

DeKalb County Historic Preservation Commission

Tuesday, January 21, 2025 - 6:00 P.M.

Staff Report

Consent Agenda

- B. 1182 The By Way, Exodus Design Build. Extend deck on the rear of a non-historic house.
1247374

Built in 2019 – Nonhistoric (18 001 08 050)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

- 05-18 1182 The By Way (DH), David Price – Price Residential Design. Demolition of the house. 22329. **Denied**
07-18 1182 The By Way (DH), David Price – Price Residential Design. Demolish and replace the house. 1235081.
Deferred
08-18 1182 The By Way (DH), David Price – Price Residential Design. Demolish and replace the house. 1235081.
Approved with modification
11-18 1182 The By Way (DH), Dave Price of Price Residential Design. Modify the previously approved CoA to change some windows and specify the type of brick. 1235321. **Approved**

Summary

The applicant proposes extending the existing nonhistoric enclosed deck on the rear of a nonhistoric house. The deck will be extended by 5 feet towards the rear property line, projecting out into the backyard. The extension will be constructed with like-materials to the existing deck, including black aluminum balusters and wood decking. A ventless firebox will also be installed in the extension of the deck. Additionally, the current sliding patio doors located on the rear of the house, opening onto the enclosed deck, will be replaced with a new set of wood, sliding doors. The brick surrounding the sliding doors will be replaced in-kind as needed.

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 11.0 *Nonhistoric Properties* (p93) Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: _____

being owner(s) of the property at: _____

hereby delegate authority to: _____

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): Faisal Merchant

Date: 12/17/24

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail pvjennings@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, ¼"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

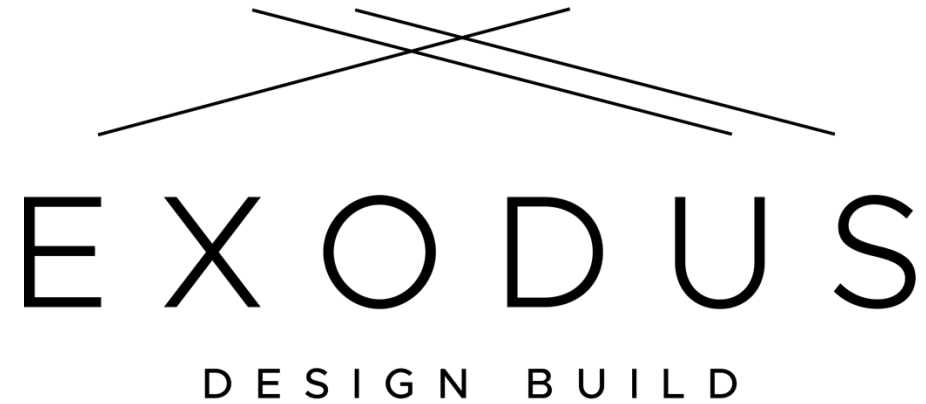
This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.



1182 The By Way
Historic Preservation Commission Submittal

EXISTING CONDITIONS – FRONT FASCIADE



EXISTING CONDITIONS – LEFT SIDE



EXISTING CONDITIONS – RIGHT SIDE



EXISTING CONDITIONS – REAR



PROPOSED – MATERIALS

Black 4x8 AirSlate panels wrap fireplace



Round black Aluminum balusters



New ventless firebox



Operable louvered wall for privacy when desired. Painted to compliment home.



TREX Decking

PROPOSED – MATERIALS



New sliding door. Painted wood to match existing home trim.



Brick infill to match existing



TREX Decking

PROJECT DESCRIPTION

SCOPE OF WORK INCLUDES: COVERED BACK PORCH ADDITION

RELEVANT CODES

INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 INTERNATIONAL FIRE CODE, 2018 EDITION (CONTACT STATE FIRE MARSHAL BELOW)
 INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 NATIONAL ELECTRICAL CODE, 2020 EDITION (NO GEORGIA AMENDMENTS)
 INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)

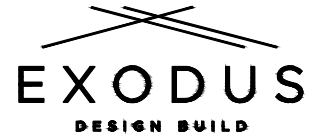
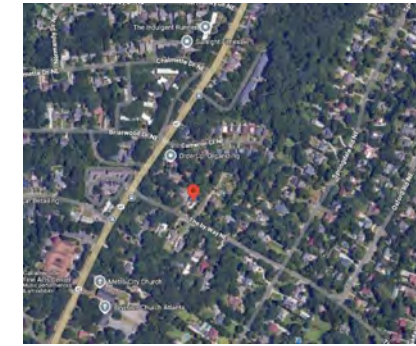
DRAWING INDEX

SHEET NUMBER	SHEET NAME	DATE OF ISSUE	DATE OF LAST REVISION / ISSUE
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A.1	FIRST FLOOR DEMO PLAN	12/17/24	
A.2	FIRST FLOOR CONSTRUCTION PLAN	12/17/24	
A.3	ROOF PLAN	12/17/24	
A.4	EXTERIOR ELEVATIONS - EXISTING	12/17/24	
A.5	EXTERIOR ELEVATIONS - EXISTING	12/17/24	
A.6	EXTERIOR ELEVATIONS - PROPOSED	12/17/24	
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I.2	INTERIOR ELEVATIONS	12/17/24	
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C.1	SITE PLAN + ZONING REQUIREMENTS	12/17/24	

PROJECT INFORMATION

TYPE OF CONSTRUCTION:	Type VB
OCCUPANCY:	SINGLE FAMILY / R-5
NUMBER OF STORIES:	TWO (2) STORY W/ BASEMENT
BUILDING HEIGHT (FROM STREET):	35'
EXISTING FIRST FLOOR BUILDING AREA:	1,969 SF
NEW FIRST FLOOR BUILDING AREA:	0 SF
NEW SECOND FLOOR BUILDING AREA:	0 SF

1182 THE BY WAY NE ATLANTA, GA 30306 MERCHANT RESIDENCE



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 www.exodusbuild.com

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GENERAL NOTES

GENERAL:

- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS, INCLUDING STATE AND LOCAL CODES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NEW CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL AND THOSE SHOWN ON THE DRAWINGS BEFORE CONSTRUCTION.
- ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES MADE WHICH DEVIATE FROM THE DRAWINGS, WHETHER INITIATED BY OWNER, CONTRACTOR, OR BOTH, UNLESS AGREED UPON BY ARCHITECT IN WRITING.
- THE ARCHITECT SHALL BE HELD HARMLESS BY ALL PARTIES AGAINST ANY CLAIMS THAT MAY ARISE OUT OF CONSTRUCTION PROCEDURES OR ACTIVITIES.
- ANY ITEMS REQUIRING CLARIFICATION OR A DECISION BY THE ARCHITECT SHALL BE ADDRESSED BY THE ARCHITECT IN WRITING OR IN THE FORM OF A DETAIL DRAWING. VERBAL RESOLUTIONS ARE NOT BINDING.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF ALL BUILDING SYSTEMS AND EQUIPMENT. THE CONTRACTOR SHALL COORDINATE ALL BUILDING TRADES TO ASSURE ALL REQUIRED CLEARANCES FOR OPERATION AND MAINTENANCE OF ALL EQUIPMENT AND SYSTEMS AS REQUIRED BY CODE, OR MANUFACTURER'S RECOMMENDATIONS ARE MET OR EXCEEDED.
- ALL DIMENSIONS TO STUD OPENING.
- WALL CONSTRUCTION - 2X4 U.N.O.

DEMOLITION:

- WHERE EXISTING LUMINARIES, ELECTRICAL RECEPTACLES, AND OTHER ELECTRICAL ITEMS ARE TO BE REMOVED, ALL ASSOCIATED SERVICES SHALL BE CAPPED OR REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES.
- PRIOR TO PERFORMING ANY DEMOLITION ACTIVITIES THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ON THE DRAWINGS.
- CONTRACTOR IS TO REMOVE ELECTRICAL CABLES AS REQUIRED PER CODE AND PLUMBING AS REQUIRED PER CODE.
- WIRING TO ELECTRICAL DEVICES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED FROM THE PANEL AND DISCARDED.

FRAMING:

- CARPENTERS SHALL INSPECT LUMBER BEFORE INSTALLATION, TO CHECK FOR DEFECT, IE. WARPING, BOWS, HORN KNOTS, AND HORIZONTAL SPLITTING.
- GAPS & SPACES BETWEEN ALL STRUCTURAL MEMBERS SHALL NOT BE ALLOWED.
- NON LOAD BEARING WALLS: METAL STUDS AND RUNNERS: ASTM A 653, G60, HOT-DIP GALVANIZED. PROVIDE GAUGES FOR STUDS AS RECOMENDED BY MANUFACTURER FOR HEIGHT AND SIZE.
- PROVIDE METAL STUD BLOCKING IN PARTITIONS BEHIND ALL WALL HUNG R WALL MOUNTED EQUIPMENT, MILLWORK, SHELVING OR OTHER DEVICES.

PENETRATIONS

- PENETRATIONS OF PIPES, TUBES, CONDUIT, WIRES, CABLES, DUCTS, VENTS, CABINETS, LIGHTING, AND OTHER FIXTURES THROUGH FIRE RATED ASSEMBLIES SHALL BE INSTALLED AND PROTECTED TO MAINTAIN FIRE RATING.. DRAWINGS SHALL NOT BE SCALED.

ELECTRICAL:

- ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND THE NEC 2017.
- THIS DRAWING IS FOR LOCATION AND COORDINATION OF LIGHT FIXTURES AND DEVICES. COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS REMAIN THE RESPONSIBILITY OF THE CONTRACTOR & SUBCONTRACTOR..
- ALL DEVICES SHALL BE "UL LISTED" WITH GROUNDS WHITE.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL EQUIPMENT AND PROVIDE WIRING AND CONDUIT SIZES.
- AS PER ARTICLE 210.12 ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- AS PER ARTICLE 210.8 ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACES), LAUNDRY, UTILITY, AND WET-BAR SINKS (WHERE THE RECEPTACLES ARE INSTALLED WITHIN SIX FEET OF THE OUTSIDE EDGES OF THE SINK SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNELLE.
- AS PER ARTICLE 406.11 ALL AREAS SPECIFIED IN THE NEC-201.1 SECTION 210.52, ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

