

Public Hearing: YES NO

Department: Planning & Sustainability

SUBJECT:

COMMISSION DISTRICT(S): Commission District 03 Super District 06

Application of Hollingshead Materials, LLC c/o Brian Hercules to rezone properties from M (Light Industrial) and M-2 (Heavy Industrial) zoning districts with conditions to M-2 (Heavy Industrial) zoning district to allow for an asphalt plant (concrete, ready-mix facility), at 3298 and 3272 Fayetteville Road.

PETITION NO: N6-2024-1443 Z-25-1247293

PROPOSED USE: An asphalt plant (concrete, ready-mix facility).

LOCATION: 3298 & 3272 Fayetteville Road, Atlanta, Georgia 30316

PARCEL NO. : 15 080 05 002 & 15 080 05 013

INFO. CONTACT: John Reid, Sr. Planner

PHONE NUMBER: 404-371-2155

PURPOSE:

Application of Hollingshead Materials, LLC c/o Brian Hercules to rezone properties from M (Light Industrial) and M-2 (Heavy Industrial) zoning districts with conditions to M-2 (Heavy Industrial) zoning district to allow for an asphalt plant (concrete, ready-mix facility).

RECOMMENDATION:

COMMUNITY COUNCIL: Approval w/condition.

PLANNING COMMISSION: Pending.

PLANNING STAFF: Approval with Conditions.

STAFF ANALYSIS: The subject site consists of two properties zoned M (Light Industrial) and M-2 (Industrial) with zoning conditions limited to a vehicular storage yard. There is also a companion Special Land Use Permit (SLUP) application to allow an asphalt plant (Ready-mix plant) in the heavy industrial (M-2) zoning district. The proposed asphalt plant (Ready-mix plant) is consistent with the light and heavy industrial (M & M-2) zoning pattern in the surrounding area which is developed with industrial uses, truck storage yards, vacant land, and an asphalt plant (HEH Paving). The Comprehensive Plan designates this site and the surrounding industrial (M and M-2) zoned properties within a Light Industrial (LIND) Character Area designated by the 2050 Comprehensive Land Use Plan Map, and the proposed use is consistent with the following plan strategies: Protect existing and zoned industrial lands from unnecessary intrusion by conflicting land uses and minimize the re-zoning of light industrial properties to residential uses (2050 Comprehensive Plan, Light Industrial, page 281). The applicant has submitted a letter from an environmental engineering firm (Penta Tech) which indicates how any potential air, water, noise, odor, and dust will be mitigated so that there are no adverse impacts on adjacent or surrounding properties (See attached letter dated November 21st, 2024 from Penta Engineering Company) Based on the predominate industrial zoning pattern, the existing asphalt plant across Fleetwood Drive (HEH Paving), and the Comprehensive Plan's LIND Character area calling for future industrial uses in the surrounding area, it appears that the proposed asphalt plant (Ready-mix plant) with recommended conditions would be suitable for the subject property (Section 27-873 (B)). Therefore, it is the recommendation of the Planning and Sustainability Department that this application be, "*Approved with the attached conditions*".

PLANNING COMMISSION VOTE: (January 7, 2025) Pending.

COMMUNITY COUNCIL VOTE/RECOMMENDATION: Approval w/condition (6-2-0) that vehicle storage be restricted from the property.

Z-25-1247293 (2024-1443)
Recommended Conditions
3298 & 3273 Fayetteville Road
Atlanta, Georgia 30316

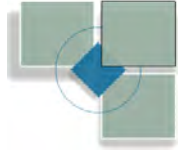
1. Use shall be restricted to an asphalt plant (Ready-mix plant) and all structures shall comply with the maximum building height requirements. Proposed structures shall be at least 70 feet from all property lines. Any changes which expand or move the plant closer than 70 feet from exterior property lines shall require a new Special Land Use Permit (SLUP) to be approved by the Board of Commissioners.
2. Proof of issuance of an air quality permit from the Environmental Protection Division of the Georgia Department of Natural Resources shall be required prior to the issuance of any building permits or land development permits.
3. That asphalt plant (Ready-mix plan) must use baghouse technology.
4. Applicant must file a Notice of Intent for coverage under the Georgia National Pollutant Discharge Elimination System (NPDES) for Industrial Activity Permit with the Georgia Environment Protection Division of the Georgia Department of Natural Resources and maintain compliance with NPDES requirements.
5. Compliance with Chapter 14 (Environmental) of the DeKalb County Code, including but not limited to Section 14-40 (Storm Water Management) and Section 14-42 (Storm Water Quality Control) of the DeKalb County Code of Ordinances as approved by the Storm water Management Division of Public Works and the Land Development Division of the Planning and Sustainability Department. A detailed hydrology study is required as part of the land disturbance permit application for a storm water mitigation plan for the area of development. Approval of a Storm Water Pollution Prevention Plan (SWPPP) by the Department of Public Works is required to address any potential water quality impacts from the asphalt plant and outdoor storage areas prior to the issuance of any land development permits.
6. A dust management plan shall be submitted and approved by the Department of Planning and Sustainability prior to the issuance of any certificates of occupancy. Compliance with the dust management plan and other appropriate measures to minimize fugitive dust beyond the boundaries of the site shall be required. Conveyor belts must be covered. Outdoor storage areas shall be confined within a three-sided concrete bin. Vehicles delivering materials to and from the site shall be covered to minimize any dust impacts onto adjacent properties and the surrounding area.
7. Any fueling of trucks associated with the asphalt plant shall only occur on dedicated concrete pads with a dedicate collection system to contain any residual oils or liquids.
8. Compliance with the DeKalb County Noise Ordinance shall be maintained. Hours of operation for the asphalt plant shall be limited to 7:00 am to 5:00 p.m. on weekdays and 7:00 a.m. to 5:00 p.m. on Saturdays on an emergency as-needed basis. The asphalt plant (Ready-mix plant) shall be closed on Sundays.

