	125	127	130	-	132
17	42	84	68	112	99	122	-	124	46	92	75	117	107	122	-	124
18	36	72	58	100	84	115	112	117	41	84	71	104	111	117	-	117
19	31	60	48	87	72	108	96	111	36	73	60	86	104	111	-	111
20	27	51	43	81	62	96	83	106	32	66	58	86	104	111	-	111
21	24	45	38	72	54	87	72	99	28	60	53	78	104	111	-	111
22	21	40	34	63	48	77	63	90	25	56	48	72	97	111	-	111
23	18	36	30	54	42	68	54	81	22	51	44	66	89	111	-	111
24	16	33	28	51	40	65	51	77	20	49	43	64	87	111	-	111
25	14	30	25	48	37	62	48	74	18	46	40	61	84	111	-	111
26	12	27	23	45	34	60	45	71	16	43	37	58	81	111	-	111
27	10	24	20	42	31	57	42	68	14	40	34	55	78	111	-	111
28	9	23	19	41	30	56	41	67	13	39	33	54	77	111	-	111
29	8	22	18	40	29	55	40	66	12	38	32	53	76	111	-	111
30	7	21	17	39	28	54	39	65	11	37	31	52	75	111	-	111

Floor Load Tables

Allowable Uniform Floor Load (in pounds per lineal foot [PLF])

100% Load Duration

Span Length	BCI® 60s 2.0 Series 2 1/2" Flange Width				BCI® 90s 2.0 Series 3 1/2" Flange Width							
	11 1/2" BCI® 60s 2.0		14" BCI® 60s 2.0		16" BCI® 60s 2.0		11 1/2" BCI® 90s 2.0		14" BCI® 90s 2.0		16" BCI® 90s 2.0	
	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load
6	-	366	-	366	-	366	-	450	-	453	-	456
7	-	314	-	314	-	314	-	385	-	388	-	391
8	-	275	-	275	-	275	-	337	-	340	-	342
9	-	244	-	244	-	244	-	300	-	302	-	304
10	-	220	-	220	-	220	-	270	-	272	-	274
11	-	200	-	200	-	200	-	245	-	247	-	249
12	-	183	-	183	-	183	-	225	-	226	-	228
13	-	169	-	169	-	169	-	207	-	209	-	210
14	155	157	-	157	-	157	-	192	-	194	-	195
15	128	146	-	146	-	146	-	180	-	181	-	182
16	107	137	-	137	-	137	152	168	-	170	-	171
17	90	129	-	129	-	129	129	158	-	160	-	161
18	77	122	110	122	-	122	110	150	-	151	-	152
19	66	115	95	115	-	115	95	142	134	143	-	144
20	57	110	82	110	109	110	83	135	117	136	-	137
21	50	100	72	104	95	104	72	128	102	129	-	130
22	43	87	63	100	84	100	63	122	90	123	119	124
23												
24												
25												
26												
27												
28												
29												
30												

date: 10/04/18
scale: AS NOTED
by: B. HATTORI
rev:

PROJECT NORTH ENGINEERING
5054 Waterport Way, Duluth, Georgia 30096
770.582.0345 / bryce.hattori@gmail.com

engineer

FRAMING INFO.

title

993 MAULDIN</

January 16, 2025

Letter of Support

To the Dekalb County Department of Planning & Sustainability
Zoning Board of Appeals
178 Sams Street, Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Re: Zoning variance application of the Bosselmann family for building a garage ADU at 4046 Wembley Forest Way, Atlanta, GA 30340

Esteemed Zoning Board of Appeals,

My name is Sue Hsu located at 4052

Wembley Forest Way, and I am a neighbor of the Bosselmann family.

I support the Bosselmanns' application for a zoning variance. Our neighborhood was built in the late 1970s before current zoning guidelines were established, and I feel that it would impose undue hardship to Moritz Bosselmann and his family if the Board were to interpret the current guidelines strictly, resulting in the Bosselmanns' inability to build a garage apartment for their adult son with Autism.

I feel that the approval of a zoning variance is justified in this case.

Having seen the Bosselmanns' property and being aware of the steep terrain on which it is located, it is obvious to me that the garage is the only feasible area on the parcel where an apartment could be built.

I consider the Bosselmann family good neighbors who keep their home in aesthetically appealing shape. I have seen the architectural drawings for the second story apartment, and believe that it will not disturb rather than enhance the look of the neighborhood.

Thank you for your consideration and approval of the Bosselmann zoning variance application.

Name: Sue Hsu

Signature: Sue W Hsu

January 16, 2025

Letter of Support

To the Dekalb County Department of Planning & Sustainability
Zoning Board of Appeals
178 Sams Street, Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Re: Zoning variance application of the Bosselmann family for building a garage ADU at 4046 Wembley Forest Way, Atlanta, GA 30340

Esteemed Zoning Board of Appeals,

My name is FRANK DOMINA located at 4035

Wembley Forest Way, and I am a neighbor of the Bosselmann family.

I support the Bosselmanns' application for a zoning variance. Our neighborhood was built in the late 1970s before current zoning guidelines were established, and I feel that it would impose undue hardship to Moritz Bosselmann and his family if the Board were to interpret the current guidelines strictly, resulting in the Bosselmanns' inability to build a garage apartment for their adult son with Autism.

I feel that the approval of a zoning variance is justified in this case.

Having seen the Bosselmanns' property and being aware of the steep terrain on which it is located, it is obvious to me that the garage is the only feasible area on the parcel where an apartment could be built.

I consider the Bosselmann family good neighbors who keep their home in aesthetically appealing shape. I have seen the architectural drawings for the second story apartment, and believe that it will not disturb rather than enhance the look of the neighborhood.

Thank you for your consideration and approval of the Bosselmann zoning variance application.

Name: Frank T. Domina

Signature: Frank T. Domina

January 16, 2025

Letter of Support

To the Dekalb County Department of Planning & Sustainability
Zoning Board of Appeals
178 Sams Street, Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Re: Zoning variance application of the Bosselmann family for building a garage ADU at 4046 Wembley Forest Way, Atlanta, GA 30340

Esteemed Zoning Board of Appeals,

My name is Jennifer Chang located at 4058

Wembley Forest Way, and I am a neighbor of the Bosselmann family.

I support the Bosselmanns' application for a zoning variance. Our neighborhood was built in the late 1970s before current zoning guidelines were established, and I feel that it would impose undue hardship to Moritz Bosselmann and his family if the Board were to interpret the current guidelines strictly, resulting in the Bosselmanns' inability to build a garage apartment for their adult son with Autism.

I feel that the approval of a zoning variance is justified in this case.

Having seen the Bosselmanns' property and being aware of the steep terrain on which it is located, it is obvious to me that the garage is the only feasible area on the parcel where an apartment could be built.

I consider the Bosselmann family good neighbors who keep their home in aesthetically appealing shape. I have seen the architectural drawings for the second story apartment, and believe that it will not disturb rather than enhance the look of the neighborhood.

Thank you for your consideration and approval of the Bosselmann zoning variance application.

Name: Jennifer Chang

Signature: Jennifer Chang