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COVER

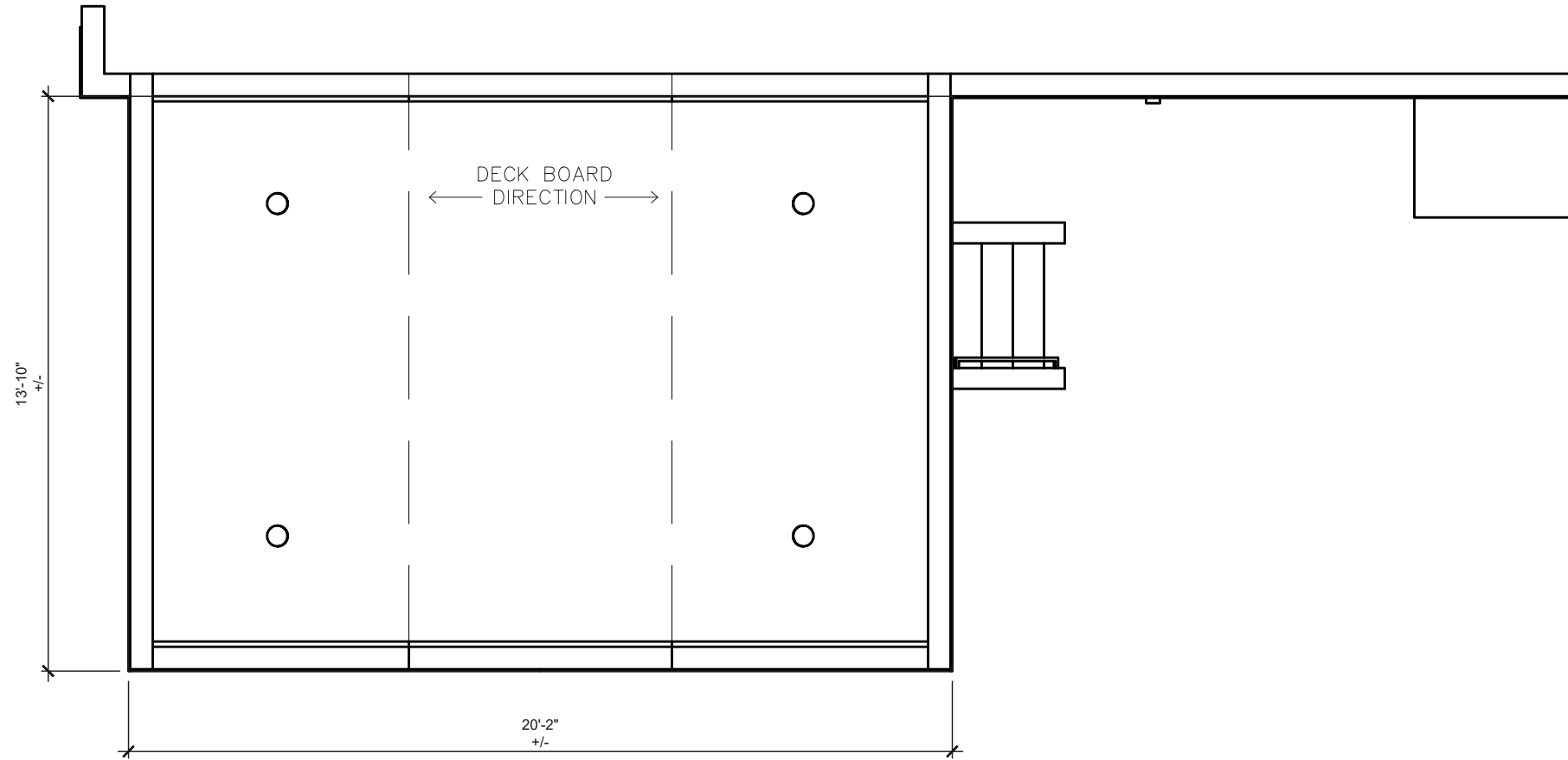
ISSUED FOR REVIEW

A.0

DECEMBER 17 2024

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PORCH FLOOR PLAN - EXISTING

SCALE: 1/4"=1'-0"

1

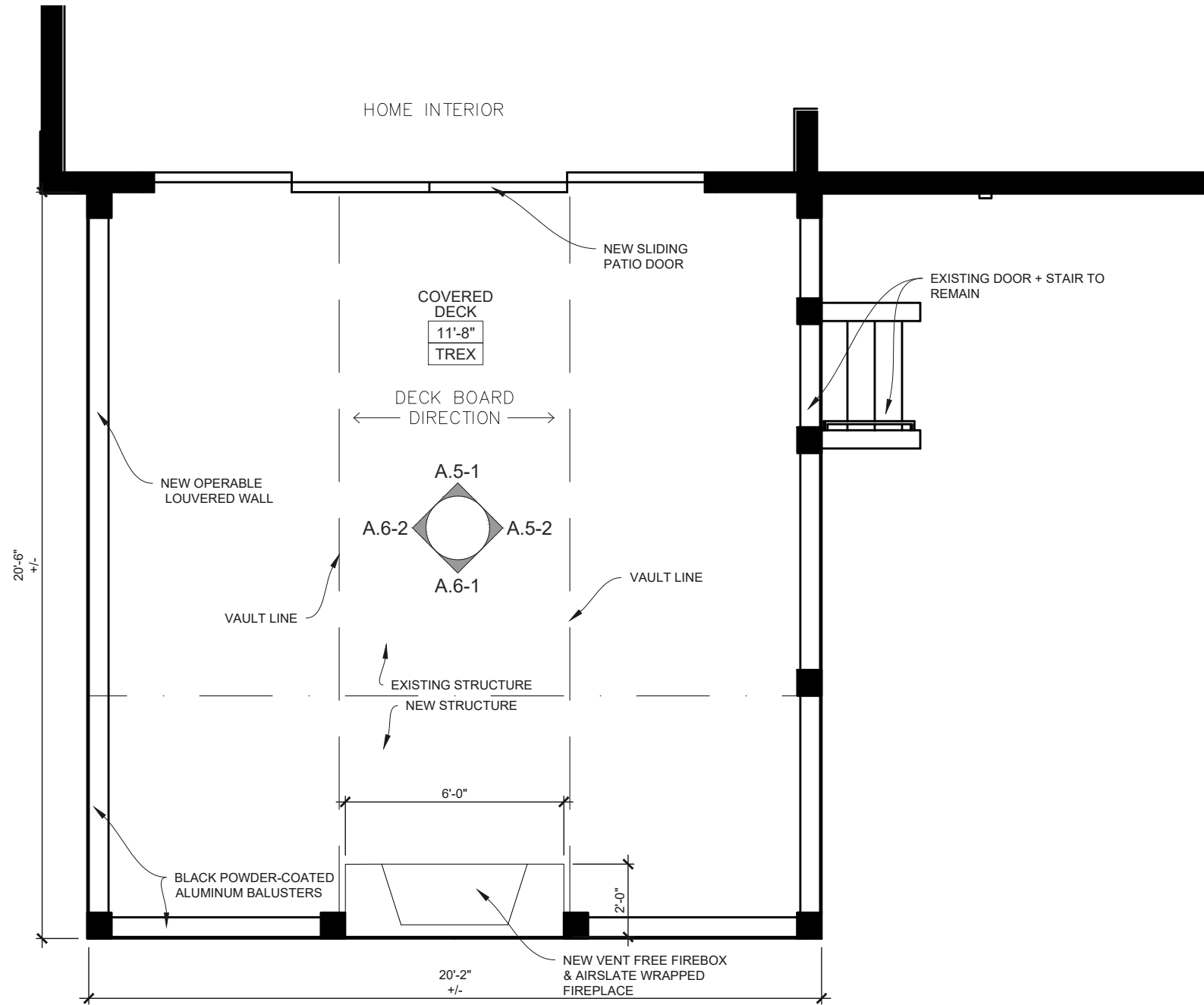
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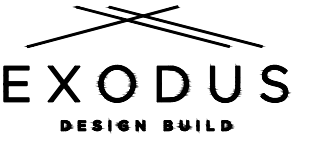
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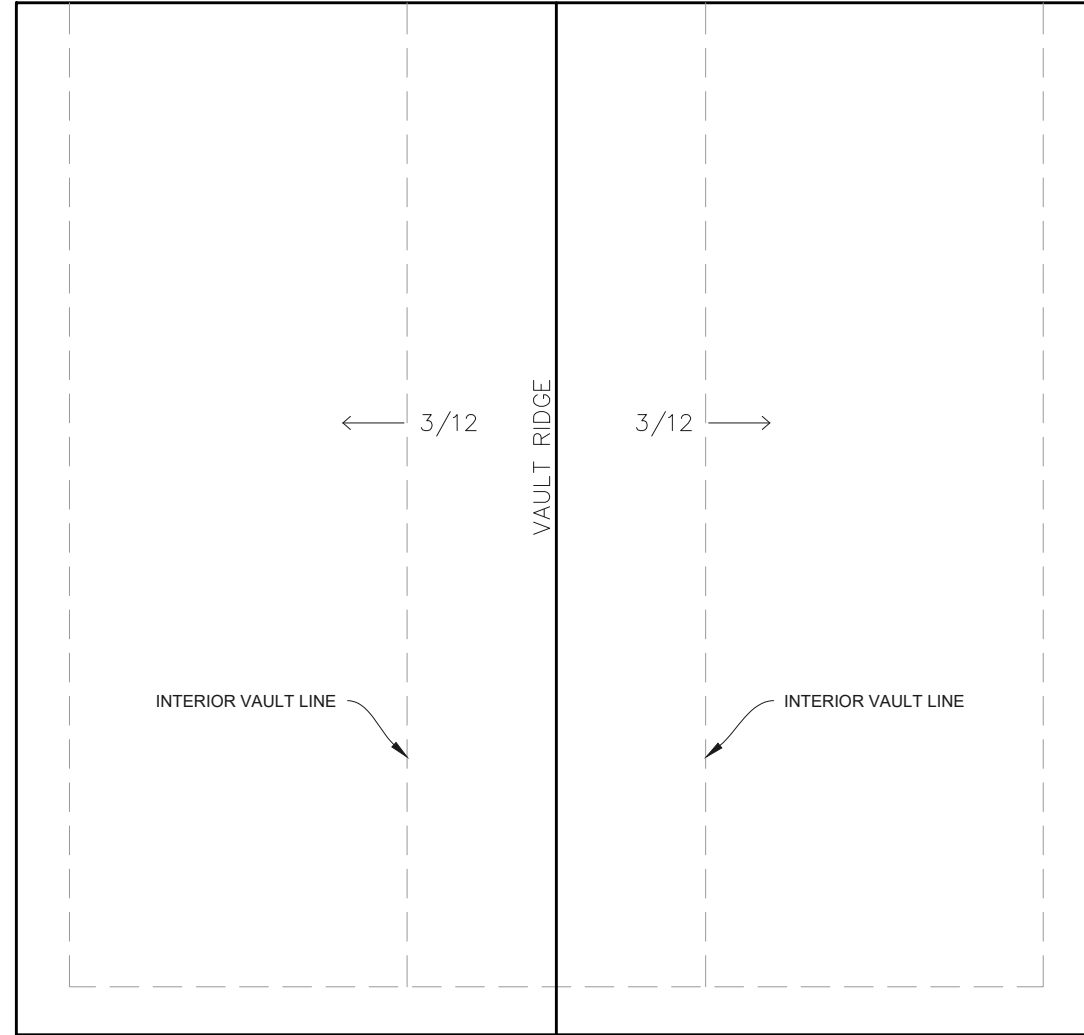




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PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

1

ISSUED FOR REVIEW

A.3

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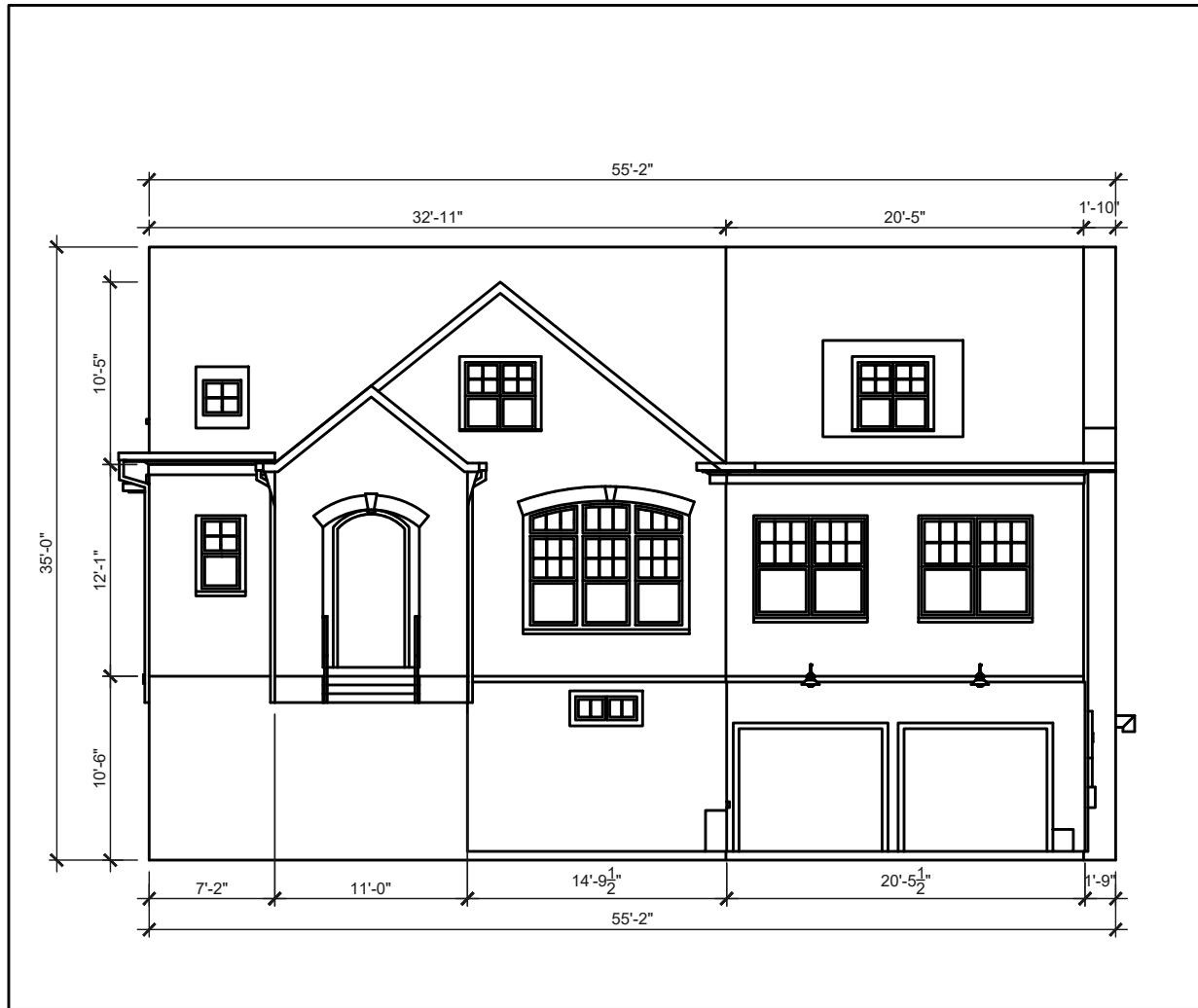
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A.4