9. Provide compliance with the DeKalb County Transportation Department inter-governmental comments including but not limited to right-of-way and easement dedication, sidewalks, streetscaping along Fayetteville Road and Fleetwood and Fleetwood Drive.
10. Approval from the DeKalb County Fire Marshall regarding fire safety plans shall be required prior to the issuance of any building permits or land disturbance permits. Outdoor storage areas must have a dedicated all weather access drive around the piles for fire equipment access for fire safety.
11. Any outdoor lighting shall be designed so that no direct light is cast upon or adversely affects adjacent properties and roadways.
12. An eight-foot-high fence and a 50-foot-wide buffer with existing and new trees along Fayetteville Road, Fleetwood Drive, and the southeastern property line is required. Existing trees within the buffer shall be preserved and supplemented with the planting of new trees and an eight (8) foot tall fence to provide an effective visual screen as approved by the County Arborist. For buffer areas requiring new trees to supplement the existing mature vegetation, the planting of evergreen trees with a minimum height of six feet at planting shall be required or an appropriate alternative as approved by the County Arborist. Detention areas are not allowed within the required buffer areas.
13. Primary identification ground signs shall be limited to monument style signs with a base and framework made of brick or stone.
14. Applicant agrees to provide surrounding property owners with the name and telephone number of a contact person which may be called twenty-four (24) hours a day, seven (7) days a week during the period of construction of the improvements proposed within this SLUP and operation to address any construction and operational issues. This information shall be permanently posted on the site.
15. If any spill occurs on-site that requires notification of the Georgia EPD, the owner/operator is required to notify the County Planning Department and the Parks Department.
16. All quarterly monitoring of storm water outfalls required by the Georgia EPD shall be conducted by qualified independent third-party engineers. Any and all water quality reports sent to the EPD shall also be sent to the Parks Department. If the Parks Department has evidence that a chemical spill has significantly contaminated nearby streams or Constitution Lakes, the SLUP shall be immediately revoked.
17. If the owner/operator is found in violation of their EPD air quality permit, the owner/operator must immediately reapply for a SLUP.



DeKalb County Department of Planning & Sustainability

178 Sams Street
 Decatur, GA 30030
 (404) 371-2155 / plansustain@dekalbcountyga.gov



Planning Commission Hearing Date: January 7, 2025
Board of Commissioners Hearing Date: January 23, 2025

STAFF ANALYSIS

Case No.:	Z-25-1247293	File ID#: 2024-1443
Location/Address:	3298 & 3273 Fayetteville Road, Atlanta, Georgia.	Commission District: 3 Super District: 6
Parcel ID:	15-080-05-002 & 15-080-05-013	
Request:	For a rezoning from M (Light Industrial) and M-2 (Industrial) with conditions to M-2 (Industrial) to allow an asphalt plant (Ready-mix plant).	
Property Owner:	Esan Razavi	
Applicant/Agent:	Hollingshead Materials, LLC c/o Brian Hercules	
Acreage:	3.54 acres	
Existing Land Use:	Vacant land, truck storage yards	
Surrounding Properties:	Vacant land, an asphalt plant (HEH Paving), truck storage yards, and warehousing/storage land uses	
Adjacent Zoning:	North: M-2 South: M East: M West: M	
Comprehensive Plan	LIND (Light Industrial)	X Consistent Inconsistent
Proposed Density:	NA	Existing Density: NA
Proposed Units/Square Ft.:	Asphalt Plant (Ready-mix plant)	Existing Units/Square Feet: Vacant land and vehicle storage

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

The subject site consists of two properties zoned M (Light Industrial) and M-2 (Industrial) with zoning conditions limited to a vehicular storage yard. There is also a companion Special Land Use Permit (SLUP) application to allow an asphalt plant (Ready-mix plant) in the heavy industrial (M-2) zoning district. The proposed asphalt plant (Ready-mix plant) is consistent with the light and heavy industrial (M & M-2) zoning pattern in the surrounding area which is developed with industrial uses, truck storage yards, vacant land, and an asphalt plant (HEH Paving).

The Comprehensive Plan designates this site and the surrounding industrial (M and M-2) zoned properties within a Light Industrial (LIND) Character Area designated by the 2050 Comprehensive Land Use Plan Map, and the proposed use is consistent with the following plan strategies: Protect existing and zoned industrial lands from unnecessary intrusion by conflicting land uses and minimize the re-zoning of light industrial properties to residential uses (2050 Comprehensive Plan, Light Industrial, page 281). The applicant has submitted a letter from an environmental engineering firm (Penta Tech) which indicates how any potential air, water, noise, odor, and dust will be mitigated so that there are no adverse impacts on adjacent or surrounding properties (See attached letter dated November 21st, 2024 from Penta Engineering Company) which is summarized as follows:

Air and Dust

The applicant will be required to obtain and maintain compliance with a Georgia Air Quality Permit from the Georgia Environmental Protection Department (EPD) which is a proposed condition by Staff. In addition to the requirements of the air quality permit, Staff is recommending a condition which requires a dust management plan, confinement of outside storage areas within three-sided concrete bins, all conveyor belts and delivery trucks to be covered after loading and during transport, and an eight foot high fence and a 50-foot wide buffer with existing and new trees along Fayetteville Road, Fleetwood Drive, and the southeastern property line.

Water

Regarding water quality, the Georgia EPD requires that the applicant must file a Notice of Intent for coverage under the Georgia National Pollutant Discharge Elimination System (NPDES) for Industrial Activity Permit with the Georgia Environment Protection Division of the Georgia Department of Natural Resources and maintain compliance with NPDES requirements. Staff is also recommending as a condition of approval a detailed hydrology study and approval of a Storm Water Pollution Prevention Plan (SWPPP) by the Department of Public Works to address any potential water quality impacts from the asphalt plan and outdoor storage areas prior to the issuance of any land development permits.

Odor

The ready-mix plant does not produce any odors or fumes during mixing or the reaction process of curing. Ready-mix uses roughly 1 part cement, 2 parts sands, and 3 parts aggregate stone.

Noise

Hours of operation are standard business hours between 7:00 a.m. and 5:00 p.m. Monday – Friday, and on Saturdays on an as needed emergency basis between 7:00 a.m. and 5:00 p.m., with no operations allowed on Sunday. Additionally, the facility will have to comply with the DeKalb County Noise Ordinance. Staff is also recommending a condition of approval a 50-foot-wide buffer with existing and new trees along Fayetteville Road, Fleetwood Drive, and the southeastern property line.