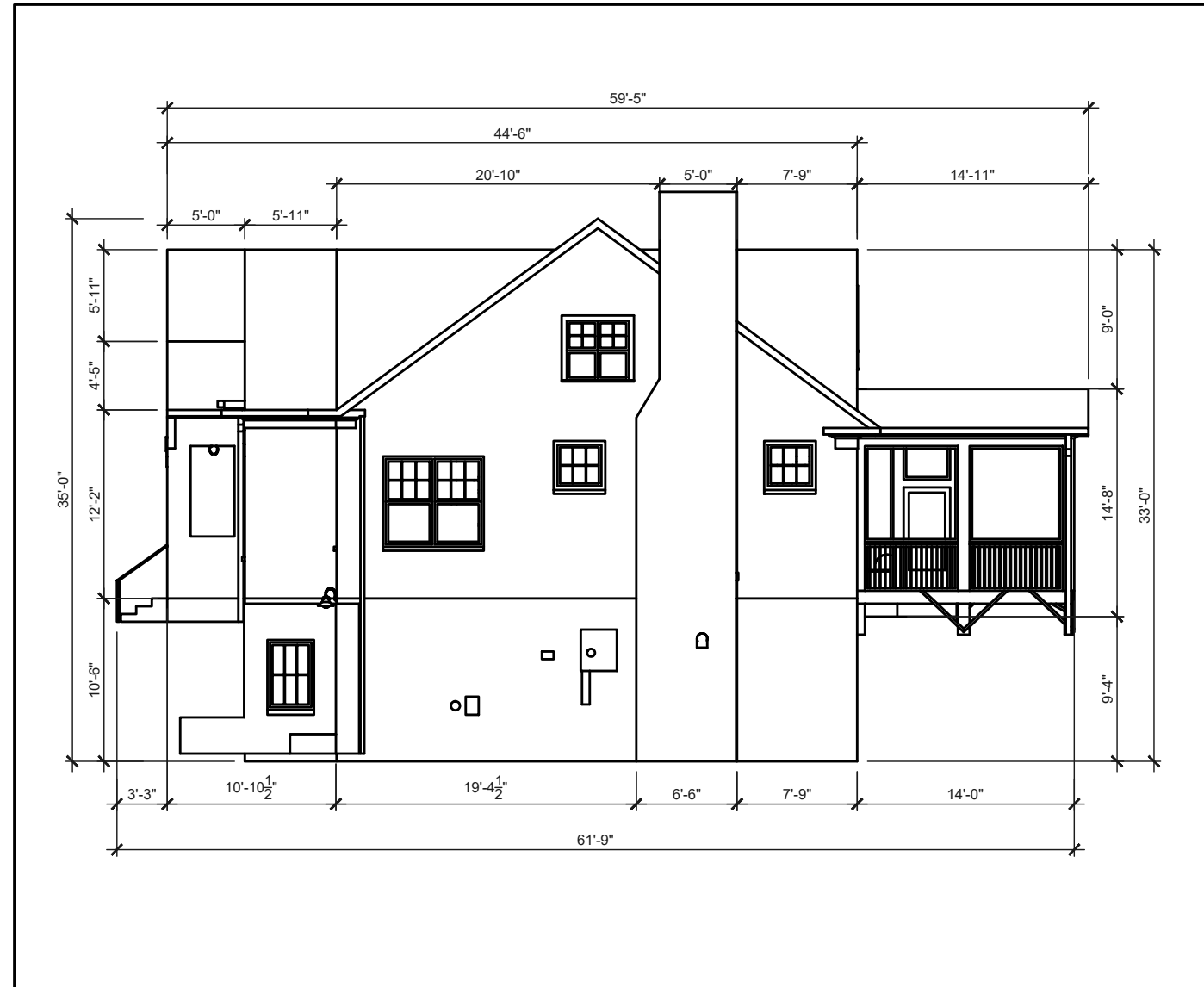
DECEMBER 17 2024



EXTERIOR ELEVATIONS - EXISTING

SCALE: 3/32"=1'-0"

1



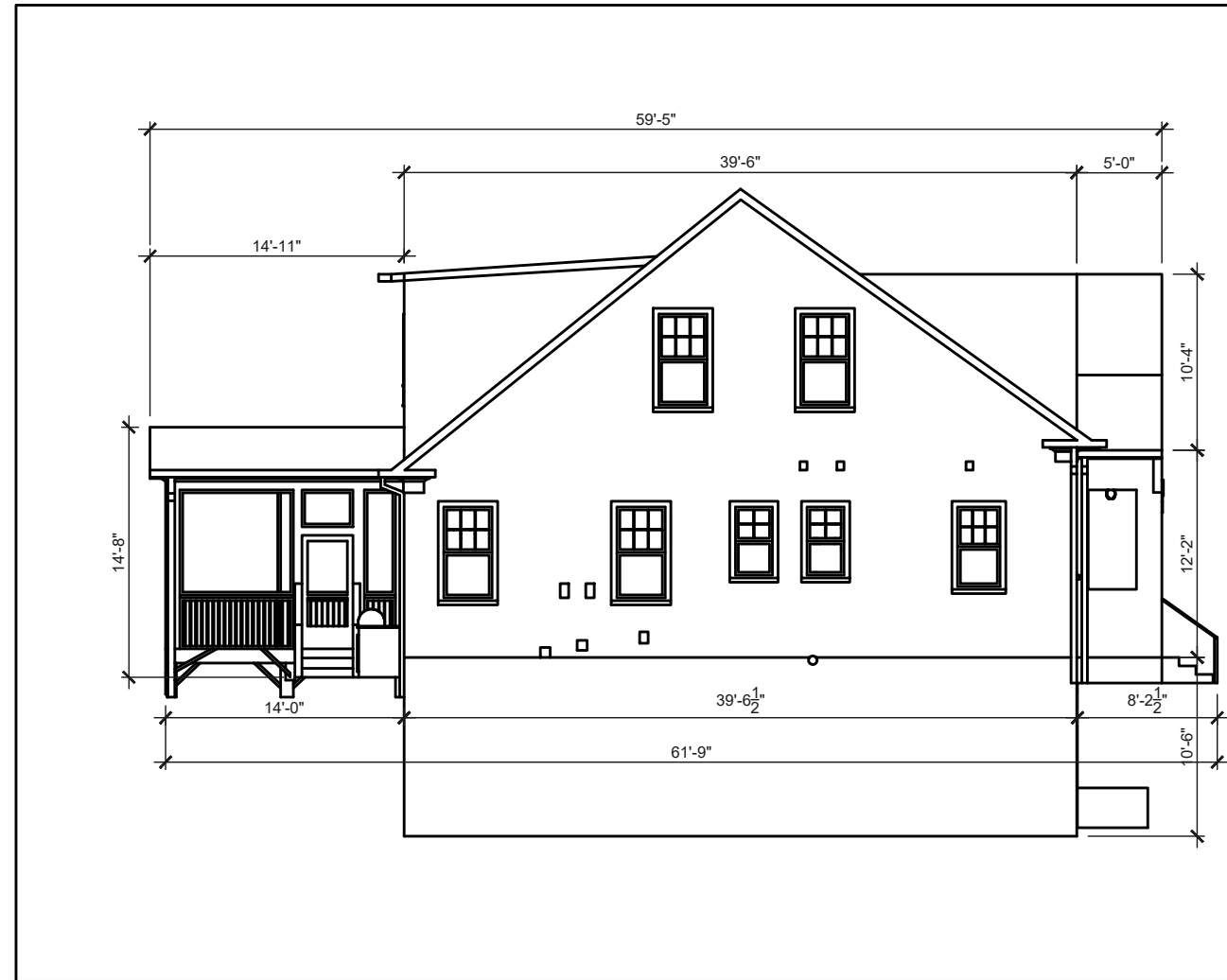
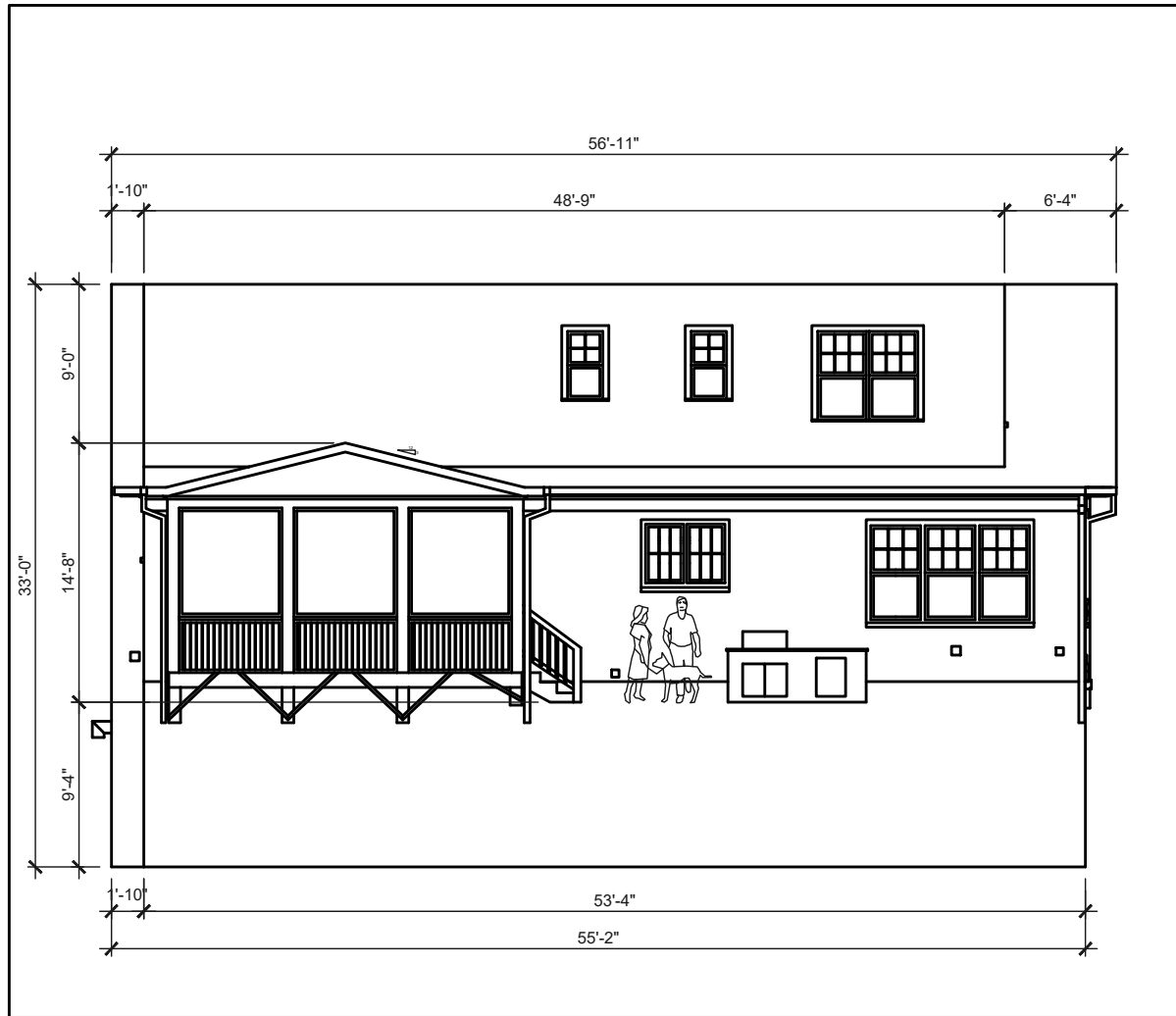
EXTERIOR ELEVATIONS - EXISTING