Based on the predominate industrial zoning pattern, the existing asphalt plant across Fleetwood Drive (HEH Paving), and the Comprehensive Plan’s LIND Character area calling for future industrial uses in the surrounding area, it appears that the proposed asphalt plant (Ready-mix plant) with recommended conditions would be suitable for the subject property (Section 27-873 (B)). Therefore, it is the recommendation of the Planning and Sustainability Department that this application be, ***"Approved with the following conditions"***:

1. Use shall be restricted to an asphalt plant (Ready-mix plant) and all structures shall comply with the maximum building height requirements. Proposed structures shall be at least 70 feet from all property lines. Any changes which expand or move the plant closer than 70 feet from exterior property lines shall require a new Special Land Use Permit (SLUP) to be approved by the Board of Commissioners.
2. Proof of issuance of an air quality permit from the Environmental Protection Division of the Georgia Department of Natural Resources shall be required prior to the issuance of any building permits or land development permits.
3. That asphalt plant (Ready-mix plan) must use baghouse technology.
4. Applicant must file a Notice of Intent for coverage under the Georgia National Pollutant Discharge Elimination System (NPDES) for Industrial Activity Permit with the Georgia Environment Protection Division of the Georgia Department of Natural Resources and maintain compliance with NPDES requirements.
5. Compliance with Chapter 14 (Environmental) of the DeKalb County Code, including but not limited to Section 14-40 (Storm Water Management) and Section 14-42 (Storm Water Quality Control) of the DeKalb County Code of Ordinances as approved by the Storm water Management Division of Public Works and the Land Development Division of the Planning and Sustainability Department. A detailed hydrology study is required as part of the land disturbance permit application for a storm water mitigation plan for the area of development. Approval of a Storm Water Pollution Prevention Plan (SWPPP) by the Department of Public Works is required to address any potential water quality impacts from the asphalt plant and outdoor storage areas prior to the issuance of any land development permits.
6. A dust management plan shall be submitted and approved by the Department of Planning and Sustainability prior to the issuance of any certificates of occupancy. Compliance with the dust management plan and other appropriate measures to minimize fugitive dust beyond the boundaries of the site shall be required. Conveyor belts must be covered. Outdoor storage areas shall be confined within a three-sided concrete bin. Vehicles delivering materials to and from the site shall be covered to minimize any dust impacts onto adjacent properties and the surrounding area.
7. Any fueling of trucks associated with the asphalt plant shall only occur on dedicated concrete pads with a dedicate collection system to contain any residual oils or liquids.
8. Compliance with the DeKalb County Noise Ordinance shall be maintained. Hours of operation for the asphalt plant shall be limited to 7:00 am to 5:00 p.m. on weekdays and 7:00 a.m. to 5:00 p.m. on Saturdays on an emergency as-needed basis. The asphalt plant (Ready-mix plant) shall be closed on Sundays.
9. Provide compliance with the DeKalb County Transportation Department inter-governmental comments including but not limited to right-of-way and easement dedication, sidewalks, streetscaping along Fayetteville Road and Fleetwood and Fleetwood Drive.
10. Approval from the DeKalb County Fire Marshall regarding fire safety plans shall be required prior to the issuance of any building permits or land disturbance permits. Outdoor storage areas must have a dedicated all weather access drive around the piles for fire equipment access for fire safety.

11. Any outdoor lighting shall be designed so that no direct light is cast upon or adversely affects adjacent properties and roadways.
12. An eight-foot-high fence and a 50-foot-wide buffer with existing and new trees along Fayetteville Road, Fleetwood Drive, and the southeastern property line is required. Existing trees within the buffer shall be preserved and supplemented with the planting of new trees and an eight (8) foot tall fence to provide an effective visual screen as approved by the County Arborist. For buffer areas requiring new trees to supplement the existing mature vegetation, the planting of evergreen trees with a minimum height of six feet at planting shall be required or an appropriate alternative as approved by the County Arborist. Detention areas are not allowed within the required buffer areas.
13. Primary identification ground signs shall be limited to monument style signs with a base and framework made of brick or stone.
14. Applicant agrees to provide surrounding property owners with the name and telephone number of a contact person which may be called twenty-four (24) hours a day, seven (7) days a week during the period of construction of the improvements proposed within this SLUP and operation to address any construction and operational issues. This information shall be permanently posted on the site.
15. If any spill occurs on-site that requires notification of the Georgia EPD, the owner/operator is required to notify the County Planning Department and the Parks Department.
16. All quarterly monitoring of storm water outfalls required by the Georgia EPD shall be conducted by qualified independent third-party engineers. Any and all water quality reports sent to the EPD shall also be sent to the Parks Department. If the Parks Department has evidence that a chemical spill has significantly contaminated nearby streams or Constitution Lakes, the SLUP shall be immediately revoked.
17. If the owner/operator is found in violation of their EPD air quality permit, the owner/operator must immediately reapply for a SLUP.



10123 Corporate Square Dr.
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November 21, 2024

DeKalb County Planning and Sustainability
Department c/o Mr. John Reid
330 West Ponce de Leon Avenue
Suite 500
Decatur, Georgia 30030

**RE: Special Use Permit Application
SRM Ready-mix Plant at 3272
Fayetteville Road SE, Atlanta, GA
30316**

Dear Mr. Reid:

On behalf of Smyrna Ready Mix Concrete, LLC (SRM), PENTA Engineering Co. LLC (PENTA) respectfully submits this explanation of environmental impact for the above-referenced proposed SRM plant to be constructed in Atlanta, Georgia. A Special Land Use Permit (SLUP) in the M (Light Industrial) District and M2 to allow a ready-mix plant. The property is located on the south side of Fayetteville Road SE and the east side of Fleetwood Drive SE in Atlanta, Georgia. The property has approximately 100 feet of frontage along Fleetwood Drive, 266 feet of frontage along Fayetteville Road and contains 3.688 acres.

Regarding the proposed ready-mix plants to be constructed in DeKalb County, the following facts, requirements, and permitting limitations should be understood when considering environmental impacts associated with ready-mix plants.

Air and Dust

- The Georgia Environmental Protection Division Air Protection Branch has developed a Generic Plant Air Permit Application to allow for a streamlined and efficient regulatory process.
- SRM intends to emit below the limitations of the permit by using quality equipment, maintaining the equipment, and operating efficiently.
- The air permit for the ready-mix plant will be an individual permit specifically addressing emissions at the individual plant, but the generic permit creates a streamlined process with standard limitations. It will be accountable as an individual plant and must report to the state as an individual facility.
- The Generic Permit's production limitation of 600,000 tons takes into consideration all fugitive emissions associated with the loading/unloading/transporting of ready-mix, outside storage of aggregate, and any fugitive emissions associated with movement and/or conveyance of product throughout the facility.
- The generic permit also addresses dust suppression in and around the plant. Dust will be suppressed via water trucks and misting applications throughout the facility.

- SRM will have a dust management plan, confining outside storage areas within three-sided concrete bins, all conveyor belts and delivery trucks to be covered after loading and during transport, and an eight-foot-high fence and a 50-foot wide buffer with existing and new trees along Fayetteville Road, Fleetwood Drive, and the southeastern property line which are adjacent neighbors.
- SRM will be using the latest technology from Stephen's batch plant equipment for batching. Equipment has dust collection and wind barriers to remove airborne dust. The plant will also have a truck wash down system for cleaning vehicles before exiting the site, thereby eliminating dust and debris from roadways.

Storm Water

- An Industrial Storm Water Permit will be required for the ready-mix plant. It requires the development of a Storm Water Pollution Prevention Plan (SWPPP) to minimize/eliminate the possibility of surface water impact by any constituents used at the plant.
- All storm water outfalls will be visually inspected quarterly and may require laboratory analysis.
- The Storm Water permit considers any nearby receiving streams or other bodies of water in determining the possible constituents for quarterly, semi-annual or annual laboratory analysis.
- Nearby streams or stream segments with known impact may lead to increased sampling requirements and laboratory analyses for the ready-mix plant.
- Annual reporting for the Georgia EPD is required under the storm water permit.
- The plant will be equipped with a washdown sediment trapping system. Consisting of multiple bays that collect site drainage and settle particulates. This water will be recycled for misting system use with controlling dust. Excess water in large storm events will outfall to storm drainage paths to site storm detention; in large storm events, the detention will outfall to the community storm system, creek. As per above, the system will meet all standards set by Georgia EPD.

Spill Prevention

- A Spill Prevention Control and Countermeasure Plan (SPCC) will be developed for any fuel storage greater than 1320 gallons to ensure no possible fuel release to nearby surface water bodies.
- For general spill concerns, the site will keep and maintain a spill station control universal kit. The spill kit will be available for any general spill or truck related spill events.
- Site will maintain a MSD on all chemicals at the site to best address countermeasures for how to manage and cleanup spills so they do not get released into the environment.

Odor

- The ready-mix plant does not produce any odors or fumes during mixing or the reaction process of curing. Ready-mix uses roughly 1 part cement, 2 parts sand and 3 parts aggregate stone.

Noise

- SRM will comply with the DeKalb County Noise Ordinance and will maintain hours of operation to 7:00 am to 5:00 p.m. on weekdays and from 7:00 a.m. to 5:00 p.m. on Saturdays on an emergency as-needed basis. The ready-mix plant shall be closed on Sundays.
- SRM will include a 50-foot-wide buffer with a combination of existing and new trees and an eight-foot-high fence to further reduce any potential noise impacts.

If you have any questions or require further clarification about the permitting process or potential environmental impacts, please contact me at 314-824-3950.

Sincerely,

A handwritten signature in black ink, appearing to read 'Christian Benavides', with a stylized flourish at the end.

Christian Benavides
Senior Project Manager

Christian.Benavides@penta.net

ZONING COMMENTS – DECEMBER 2024

N1. SLUP-25-1247288 - 3195 Kelly Chapel Road- No Comments

N2. SLUP-25-1247279 - 3110 E Ponce De Leon Ave. - E Ponce de Leon is classified as a minor arterial. Aldridge Ave is classified as local street. Property is within the Scottdale Overlay District Tier 1. Please ask assigned planner for the infrastructure requirements within the overlay district. Where overlay is silent- the Zoning Code and Land Development Codes are applied. If a Land Development Permit is required for this project- please refer to the requirements in Zoning Code 5.4.3 and Land Development Code 14-190. E Ponce de Leon is classified as a minor arterial. Requires a right of way dedication of 40 feet from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires a 10-foot landscape strip (at least 5 feet must be from back of curb to the sidewalk/path) with 6-foot sidewalk with 4-foot bike lanes OR (preferred) 10-foot multiuse path in lieu of sidewalk and bike lane. Street Lighting required. (hefowler@dekalbcountyga.gov) Aldridge Ave is classified as local street. Requires a right of way dedication to 27.5 from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires a 12-foot lane with curb and gutter. Requires a 6-foot landscape strip with a 5-foot sidewalk. Requires pedestrian scale streetlights. (hefowler@dekalbcountyga.gov). No poles may remain within the limits of the path/sidewalk. Verify all intersections/driveways meet AASHTO sight distance requirements.

N3. SLUP-25-1247277 - 5644 Memorial Drive - If a LDP is requested, GDOT review and approval is required prior to permitting. Memorial Drive is classified as a major arterial. If a Land Development Permit is required for this project- please refer to the requirements in Zoning Code 5.4.3 and Land Development Code 14-190. Memorial Drive is classified as a major arterial. Requires a right of way dedication of 50 feet from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires a 10-foot landscape strip and a 10-foot multiuse path in lieu of sidewalk and bike lane. Street Lighting required. (hefowler@dekalbcountyga.gov) No poles may remain within the limits of the path/sidewalk. Verify all intersections/driveways meet AASHTO sight distance requirements.

N4. SLUP-25-1247206 - 5099 Memorial Drive - No comments. If a LDP is requested, GDOT review and approval is required prior to permitting. Memorial Drive is classified as a major arterial. Doyal Mills Court is classified as a local road. If a Land Development Permit is required for this project- please refer to the requirements in Zoning Code 5.4.3 and Land Development Code 14-190. Memorial Drive is classified as a major arterial. Requires a right of way dedication of 50 feet from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires a 10-foot landscape strip and a 10-foot multiuse path in lieu of sidewalk and bike lane. Street Lighting required. (hefowler@dekalbcountyga.gov) No poles may remain within the limits of the path/sidewalk. Doyal Mills Court is classified as a local road. Doyal Mills Court is classified as a local road. Requires a right of way dedication of 27.5 feet from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires a 5-foot landscape strip with a 5-foot sidewalk. Requires pedestrian scale streetlights. (hefowler@dekalbcountyga.gov). No poles may remain within the limits of the path/sidewalk. Verify all intersections/driveways meet AASHTO sight distance requirements.