SCALE: 3/32"=1'-0"

2

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EXTERIOR ELEVATIONS - EXISTING

SCALE: 3/32"=1'-0"

1

EXTERIOR ELEVATIONS - EXISTING

SCALE: 3/32"=1'-0"

2

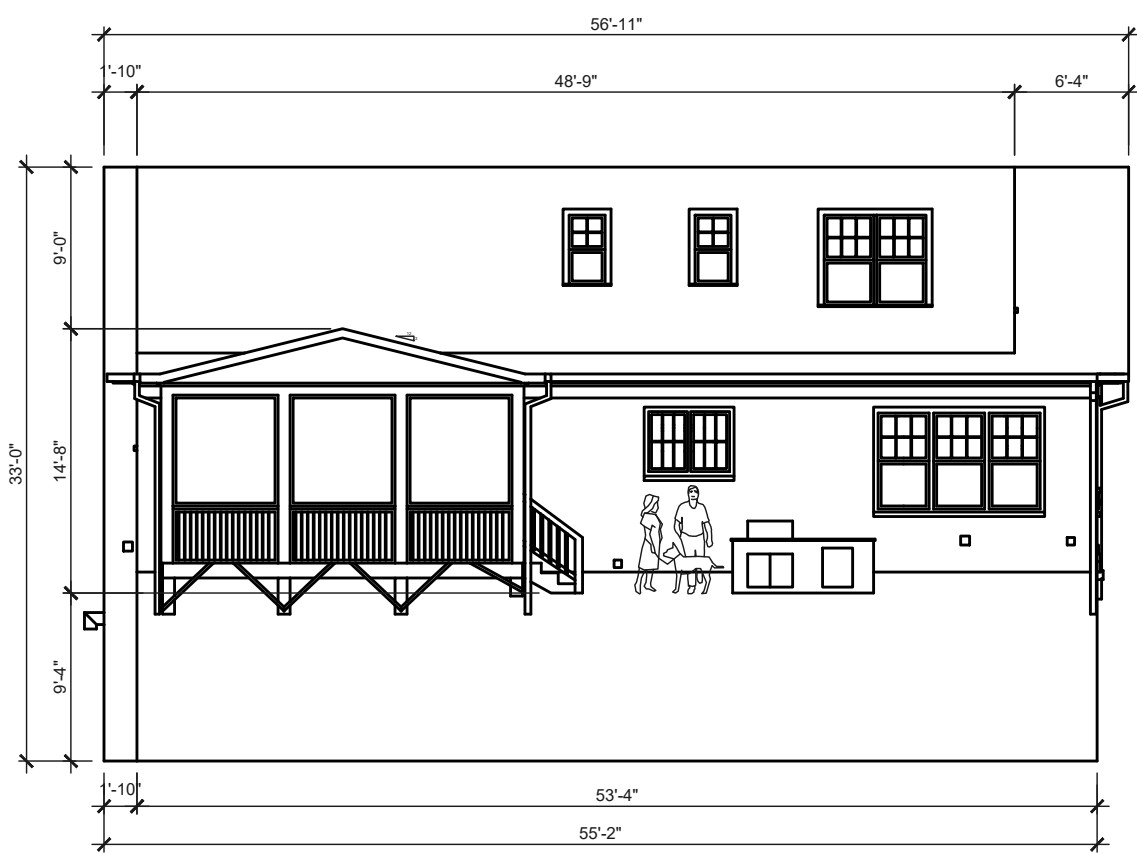
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ISSUED FOR REVIEW

A.5

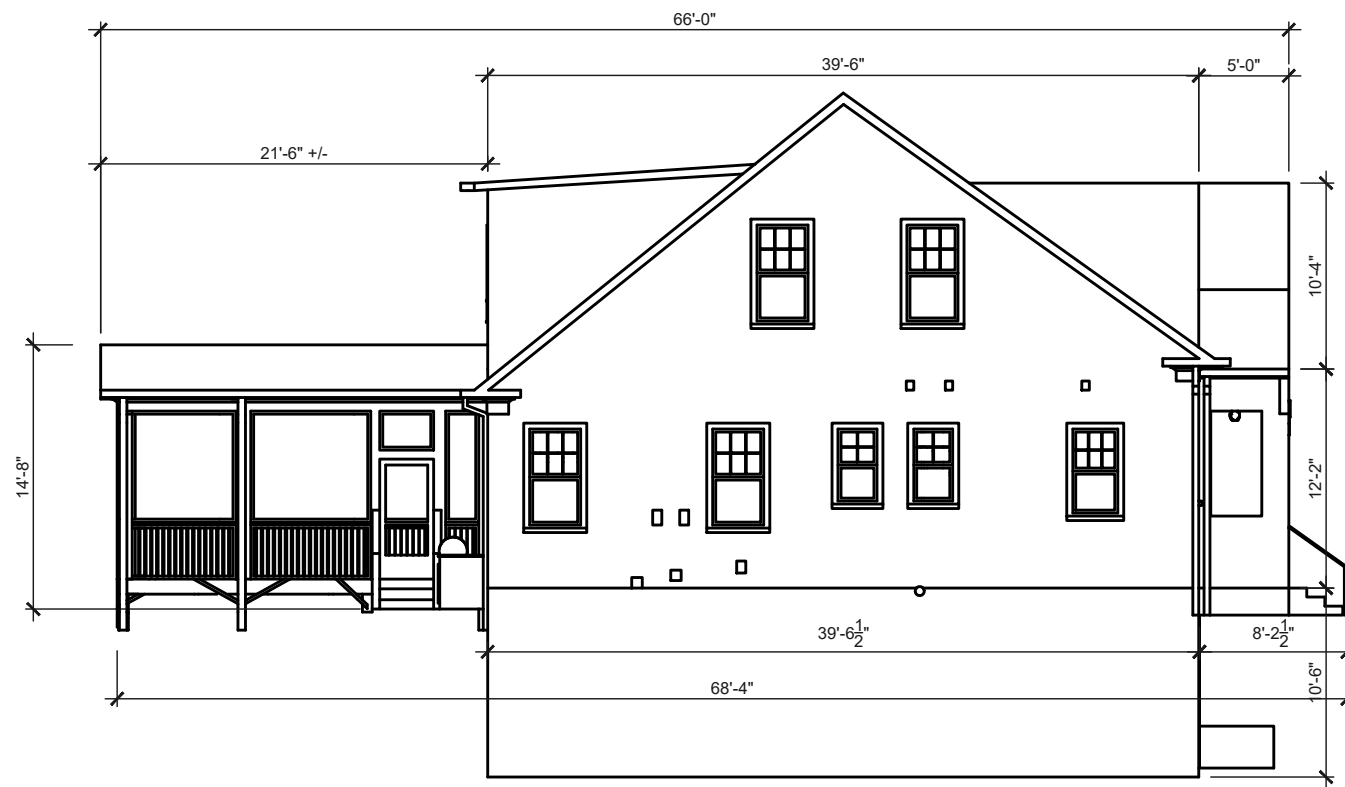
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EXTERIOR ELEVATIONS - PROPOSED

SCALE: 3/32"=1'-0"

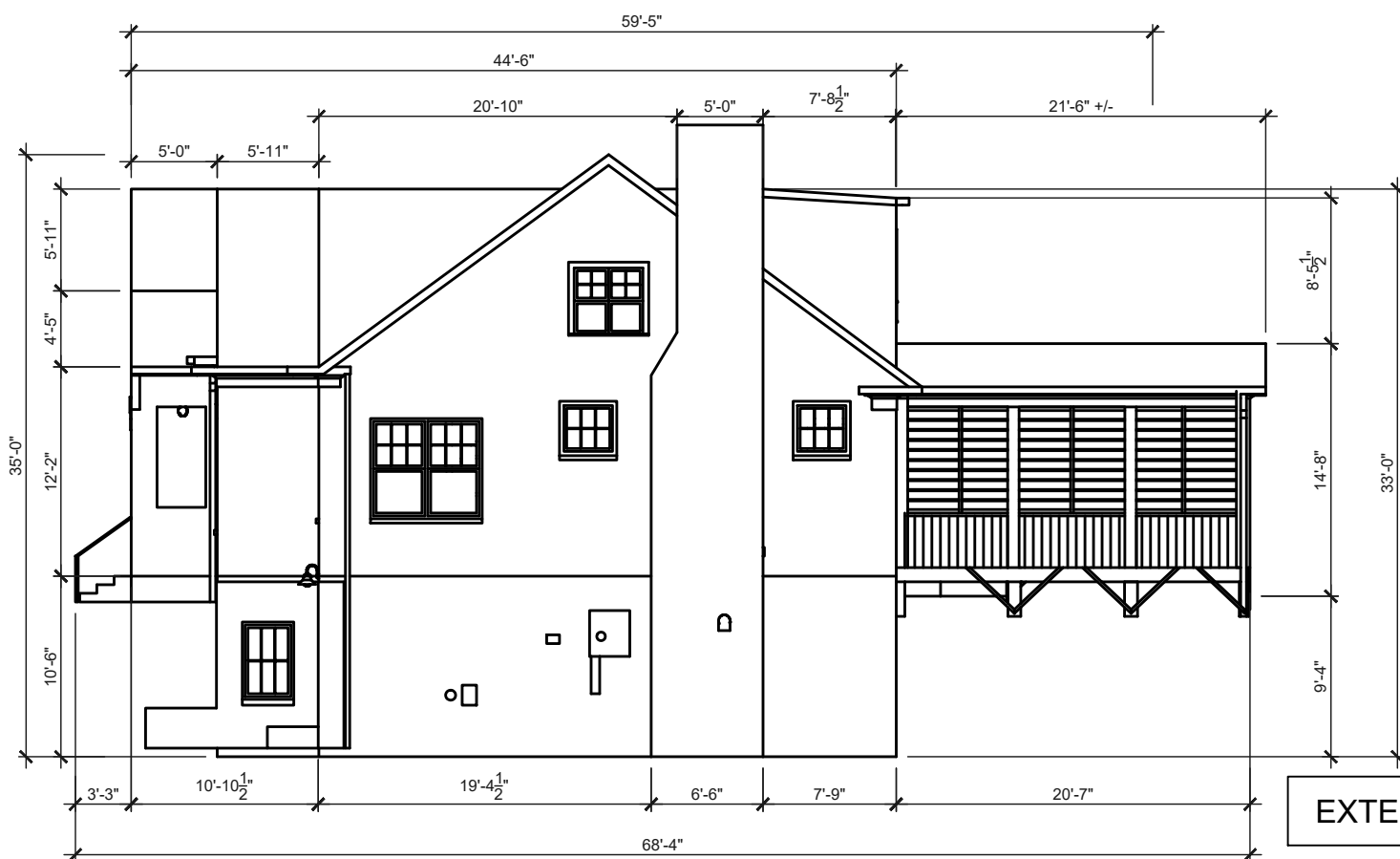
1



EXTERIOR ELEVATIONS - PROPOSED

SCALE: 3/32"=1'-0"

2



EXTERIOR ELEVATIONS - PROPOSED

SCALE: 3/32"=1'-0"

3

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1350 Progress Industrial Blvd, Suite A
Lawrenceville, GA 30043
p: 770.656.5569
garrett@exodusbuilt.com