N5. CZ-25-1247294 - 7778 Pleasant Hills Road, etc. - Phase 1 has 182 lots and requires 3 access points (Sec. 14-200 (5)). Verify the reserved secondary access point meets the minimum spacing outlined in 14-200 (6) and has the required sight distance. Please see infrastructure requirements in Zoning Code 5.4.3 and Land Development Code 14-190. Pleasant Hill Road is a classified as a minor arterial (45MPH). Requires a right of way dedication of 40 feet from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires at least an 11-foot travel lane with curb and gutter. Requires a 10-foot landscape strip (with at least 5 feet between the back of curb and the sidewalk/path), 6-foot sidewalk with 4-foot bike lanes OR (preferred) 10-foot multiuse path in lieu of sidewalk and bike lane. Street Lighting required. (hefowler@dekalbcountyga.gov). Pleasant Hill Trial is classified as a local road. Requires a right of way dedication to 27.5 from centerline OR such that all public infrastructure is within right of

way, whichever greater. Pleasant Hill Trail must be constructed to county standards on your side of the road from the centerline along the proposed development's frontage. Requires a 12-foot lane with curb and gutter. Requires a 6-foot landscape strip with a 5-foot sidewalk. Requires pedestrian scale streetlights. (hefowler@dekalbcountyga.gov). All proposed interior public streets require a right of way of 55 feet OR such that all public infrastructure is within right of way, whichever greater. Requires a 6-foot landscape strip with a 5-foot sidewalk. Requires pedestrian scale streetlights. (hefowler@dekalbcountyga.gov). No poles may remain within the limits of the path/sidewalk. Verify all driveways meet ADA crossing slope requirements at point of crossing and that vehicles will not block sidewalk when parked in the driveway. Verify all intersections/driveways meet AASHTO sight distance requirements. No poles may remain within the limits of the path/sidewalk.

N6. & N7. Z-25-1247293 & SLUP-25-1247295 - 3298 & 3272 Fayetteville Road - Coordination with the Transportation Division of Public Works is required due to an adjacent intersection project. Dedicate all necessary right of way and easements for the proposed roundabout project at the intersection of Bailey St/Fleetwood Rd/Fayetteville Rd/Woodstock Rd. Coordinate required right of way infrastructure improvements with Patrece Keeter (pgkeeter@dekalbcountyga.gov) prior to permitting to eliminate potential conflicts and/or removals. (We do not want you to build it and then we remove it with our project.) Please see infrastructure requirements in Zoning Code 5.4.3 and Land Development Code 14-190. Fayetteville Road is classified as a minor arterial. Requires a right of way dedication of 40 feet from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires at least an 11-foot travel lane with curb and gutter. Requires a 10-foot landscape strip (with at least 5 feet between the back of curb and the sidewalk/path), 6-foot sidewalk with 4-foot bike lanes OR (preferred) 10-foot multiuse path in lieu of sidewalk and bike lane. Street Lighting required. (hefowler@dekalbcountyga.gov). Fleetwood Drive is classified as a local road. Require a right of way dedication of 27.5 feet OR such that all public infrastructure is within right of way, whichever greater. Requires a 6-foot landscape strip with a 5-foot sidewalk. Requires pedestrian scale streetlights. (hefowler@dekalbcountyga.gov). No poles may remain within the limits of the path/sidewalk. Verify all intersections/driveways meet AASHTO sight distance requirements.

N8. SLUP-25-1247287 - 1102 Stewart Mill Road - Stewart Mill Road is classified as a collector road. If a Land Development Permit is required for this project- please refer to the requirements in Zoning Code 5.4.3 and Land Development Code. Requires a right of way dedication of 40 feet from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires a 10-foot landscape strip with 6-foot sidewalk with 4-foot bike lanes OR (preferred) 10-foot multiuse path in lieu of sidewalk and bike lane. Street Lighting required. (hefowler@dekalbcountyga.gov) No poles may remain within the limits of the path/sidewalk. Verify all intersections/driveways meet AASHTO sight distance requirements.

N9. CZ-25-1246771 - 4015 Flat Shoals Parkway - Soapstone Historic District. I-20 Overlay District Tier 2. Developer is responsible for all requirements noted in the GRTA Notice of Decision for DRI 4109, Attachment A (see below)- . Major points: Provide pedestrian connection to the Michelle Obama Trail, Provide grading and concrete work for MARTA bus stop upgrades, Provide a mid-block pedestrian crossing with enhancements (most likely a pedestrian hybrid beacon based on number of lanes and speed limit) at MARTA bus stop crossing location, and noted right turn lanes. Flat Shoals Parkway is SR 155. Prior to permitting, GDOT District 7 review and approval is required. Please ask assigned planner for the infrastructure requirements within the overlay district. Where overlay is silent- the Zoning Code and Land Development Codes are applied. Please refer to the requirements in Zoning Code 5.4.3 and Land Development Code 14-190. All interior streets to be privately owned and maintained. Flat Shoals Parkway is classified as a major arterial. Requires a right of way dedication of 50 feet from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires a 10-foot landscape strip with 6-foot sidewalk with 4-foot bike lanes OR (preferred) 10-foot multiuse path in lieu of sidewalk and bike lane. Street Lighting required. (hefowler@dekalbcountyga.gov) Clifton Springs Road is classified as a minor arterial. Please ask assigned planner for the infrastructure requirements within the overlay district. Where overlay is silent- the Zoning Code and Land Development Codes are applied. If a Land Development Permit is required for this project- please refer to the requirements in Zoning Code 5.4.3 and Land Development Code 14-190. Requires a right of way dedication of 40 feet from centerline OR such that all public infrastructure is within right of way, whichever greater. Requires a 10-foot

landscape strip with 6-foot sidewalk with 4-foot bike lanes OR (preferred) 10-foot multiuse path in lieu of sidewalk and bike lane. Street Lighting required. (hewfowler@dekalbcountyga.gov) No poles may remain within the limits of the path/sidewalk. Verify all intersections/driveways meet AASHTO sight distance requirements.