1182 THE BY WAY NE
FAISAL + MICHELLE MERCHANT

1182 THE BY WAY NE
ATLANTA, GA 30306

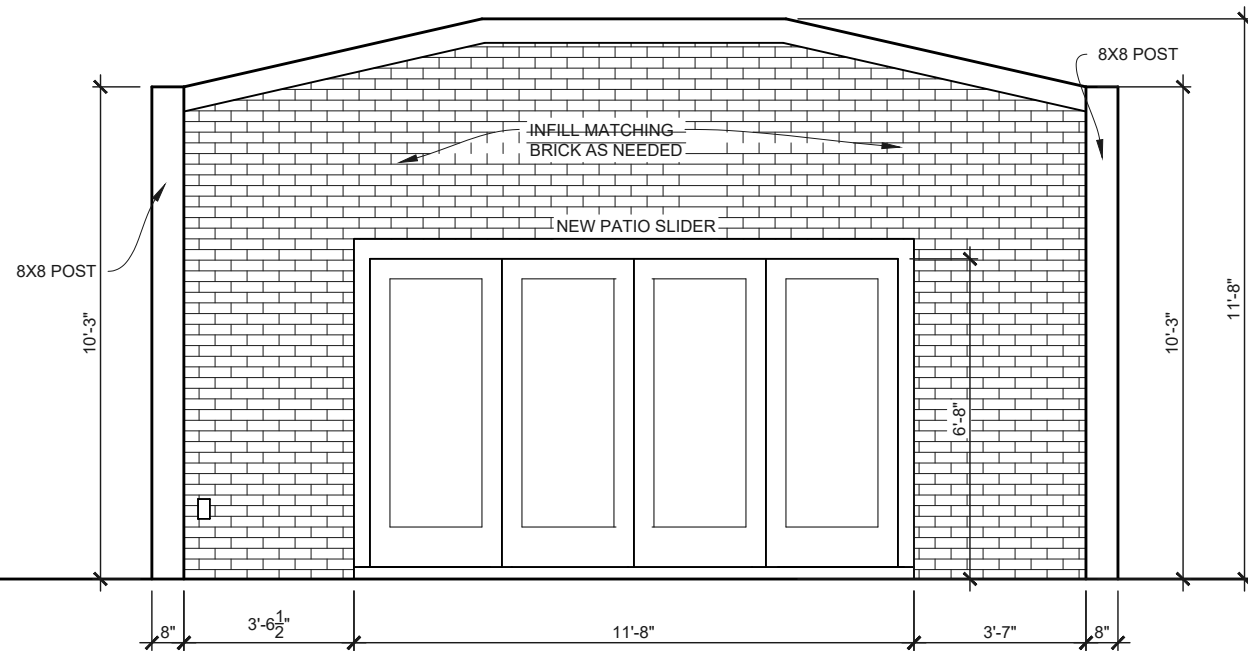
ISSUED FOR REVIEW

A.6

DECEMBER 17 2024

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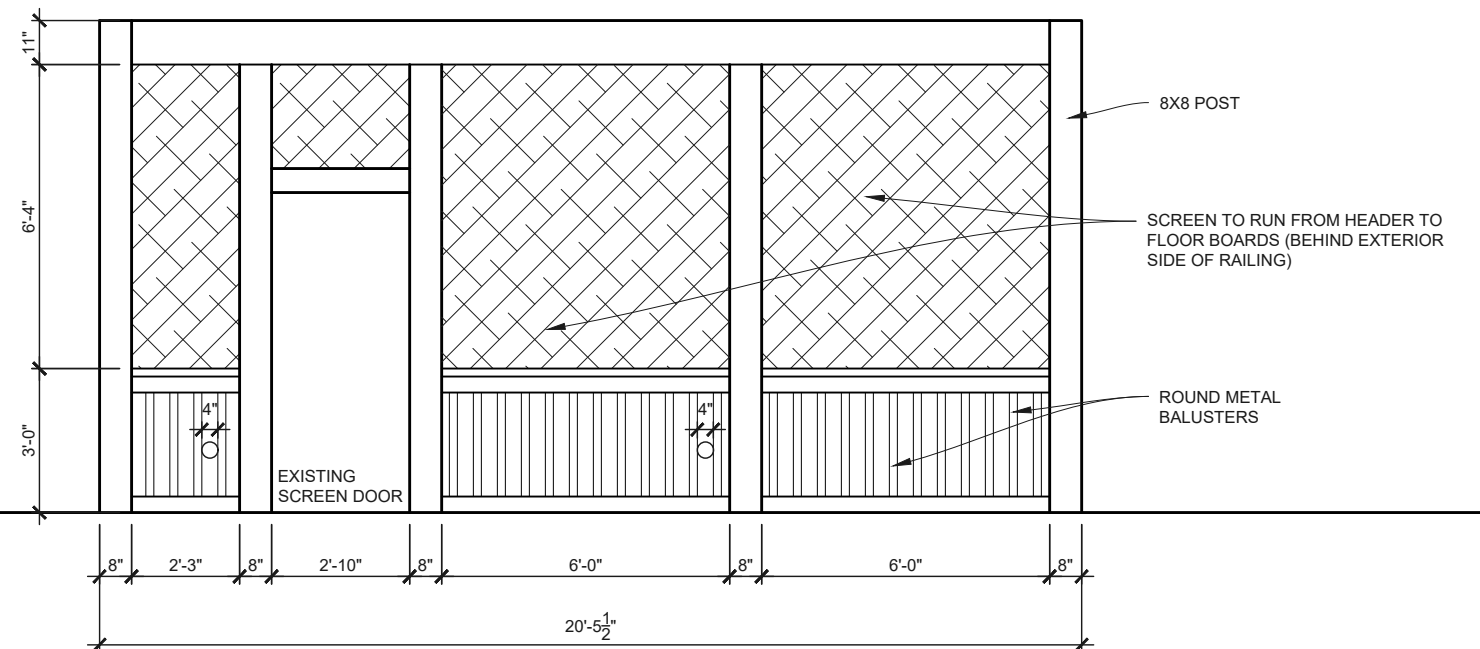
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PORCH ELEVATION

SCALE: 1/4"=1'-0"

1



PORCH ELEVATION

SCALE: 1/4"=1'-0"

2

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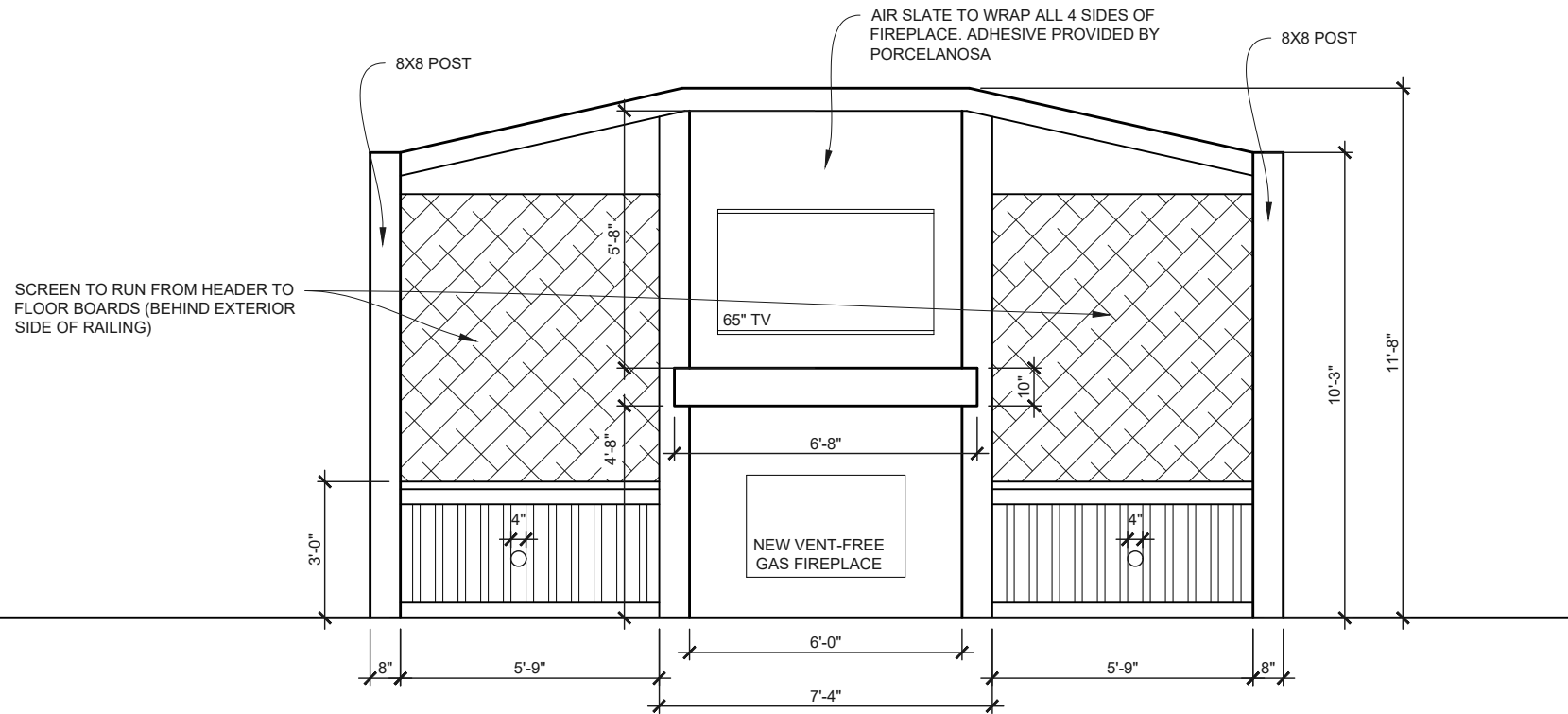
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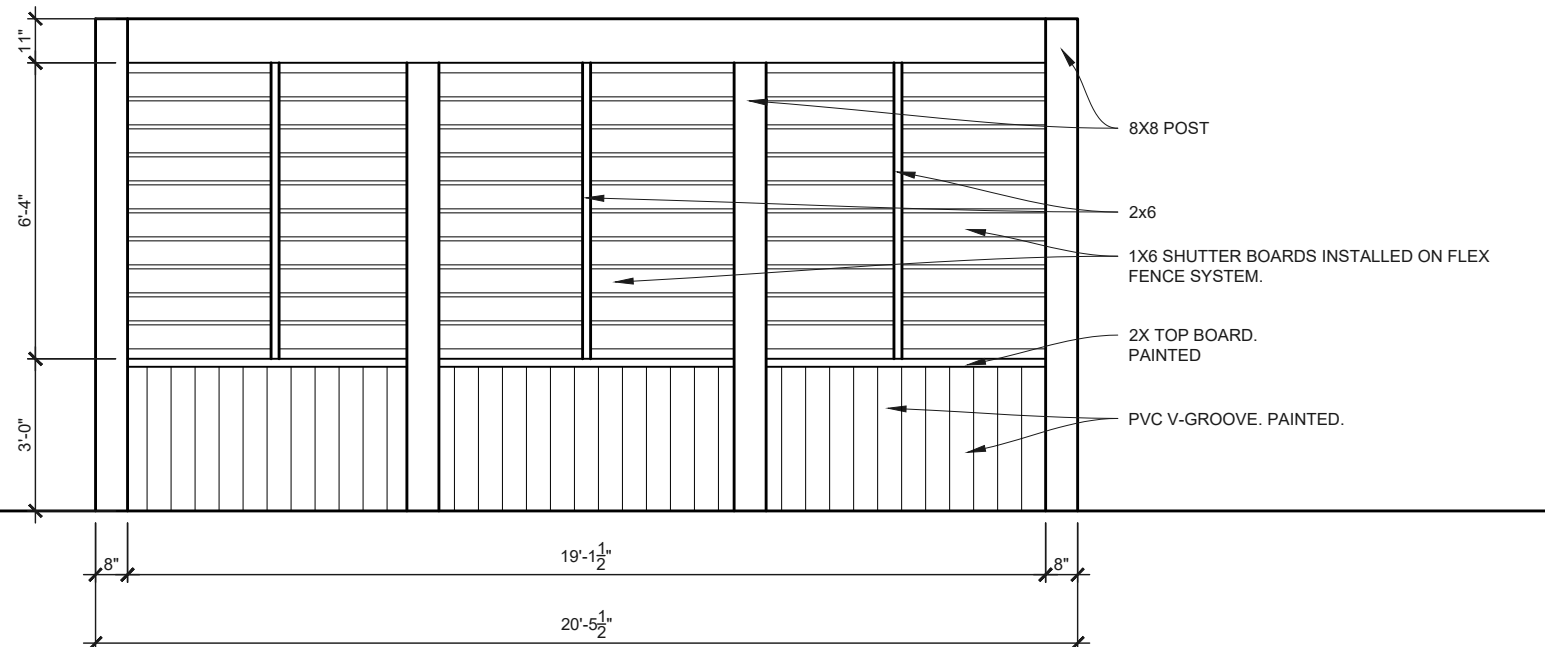