General Conditions

General Conditions of Approval to GRTA Notice of Decision:

- Pedestrian, Bicycle and Transit Facilities
- Provide pedestrian and bicycle connectivity between all buildings, uses, and existing and future pedestrian access points.
- Provide pedestrian sidewalks along all property frontage on Flat Shoals Parkway and Clifton Springs Road.
- Provide pedestrian crosswalks across the private internal roadways at all driveways and intersections.
- Coordinate with Dekalb County to provide alternative mode infrastructure on site to meet the alternative mode reduction rate.
- Coordinate with the county to provide pedestrian connectivity to the Michelle Obama Walking Trail.
- Provide bicycle racks at all amenity centers, retail, residential, commercial, and office developments.
- Provide illuminated sidewalks along both sides of all internal roadways to connect all buildings and uses.
- Coordinate with Dekalb County to ensure that all sidewalk widths, vegetative buffers, and street tree requirements are met.
- Provide pedestrian and bicycle connectivity to the greater transportation network through coordination and as required by DeKalb County.
- MARTA will Provide bus shelters with seating, lighting, and real-time bus arrival information. In coordination with MARTA the developer will provide the grading, concrete work, and enhanced crosswalks at the designated bus stop locations to ensure proper accessibility and safety for pedestrians.
- Provide a mid-block pedestrian crossing with enhancements, such as Rectangular Rapid Flashing Beacons (RRFBs), in the vicinity of the site and for access to MARTA bus stops at the location determined in coordination with DeKalb County and MARTA.

Development Intensity and Use

Coordinate with DeKalb County to provide a mix of residential and non-residential uses on site to meet the Mixed-Use Reduction Rates. The design features incorporated in the Site Plan must maintain and justify the application of mixed-use reductions.

Roadway & Site Access Improvement Conditions to GRTA Notice of Decision:

Site Driveway A: Full access driveway on Clifton Springs Road aligned with the main driveway of DeKalb Community Service Board (Intersection 7).

- Stop control on side street.
- Construct a full-movement driveway with one (1) ingress lane entering the site and two (2) egress lanes exiting the site.

Site Driveway B: Existing QuikTrip full access driveway on Clifton Springs Road (Intersection 5).

- Stop control on side street.
- Consider converting the existing full-movement driveway utilized by QuikTrip to a right-in/right-out (RIRO) driveway subject to access agreements currently in place with QuikTrip.
- Provide an exclusive eastbound right-turn deceleration lane along Clifton Springs Road.

Site Driveway C: Existing QuikTrip full access driveway on Flat Shoals Parkway (SR 155).

- All access points and encroachments on GDOT ROW will need to be in compliance with the latest version of the GDOT encroachment manual at the time of permitting.
- All access points will need to include required driveway spacing, decel lane lengths, appropriate turn restriction designs, radius to safely accommodate site traffic, bike/ped needs, etc.
- If proposed driveways cannot meet GDOT standards, then access points need to be removed or revised to mitigate the standards not met.
- Stop control on side street, or as approved by GDOT.
- One receiving and one exiting lane for right-in, right-out access to/from Flat Shoals Parkway (SR 155).
- Design subject to approval from DeKalb County and GDOT.

Site Driveway D: Full access driveway on Flat Shoals Parkway (SR 155) (Intersection 8)

- All access points and encroachments on GDOT ROW will need to be in compliance with the latest version of the GDOT encroachment manual at the time of permitting. All access points will need to include required driveway spacing, decel lane lengths, appropriate turn restriction designs, radius to safely accommodate site traffic, bike/ped needs, etc. If proposed driveways cannot meet GDOT standards, then access points need to be removed or revised to mitigate the standards not met.
- Stop control on side street, or as approved by GDOT.
- Construct a right-in/right-out (RIRO) driveway with one (1) ingress lane entering the site and one (1) egress lane exiting the site, per the approved GDOT driveway permit.
- Provide an exclusive southbound right-turn deceleration lane along Flat Shoals Parkway (SR 155).



11/27/2024

To: Ms. LaSondra
From: Ryan Cira, Director of Environmental Health
Cc: Alan Gaines, Deputy Director, Environmental Health
Re: Rezone Application Review

General Comments:

DeKalb County Health Regulations prohibit use of on-site sewage disposal systems for

- multiple dwellings
- food service establishments
- hotels and motels
- commercial laundry
- funeral homes
- schools
- nursing care facilities
- personal care homes with more than six (6) clients
- child or adult day care facilities with more than six (6) clients
- residential facilities containing food service establishments

If proposal will use on-site sewage disposal, please contact the Land Use Section (404) 508-7900. Any proposal, which will alter wastewater flow to an on-site sewage disposal system, must be reviewed by this office prior to construction.

This office must approve any proposed food service operation or swimming pool prior to starting construction.

Public health recommends the inclusion of sidewalks to continue a preexisting sidewalk network or begin a new sidewalk network. Sidewalks can provide safe and convenient pedestrian access to a community-oriented facility and access to adjacent facilities and neighborhoods.

For a public transportation route, there shall be a 5ft. sidewalk with a buffer between the sidewalk and the road. There shall be enough space next to the sidewalk for the bus shelter's concrete pad installation.

Since DeKalb County is classified as a Zone 1 radon county, this office recommends the use of radon resistant construction.



N1.2024-1428 **SLUP-25-124728 15 094 07 023**

3195 Kelly Chapel Road, Decatur, GA 30034

- PLEASE REVIEW GENERAL COMMENTS
- SEPTIC INSTALLED 7/3/64

- DeKalb Public Health Regulations prohibit use of on-site sewage disposal systems for personal care homes with more than six (6) clients.