PORCH ELEVATION

SCALE: 1/4"=1'-0"

1

SCREEN TO RUN FROM HEADER TO FLOOR BOARDS (BEHIND EXTERIOR SIDE OF RAILING) ALONG FULL EXTERIOR OF PORCH



PORCH ELEVATION

SCALE: 1/4"=1'-0"

2

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FAISAL + MICHELLE MERCHANT

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ATLANTA, GA 30306

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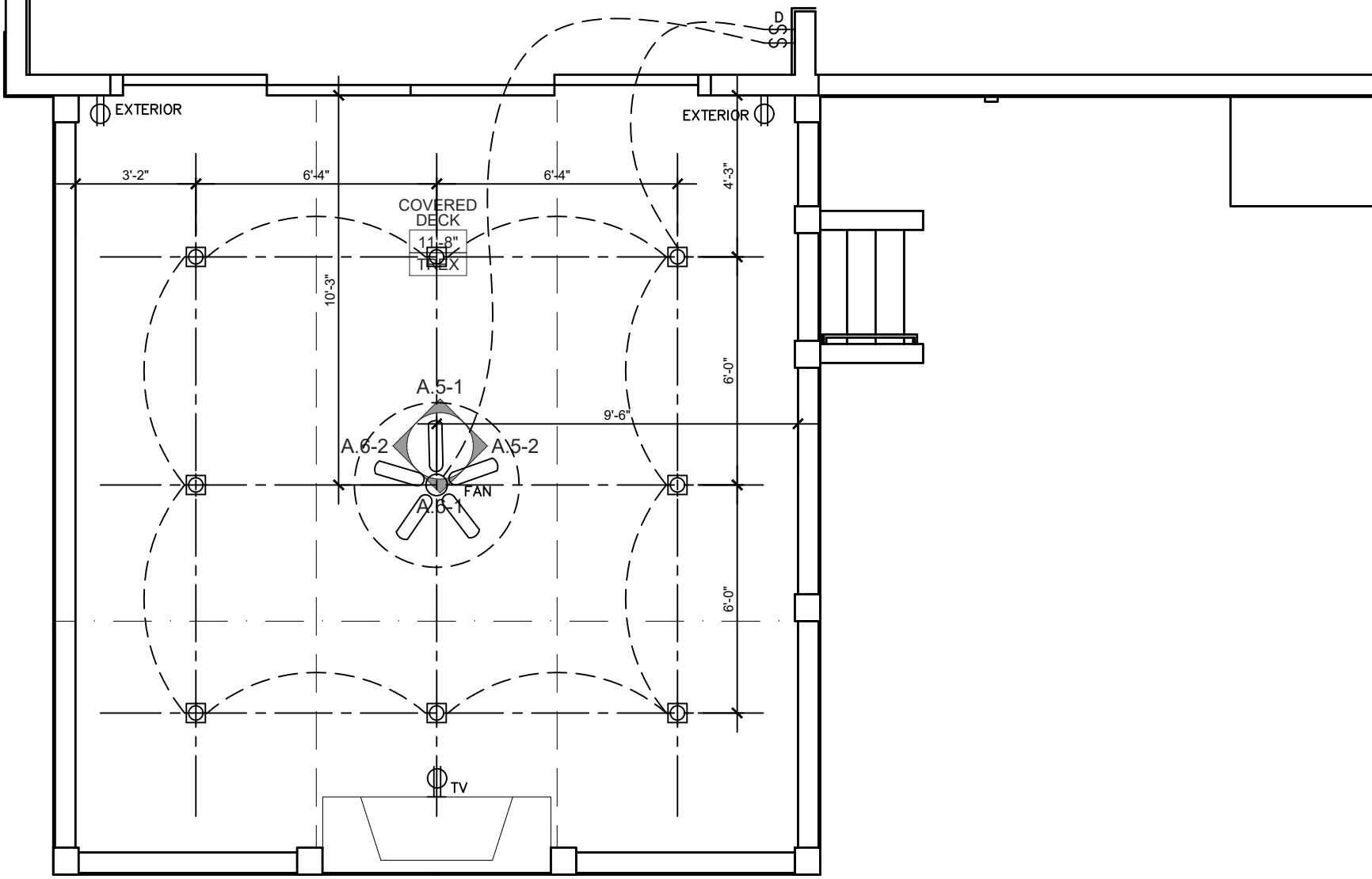
ISSUED FOR REVIEW

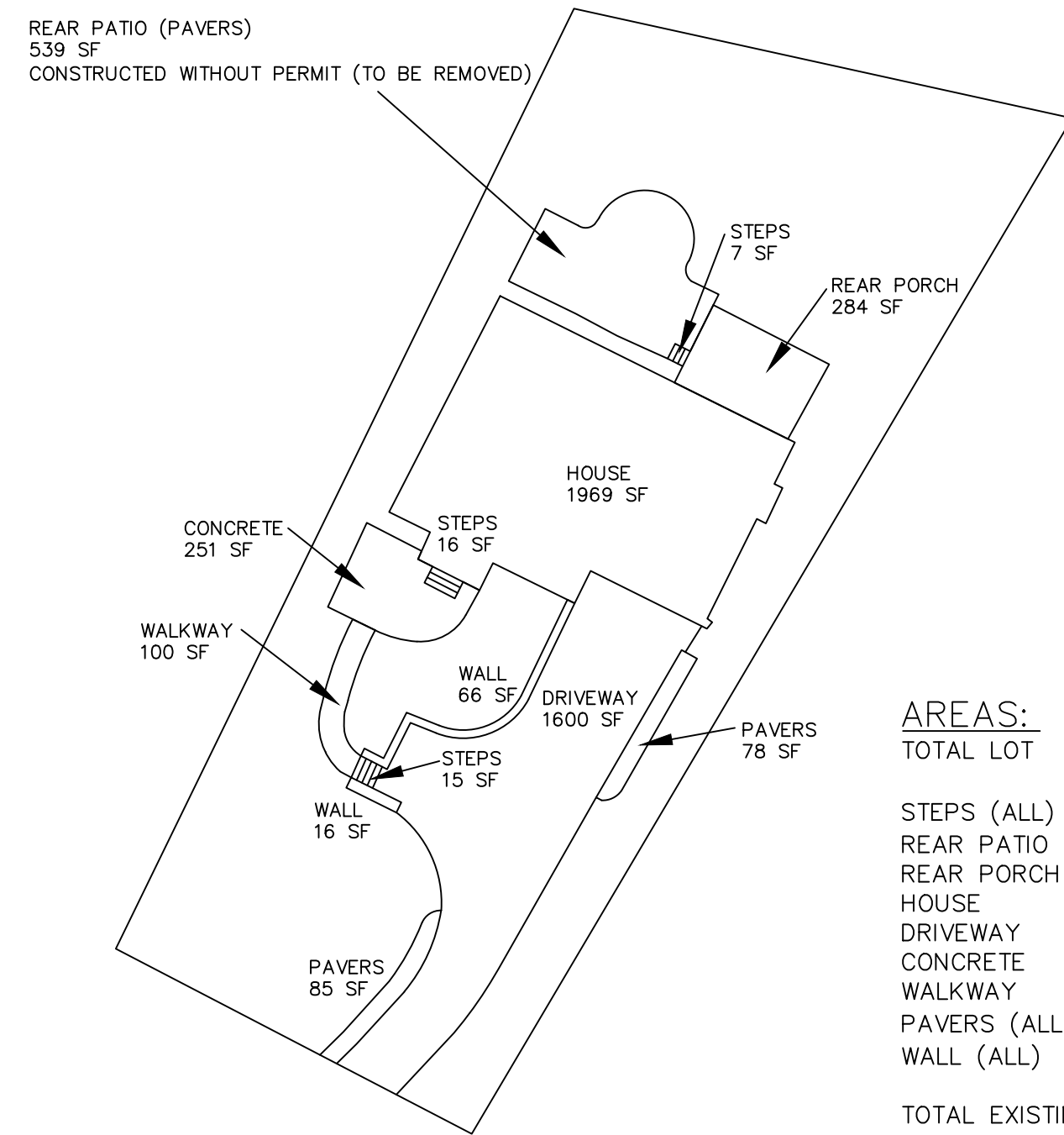
E.1

DECEMBER 17 2024

ELECTRICAL LEGEND	

ELECTRICAL GENERAL NOTES	
-	ALL EXISTING FIXTURES ARE TO REMAIN UNLESS NOTED OTHERWISE.
-	ALL EXISTING OUTLETS ARE TO REMAIN UNLESS NOTED OTHERWISE. UPDATE ANY AREAS IN NEED TO MEET LOCAL JURISDICTION AND STATE CODES.
-	ALL ELECTRICAL SYSTEMS SHOWN ARE FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
-	FOR ALL APPLIANCES, REFER TO APPLIANCE SPECIFICATIONS.
-	CHANGE ALL FIXTURES TO BE LED.





AREAS:

TOTAL LOT = 12764 SF

STEPS (ALL) = 38 SF

REAR PATIO = 539 SF (TO BE REMOVED)

REAR PORCH = 284 SF

HOUSE = 1969 SF

DRIVEWAY = 1600 SF

CONCRETE = 251 SF

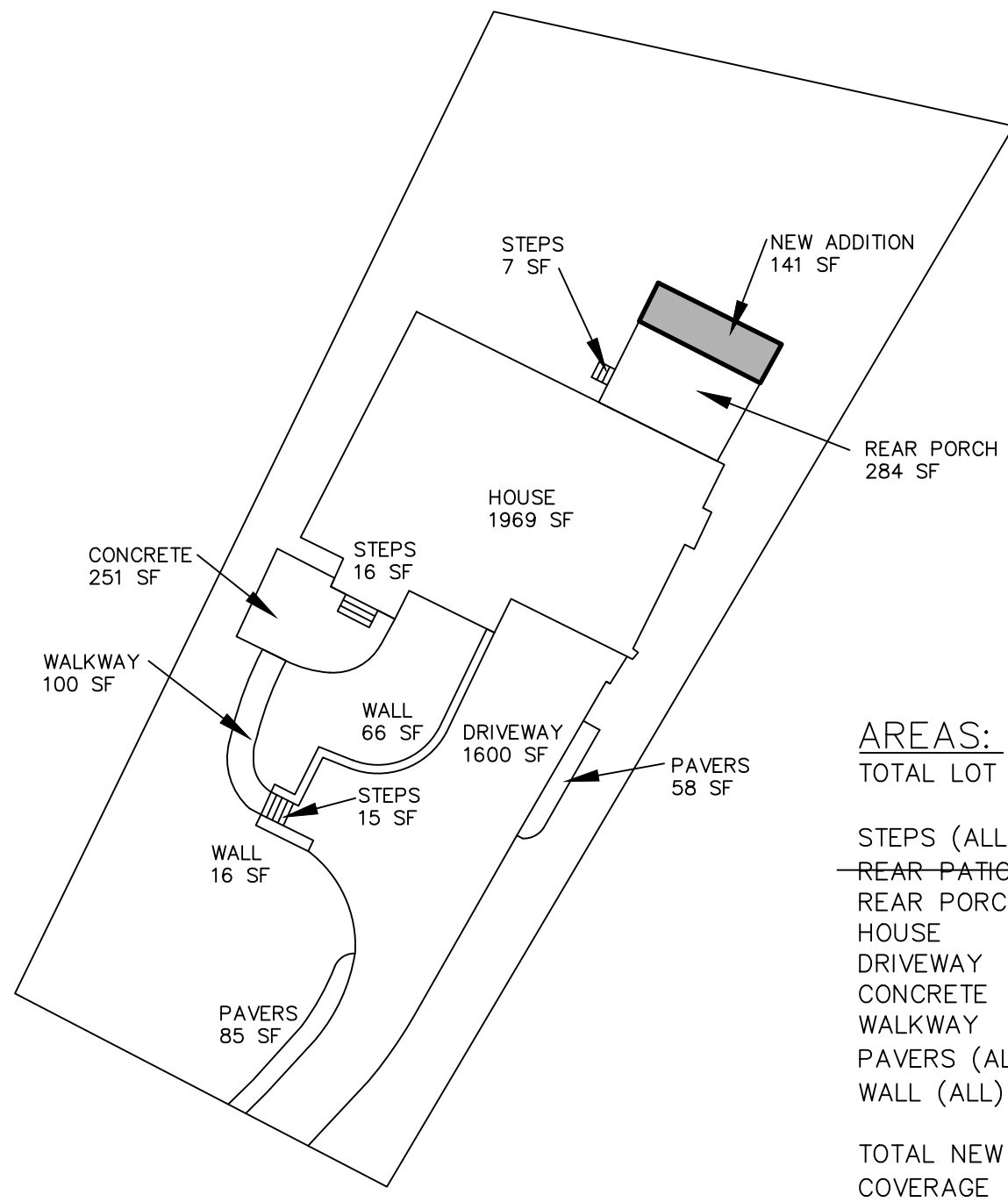
WALKWAY = 100 SF

PAVERS (ALL) = 163 SF (TO BE REMOVED)

WALL (ALL) = 82 SF

TOTAL EXISTING COVERAGE = 5,026 SF (39.5%)

EXISTING LOT COVERAGE NOT TO SCALE



AREAS:

TOTAL LOT = 12764 SF

STEPS (ALL) = 38 SF

REAR PATIO = 539 SF (REMOVED)

REAR PORCH = 284 SF

HOUSE = 1969 SF

DRIVEWAY = 1600 SF

CONCRETE = 251 SF

WALKWAY = 100 SF

PAVERS (ALL) = 143 SF (20 SF REMOVED)

WALL (ALL) = 82 SF

TOTAL NEW COVERAGE = 4,467 SF (34.9%)

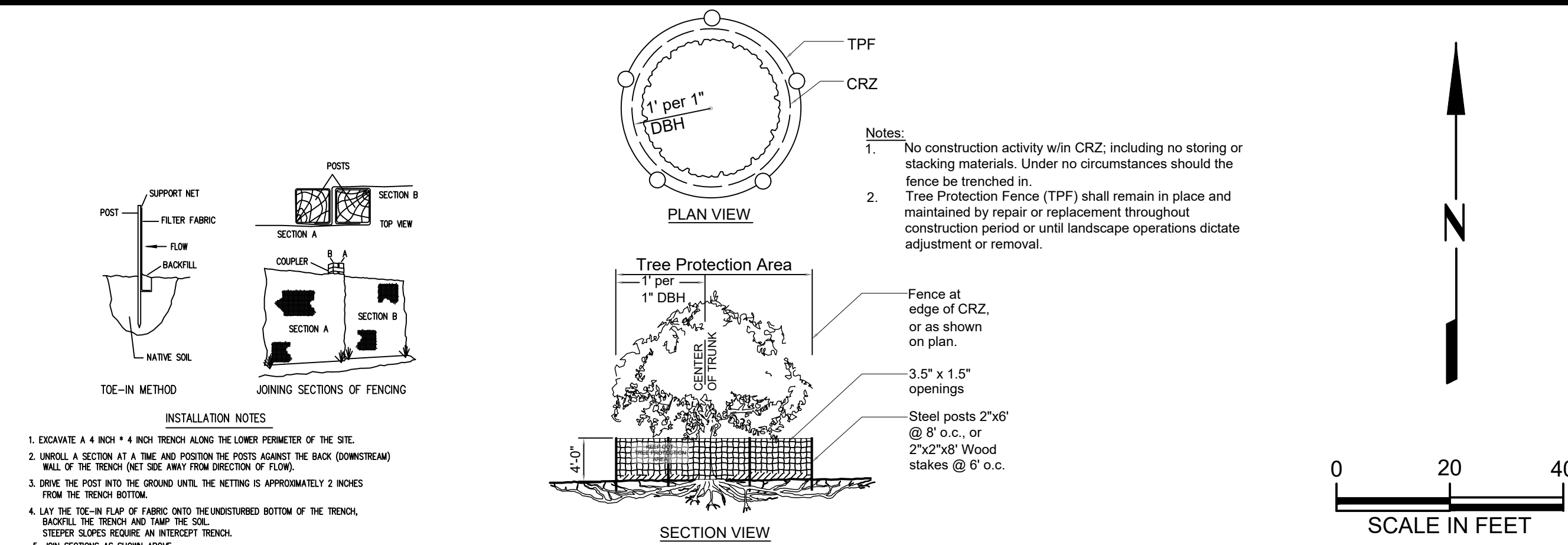
PROPOSED LOT COVERAGE NOT TO SCALE

ZONING SCHEDULE DEKALB COUNTY, GEORGIA

ZONE / USE : R-85 RESIDENTIAL MEDIUM LOT 85

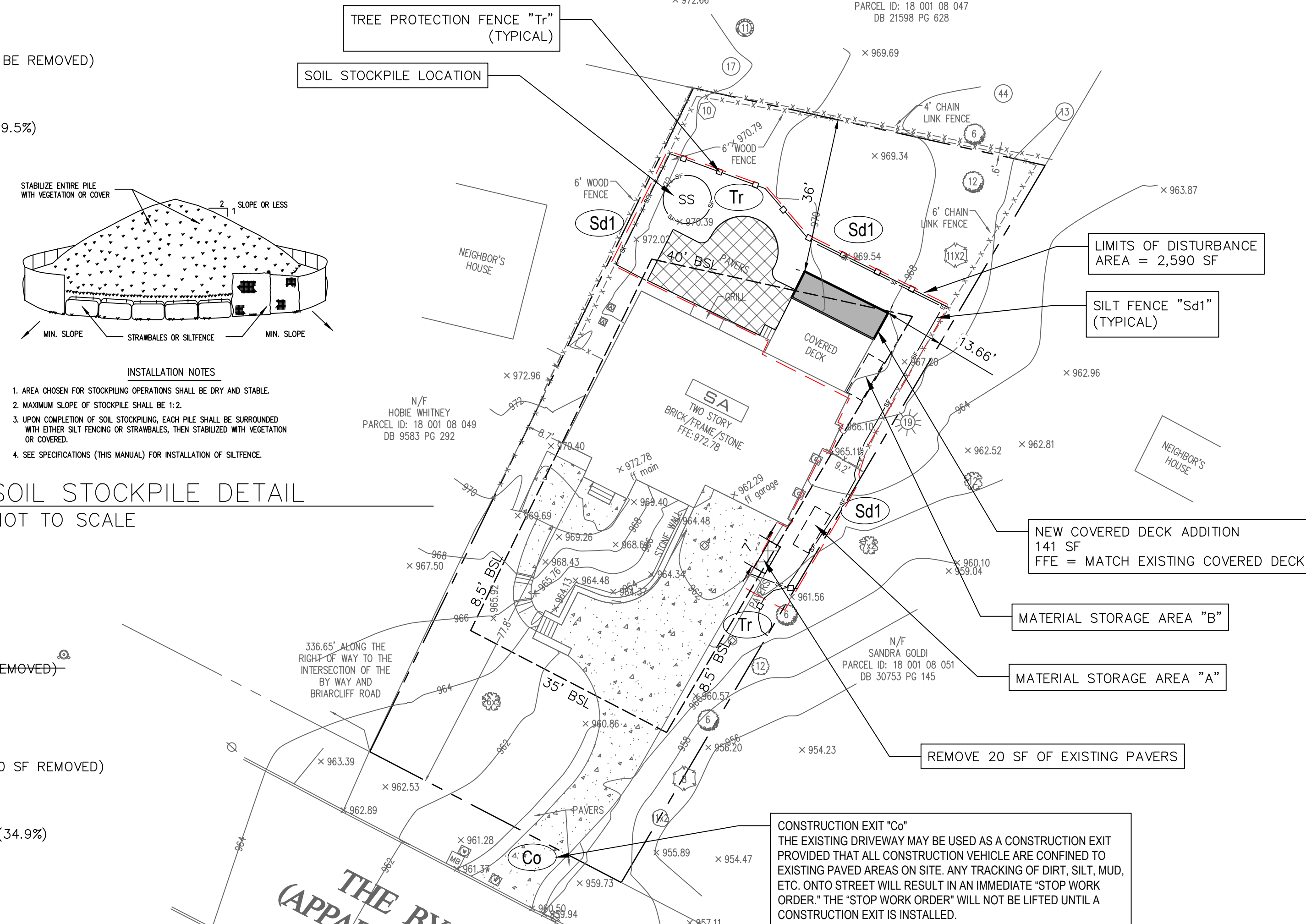
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (SQ. FT.)	12,000	12,764	12,764
MINIMUM LOT WIDTH (FEET) (AT BUILDING LINE)	85	70.69	70.69
MINIMUM FRONT YARD (FEET)	35	77.8	77.8
MINIMUM EACH SIDE YARD (FEET)	8.5	8.7, 9.2	8.7, 9.2
MINIMUM REAR YARD (FEET)	40	41.6	36*
MAXIMUM LOT COVERAGE (PERCENT)	35	39.5	34.9
MAXIMUM HEIGHT (FEET)	35	FRONT: 31.71 REAR: 22.1	FRONT: 31.71 REAR: 22.1

* VARIANCE FOR A REDUCTION IN REAR YEAR SETBACK APPROVED OCTOBER 6, 2024 PER APPLICATION NO. AV- [24-1247230]

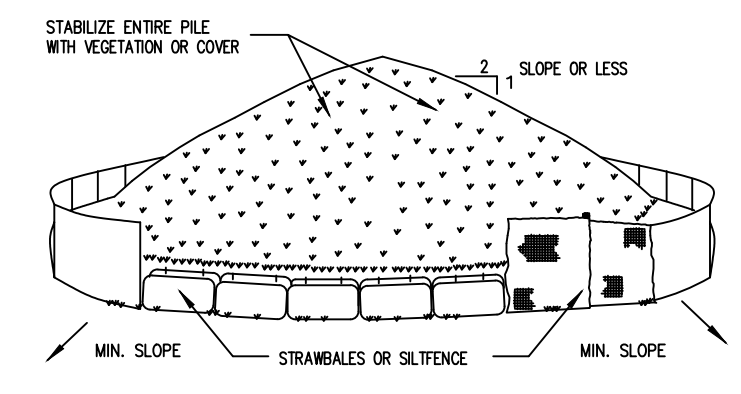


SILT FENCE DETAIL (Sd1) NOT TO SCALE

TREE PROTECTION FENCE DETAIL (Tr) NOT TO SCALE



SOIL STOCKPILE DETAIL NOT TO SCALE



INSTALLATION NOTES:

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAPBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SLITENCE.

LEGEND

<ul style="list-style-type: none"> PROPERTY CORNER FOUND (AS NOTED) 1/2" REBAR WITH CAP SET LSF# 839 R/W MONUMENT FIRE HYDRANT MANHOLE CLEAN OUT WATER METER WATER VALVE POWER POLE A/C UNIT GUY WIRE OVERHANG GAS METER NEW ADDITION REMOVALS SOIL STOCKPILE LOCATION 	<ul style="list-style-type: none"> C.B. CATCH BASIN CNT CANTILEVER TELEPHONE BOX SIGN WATER LINE OVERHEAD UTILITY LINE SEWER LINE GAS LINE CABLE LINE TELEPHONE LINE FENCE LINE CONTOUR LINE BUILDING SETBACK LINE CONC. CONCRETE HARDWOOD TREE PINE TREE MATERIAL STORAGE LOCATION CONSTRUCTION EXIT SILT FENCE (TYPE C) TREE PROTECTION FENCE LIMITS OF DISTURBANCE 	<ul style="list-style-type: none"> JUNCTION BOX OUTFLOW STRUCTURE DRAINAGE INLET CENTERLINE GAS VALVE CABLE BOX POWER METER POWER BOX WATER FLOW HANDICAP LAND LOT NOW OR FORMERLY N/W RIGHT-OF-WAY R/W PROPERTY LINE EOP EDGE OF PAVEMENT BFE BASEMENT FLOOR ELEVATION GFE GARAGE FLOOR ELEVATION FFE FINISHED FLOOR ELEVATION DB DEED BOOK PB PLAT BOOK PG PAGE POB POINT OF BEGINNING POC POINT OF COMMENCEMENT A.K.A. ALSO KNOWN AS F.K.A. FORMERLY KNOWN AS NAD NORTH AMERICAN DATUM NAV NORTH AMERICAN VERTICAL DATUM TW TOP OF WALL
--	--	--

TREE LEGEND
X=DIAMETER IN INCHES

- EXISTING TREE TO BE REMOVED
- HATCHING OVER TREE = LANDMARK TREE
- CREPE MYRTLE
- DOGWOOD
- HARDWOOD
- HICKORY
- MAGNOLIA
- MAPLE
- OAK
- BRADFORD PEAR
- BIRCH
- POPLAR
- SWEETGUM

OWNER: FAISAL M AND MICHELLE B MERCHANT
1182 THE BY WAY
ATLANTA, GA 30306

PARCEL: 1800108050

THE ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON NAVD88

PERMITTING AGENCIES	APPROVED	PERMIT NO.	EXPIRES
[AGENCY ISSUING PERMIT]	[DATE]	[PERMIT NUMBER]	[DATE]

IF ALL OF THE ABOVE INFORMATION HAS NOT BEEN PROVIDED, THIS SET OF DRAWINGS SHOULD BE USED AS A PERMIT SET ONLY, NOT FOR BID AND NOT FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOT LETTING ANY PERMIT EXPIRE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT CONDITIONS.