N2.202401439 **SLUP-25-1247279 18 009 05 003**

3110 EAST PONCE DE LEON AVE., SCOTTTDALE, GA 30079

- PLEASE REVIEW GENERAL COMMENTS
- NO SEPTIC INDICATED ON THIS PROPERTY

N3. 2024-1440 **SLUP-25-1247277 18 070 01 015**

5644 MEMORIAL DRIVE, STONE MOUNTAIN, GA 30083

- PLEASE REVIEW GENERAL COMMENTS
- NO SEPTIC INDICATE ON THIS PROPERTY

N4. 2024-1441 **SLUP-25-1247296 18 043 02 081**

5099 MEMORIAL DRIVE, STONE MOUNTAIN, GA 30083

- PLEASE REVIEW GENERAL COMMENTS
- NO SEPTIC INDICATED ON THIS PROPERTY FROM THIS OFFICE



N5. 2024-1441

SLUP CZ-25-1247296 18 043 02 081

7778/1716/7900/7860/8042/7956/ AND 7890 PLEASANT HILL ROAD, LITHONIA, GA

- PLEASE REVIEW GENERAL COMMENTS

- NO SEPTIC INDICATED ON THE ABOVE PROPERTIES. INDICATIONS OF SEPTIC ON 7900

N6. 202401442

Z-25-1247293 15 080 05 002 & 15 080 05 013

3298 & 3272 FAYETTEVILLE ROAD, ATLANTA, GA 30316

- PLEASE REVIEW GENERAL COMMENTS

- SEPTIC INSTALLED ON 9/9/24

N7. 2024-1444

SLUP-25-1247295 15 080 05 002 & 15 080 05 013

3298 & 3272 FAYETTEVILLE ROAD, ATLANTA, GA 30316

- PLEASE REVIEW GENERAL COMMENTS

N8. 2024-1445

SLUP-25-1247287 18 079 02 004

1102 STEWART MILL ROAD, STONE MOUNTAIN, GA 30087

- PLEASE REVIEW GENERAL COMMENTS

N9-2024-1496

CZ-25-1246771 15 090 01 021

4015 FLAT SHOALS PARKWAY, DECATUR, GA 30034

-PLEASE REVIEW GENERAL COMMENTS

- NO INDICATION OF SEPTIC INSTALLATION ON THIS PROPERTY FROM THIS PROPERTY

DeKalb Public Health

445 Winn Way – Box 987

Decatur, GA 30030

404.294.3700 • www.dekalbhealth.net



DEKALB COUNTY GOVERNMENT PLANNING DEPARTMENT DISTRIBUTION FORM

NOTE: PLEASE RETURN ALL COMMENTS VIA EMAIL TO EXPEDITE THE PROCESS TO JOHN REID jreid@dekalbcountyga.gov AND/OR LASONDRA HILL lahill@dekalbcountyga.gov

The following areas below may warrant comments from the Development Division. Please respond accordingly as the issues relate to the proposed request and the site plan enclosed as it relates to Chapter 14. You may address applicable disciplines.

DEVELOPMENT ANALYSIS:

- Transportation/Access/Row

- Storm Water Management

- Flood Hazard Area/Wetlands

- Landscaping/Tree Preservation

- Tributary Buffer

- Fire Safety



**DEKALB COUNTY GOVERNMENT
PLANNING DEPARTMENT
DISTRIBUTION FORM**

NOTE: PLEASE RETURN ALL COMMENTS VIA EMAIL TO EXPEDITE THE PROCESS TO JOHN REID jreid@dekalbcountyga.gov AND/OR LASONDRA HILL lahill@dekalbcountyga.gov

**REZONE
COMMENTS FORM:**

PUBLIC WORKS ROAD AND DRAINAGE

Case No.: _____ Parcel I.D. #: _____

Address: _____

Drainage Basin: _____

Upstream Drainage Area: _____

Percent of Property in 100-Year Floodplain: _____

Impact on property (flood, erosion, sedimentation) under existing zoning: _____

Required detention facility(s): _____

COMMENTS:

Signature: Akin A. Akinsola



**DEKALB COUNTY
GOVERNMENT PLANNING
DEPARTMENT DISTRIBUTION
FORM**

NOTE: PLEASE RETURN ALL COMMENTS VIA EMAIL TO EXPEDITE THE PROCESS TO JOHN REID jreid@dekalbcountyga.gov AND/OR LASONDRA HILL lahill@dekalbcountyga.gov

**COMMENTS FORM:
PUBLIC WORKS TRAFFIC ENGINEERING**

Case No.: Z-25-1247893 Parcel I.D. #s: 15-080 05-002
05-013
 Address: 3298 + 3072 Fayetteville Road
Atlanta, Ga. 30316

Adjacent Roadway (s):

(classification) (classification)

Capacity (TPD) _____
 Latest Count (TPD) _____
 Hourly Capacity (VPH) _____
 Peak Hour. Volume (VPH) _____
 Existing number of traffic lanes _____
 Existing right of way width _____
 Proposed number of traffic lanes _____
 Proposed right of way width _____

Capacity (TPD) _____
 Latest Count (TPD) _____
 Hourly Capacity (VPH) _____
 Peak Hour. Volume (VPH) _____
 Existing number of traffic lanes _____
 Existing right of way width _____
 Proposed number of traffic lanes _____
 Proposed right of way width _____

Please provide additional information relating to the following statement.

According to studies conducted by the Institute of Traffic Engineers (ITE) 6/7th Edition (whichever is applicable), churches generate an average of fifteen (15) vehicle trip end (VTE) per 1,000 square feet of floor area, with an eight (8%) percent peak hour factor. Based on the above formula, the _____ square foot place of worship building would generate _____ vehicle trip ends, with approximately _____ peak hour vehicle trip ends.

Single Family residence, on the other hand, would generate ten (10) VTE's per day per dwelling unit, with a ten (10%) percent peak hour factor. Based on the above referenced formula, the _____ (Single Family Residential) District designation which allows a maximum of _____ units per acres, and the given fact that the project site is approximately _____ acres in land area, _____ daily vehicle trip end, and _____ peak hour vehicle trip end would be generated with residential development of the parcel.

COMMENTS: Did not see any traffic engineering concerns at this time.

Signature: Russell



**DEKALB COUNTY
GOVERNMENT PLANNING
DEPARTMENT DISTRIBUTION
FORM**

NOTE: PLEASE RETURN ALL COMMENTS VIA EMAIL TO EXPEDITE THE PROCESS TO JOHN REID jreid@dekalbcountyga.gov AND/OR LASONDRA HILL lahill@dekalbcountyga.gov

**COMMENTS FORM:
PUBLIC WORKS TRAFFIC ENGINEERING**

Case No.: SLUP-25-1247295 Parcel I.D. #s: 15-080 05-002
05-013
 Address: 3298 & 3272 Fayetteville Road
Atlanta, Ga. 30316

Adjacent Roadway (s):

(classification) (classification)

Capacity (TPD) _____
 Latest Count (TPD) _____
 Hourly Capacity (VPH) _____
 Peak Hour. Volume (VPH) _____
 Existing number of traffic lanes _____
 Existing right of way width _____
 Proposed number of traffic lanes _____
 Proposed right of way width _____

Capacity (TPD) _____
 Latest Count (TPD) _____
 Hourly Capacity (VPH) _____
 Peak Hour. Volume (VPH) _____
 Existing number of traffic lanes _____
 Existing right of way width _____
 Proposed number of traffic lanes _____
 Proposed right of way width _____

Please provide additional information relating to the following statement.