NOTES:

- IT IS A VIOLATION OF LAW FOR ANY PERSON TO ALTER THIS DOCUMENT IN ANY WAY WITHOUT THE EXPRESS WRITTEN VERIFICATION, CONSENT, AND SIGNATURE OF THE ENGINEER OF RECORD.
- ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER OF RECORD. SUCH CHANGES MUST BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THESE CIVIL ENGINEERING PLANS. NO EXCEPTIONS ARE ALLOWED DURING BIDDING OR CONSTRUCTION. SPECIFICATIONS AND REQUIREMENTS MAY EVOLVE DURING PERMITTING, AND THE CONTRACTOR SHALL MEET ALL UPDATED SPECIFICATIONS WITHOUT EXCEPTION.
- THE CONTRACTOR IS RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF ALL EMPLOYEES, SUBCONTRACTORS, AGENTS, AND OTHER PERSONS PERFORMING WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THEIR BEST SKILL AND ATTENTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AS WELL AS COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- SAFETY DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK MUST CONFORM TO APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS IN EFFECT DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR AND THEIR SUBCONTRACTORS SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS REQUIRED FOR THE WORK. ALL PARTIES MUST BE PROPERLY LICENSED AND PRESENT THE OWNER WITH COPIES OF LICENSES AND INSURANCE CERTIFICATES AS REQUIRED BY LOCAL, COUNTY, AND STATE AGENCIES.
- THE CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED ELEVATIONS, SEWER INVERT LOCATIONS, AND SLOPES. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO THE START OF CONSTRUCTION.
- ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHOWN IN THE PLANS MUST BE FIELD-VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY IF DISCREPANCIES ARE FOUND.
- THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF EXISTING UTILITIES AND UTILITY POLES AT THEIR OWN COST.
- PAVERS/ASPHALT SURFACE COURSE SHALL NOT BE PLACED UNTIL AS-BUILT DRAWINGS OF THE LIMEROCK BASE ARE SUBMITTED AND APPROVED BY THE ENGINEER OF RECORD. THE CITY ENGINEER OR THEIR DESIGNEE MUST INSPECT THE CONCRETE FORMS PRIOR TO PLACING CONCRETE.
- THE CONTRACTOR SHALL COORDINATE INSPECTIONS OF THE DRAINAGE SYSTEM PRIOR TO BACKFILLING AND OF ROUGH GRADING FOR ACCURACY PRIOR TO SODDING. INSPECTIONS WILL BE PERFORMED BY THE CONTRACTOR'S AUTHORIZED REPRESENTATIVE ON BEHALF OF THE ENGINEER OF RECORD.
- THE OWNER AND/OR CONTRACTOR SHALL SUBMIT A FINAL SURVEY TO THE CITY, WHICH INCLUDES SUFFICIENT TOPOGRAPHY TO VERIFY CONFORMANCE WITH THE DESIGN.
- ALL STORM DRAINAGE PIPES SHALL BE WATERTIGHT DOUBLE-WALLED HDPE PIPES, AS MANUFACTURED BY ADS OR AN ENGINEER-APPROVED EQUAL.
- ALL PVC PIPES SHALL BE A MINIMUM OF SCHEDULE 40.
- ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET ARE COMPLETE.
- THE TOLERANCE OF ALL FINISHED SURFACES FROM THE DESIGN ELEVATION, WHETHER PAVED OR UNPAVED, IS 0.04 FEET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER FLOW WITHOUT PONDING, REGARDLESS OF EXISTING AND PROPOSED GRADES.
- VEGETATION, MUCK, AND OTHER DELETERIOUS MATERIALS UNDER PROPOSED PAVEMENT, WALKWAYS, ETC., MUST BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL, FREE OF STUMPS, LARGE ROOTS, OR OTHER UNSUITABLE MATERIALS.
- FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE. THE TOP OF GRASS SHALL BE 1.5 INCHES LOWER NEXT TO ANY PAVED SURFACE TO ENSURE PROPER STORMWATER FLOW.
- SLOPES SHALL NOT EXCEED 4:1 (HORIZONTAL:VERTICAL).
- THE LOCATION, SIZE, AND MATERIAL OF EXISTING FACILITIES/UTILITIES AND TOPOGRAPHY HAVE BEEN RECORDED FROM THE MOST RELIABLE AVAILABLE INFORMATION. THE ENGINEER OF RECORD ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.
- PROTECTION FOR ADJOINING PUBLIC AND PRIVATE PROPERTY MUST BE PROVIDED DURING CONSTRUCTION, REMODELING, AND DEMOLITION ACTIVITIES. THIS INCLUDES CONTROLLING WATER RUNOFF AND EROSION. WRITTEN NOTICE MUST BE GIVEN TO THE OWNERS OF ADJOINING PROPERTIES AT LEAST 10 DAYS PRIOR TO THE COMMENCEMENT OF EXCAVATION WORK.
- REFERENCE FEMA FLOOD MAP 13123C0165D (PANEL DATE: 04/03/2012). FLOOD ZONE: X - AREA OF MINIMAL FLOOD HAZARD
- ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- THE PERIMETER OF EQUIPMENT SLABS SHALL BE BUILT OF CBS BLOCKS (OR SIMILAR CONSTRUCTION) AND MUST NOT IMPEDE THE CROSS-SECTIONS SHOWN NOR OBSTRUCT STORMWATER FLOW. THE TOP OF THE EQUIPMENT SLAB SHALL BE AT THE FFE ELEVATION. DESIGN OF THE EQUIPMENT SLAB IS BY OTHERS.
- ALL ELEVATIONS IN LANDSCAPED AREAS ARE TO BE MEASURED TO THE TOP OF SOD.
- ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED AT ALL TIMES UNTIL FINAL LANDSCAPING.
- "MATERIAL STORAGE AREA" AS NOTED ON THIS PLAN REFERS TO FABRICATED MATERIALS AND/OR HAND TOOLS. ABSOLUTELY NO SOIL, FILL OR EXCAVATED, TO BE STORED IN THESE AREAS UNLESS AREA IS RETROFITTED PER SOIL STOCKPILING DETAIL (THIS SHEET).

AUTHORIZED REPRESENTATIVE FOR INSPECTIONS: THE ENGINEER OF RECORD WILL NOT BE ON SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL DESIGNATE AN AUTHORIZED REPRESENTATIVE ON BEHALF OF THE ENGINEER OF RECORD TO ACT AS THE POINT OF CONTACT FOR INSPECTIONS AND COORDINATION. IT IS UNDERSTOOD THAT ANY INDIVIDUAL WHO FAILS TO ADHERE TO THESE NOTES OR NEGLECTS TO INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCIES ASSUMES FULL RESPONSIBILITY AND LIABILITY FOR ANY RESULTING ISSUES.

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS ARE INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF MICHAEL R. BANEY, P.E., WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT.

THESE DOCUMENTS, DETAILS, & SPECIFICATIONS SHALL NOT BE USED BY ANYONE ON ANY OTHER PROJECT OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING BY MICHAEL R. BANEY, P.E.

THIS PLAN MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM MICHAEL R. BANEY, P.E. © 2024 - MICHAEL R. BANEY, P.E.

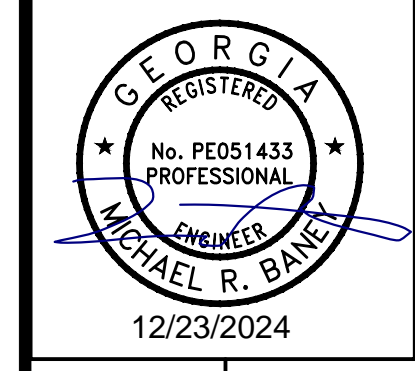
NO.	DATE	DESCRIPTION	REVISIONS

MERCHANT RESIDENCE
1182 THE BY WAY, ATLANTA, GA 30306

MICHAEL BANEY, P.E.
PHONE: 561-373-0847
BANEYCONSULTING@GMAIL.COM
284 MOTT ST, SUITE 2Q
NEW YORK, NY 10012

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHAEL BANEY ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



DESIGNED: MB	DATE: 12.17.2024
DRAWN: MB	PROJECT NO: 35710802-01
SHEET NO: C1	

October 6th, 2024

Chad Crawford
1350-A Progress Industrial Blvd,
Lawrenceville, Georgia, 30043

RE: 1182 The By Way NE, Stone Mountain, Georgia, 30083
Application AV- [24-1247230]
No:

Dear Joshua Gottlieb,

I am writing to officially notify you of the approval of your request for an Administrative Variance. This variance permits the reduction of the rear yard setback to construct a home addition. This decision aligns with Section 27-7.6.5 – Administrative Variances and Administrative Waivers.

Your application is noted for the reduction of the rear yard setback from 40' to 36' to construct a home addition onto the rear of the property with a 1' cantilever, by way of Sec 2.2.1. Strict adherence to the code would cause an undue hardship due to the irregular shape and topographical restrictions on the property. Consequently, your request has been granted, as documented in the provided site plan submitted on September 24th, 2024.

Pursuant to Section 7.6.6 of the Zoning Ordinance, which outlines procedures for applications for administrative variances and administrative waivers, a sign reflecting this approval shall be posted on the subject property within ten calendar days. Any individuals with concerns or objections have a period of thirty (30) calendar days from the date of this decision to appeal to the Zoning Board of Appeals. The official date of approval is October 5th, 2024, and the appeal period concludes on November 6th, 2024.

If you require further assistance or have any inquiries regarding this matter, please do not hesitate to contact the Department of Planning and Sustainability at 404-371-2155.

Yours sincerely,



Rachel Bragg
Zoning Administrator

TREE ORDINANCE EXEMPTION CERTIFICATION

Section 14-39(c)(1) as adopted 2-9-99 and amended 12-14-99

Building permit # TBD

Address 1182 The By Way NE, Atlanta GA 30306

Tax Parcel I.D. 1800108050

This Tree Ordinance Exemption Certification applies only to owners of single family residences making additions to existing homes or adding accessory structures, or constructing a new house for the owner's personal residence.

I, Faisal Merchant, the owner of the above property, hereby certify that the scope of construction as stated on this building permit will not require the removal of more than five (5) trees between the size of 8 inches in diameter at breast height (DBH) and 29 inches DBH.

I hereby certify that I have not removed more than five (5) trees between 8 inches DBH and 29 inches DBH in this calendar year. I fully understand that the removal of any trees pursuant to the above referenced building permit may require compliance with Section 14-39 of the Land Development Ordinance.

I fully understand that removal of any specimen overstory trees, 30" DBH and larger, or any specimen understory tree 10" DBH or greater is not permitted unless I have approval from the DeKalb County Arborist or the Zoning Board of Appeals. **Sec. 14-39(g) (8) f**

Faisal Merchant

Owner's signature

Dec 18, 2024

Date