According to studies conducted by the Institute of Traffic Engineers (ITE) 6/7th Edition (whichever is applicable), churches generate an average of fifteen (15) vehicle trip end (VTE) per 1,000 square feet of floor area, with an eight (8%) percent peak hour factor. Based on the above formula, the _____ square foot place of worship building would generate _____ vehicle trip ends, with approximately _____ peak hour vehicle trip ends.

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COMMENTS: I did not see any traffic engineering concerns
at this time.

Signature: Russell



**DEKALB COUNTY
GOVERNMENT PLANNING
DEPARTMENT DISTRIBUTION
FORM**

NOTE: PLEASE RETURN ALL COMMENTS VIA EMAIL TO EXPEDITE THE PROCESS TO JOHN REID jreid@dekalbcountyga.gov AND/OR LASONDRA HILL lahill@dekalbcountyga.gov

**COMMENTS FORM:
PUBLIC WORKS WATER AND SEWER**

Case No.: _____ Parcel I.D. #: _____

Address: _____

WATER:

Size of existing water main: _____ (adequate/inadequate)

Distance from property to nearest main: _____ Size of line required, if inadequate: _____

SEWER:

Outfall Servicing Project: _____

Is sewer adjacent to property: Yes _____ No _____ If no, distance to nearest line: _____

Water Treatment Facility: _____ adequate _____ inadequate _____

Sewage Capacity: _____ (MGPD) Current Flow: _____ (MGPD)

COMMENTS:

Signature: _____



DEPARTMENT OF PLANNING & SUSTAINABILITY

Rezoning Application to Amend the Official Zoning Map of DeKalb County, Georgia

Date Received: _____ Application No: _____

Applicant Name: Hollingshead Materials, LLC Brian D. Hercules

Applicant E-Mail Address: brian.hercules@smyma-readymix.com

Applicant Mailing Address: 1000 Hollingshead Circle

Murfreesboro, TN 37167

Applicant Daytime Phone: 615-355-1028 (O) Fax: _____

615-624-1221 (C)

Owner Name: Ehsan Razavi

If more than one owner, attach list of owners.

Owner Mailing Address: 2858 Memorial Dr. Atlanta Ga. 30317

Owner Daytime Phone: 678-887-6611

Address of Subject Property: 3298 Fayetteville Rd SE

DeKalb County Georgia

Parcel ID#: 15 080 05 002

Acreage: 1.14 Commission District: 3 + 6

Present Zoning District(s): M + M2

Proposed Zoning District: M2 + M2

Present Land Use Designation: Industrial M

Proposed Land Use Designation (if applicable): Industrial M-2


Community Meeting

From Brian Hercules <Brian.Hercules@smyrnareadymix.com>

Date Wed 9/18/2024 4:14 PM

To canglin@anglingroup.com <canglin@anglingroup.com>; bam3dst@gmail.com <bam3dst@gmail.com>; elfreda227@att.net <elfreda227@att.net>; Alisonmiller@gmail.com <Alisonmiller@gmail.com>; pat.lawrencecraig@gmail.com <pat.lawrencecraig@gmail.com>; phthompson3@msn.com <phthompson3@msn.com>; nettieJackson@me.com <nettieJackson@me.com>; springgreens.atl@gmail.com <springgreens.atl@gmail.com>; emu7143983@aol.com <emu7143983@aol.com>; rmurphyga@gmail.com <rmurphyga@gmail.com>; pdk-powell@comcast.net <pdk-powell@comcast.net>; tolip209@gmail.com <tolip209@gmail.com>; regeniarobertstone@gmail.com <regeniarobertstone@gmail.com>; Tommyt4dekalb@gmail.com <Tommyt4dekalb@gmail.com>; nahwash4ms@aol.com <nahwash4ms@aol.com>

Cc ted@dekalbcountyga.gov <ted@dekalbcountyga.gov>

 1 attachments (253 KB)

Community Meeting Letter (signed).pdf;

First let me introduce myself, my name is Brian Hercules. I represent SRM Concrete, and we are very interested in investing in your community and becoming a community partner. We have a contract on two parcels of land located at 3298 and 3272 Fayetteville Rd. We are requesting to rezone 3298 from M to M2, this zoning will match the current zoning on 3272 Fayetteville Road.

Our intent will be to build a Ready-Mix Batch plant on the site to provide concrete to the area. We supply large and small projects. Everything from new industry to the DIY project on Saturday morning. We will invest close to \$15 to \$18 million dollars in the plant and employ 15 employees on the start-up. Our employees will earn between \$75,000 to \$100,000 with full benefits. We will also invest close to \$7 million in equipment of trucks and loaders etc.

We are excited to start the process by having a meeting with the community. Attached is an invite for each of you to come and learn more about SRM Concrete and our plans for the property referenced in the first paragraph (we are mailing the invite to all property owners within 500 feet of the property as well). I look forward to the opportunity to meet each of you and extend a welcome to any questions you may have about SRM or the project we are working on. Below is my email as well as my cell number . Please email or call me with any questions.

Brian D. Hercules | **Land Development** | **Smyrna Ready Mix Concrete, LLC.**
1000 Hollingshead Circle Murfreesboro, TN 37129 | C: (615) 624-1221
brian.hercules@smyrnareadymix.com





September 18, 2024

Re: NOTICE OF COMMUNITY MEETING
Rezoning Application for 3272 Fayetteville SE St, Atlanta, GA 30316

To Whom It May Concern:

We would like for you to join us for a community meeting to discuss a proposed Application for Rezoning for the above referenced property from an M to an M-2 classification. The purpose of this meeting is to provide you with information regarding this project and to give you an opportunity to ask questions and voice your opinion. The meeting details are as follows:

Date: October 10, 2024

Time: 5:30pm

Location: Church of Christ at Bouldercrest
2727 Bouldercrest Road, Atlanta, GA 30316

If you have any questions about the meeting, please contact Brian Hercules at 615-355-1028 or brian.hercules@smyrnareadymix.com.

Sincerely,
Hollingshead Materials, LLC,
a subsidiary of Smyrna Ready Mix Concrete, LLC

J.D. Kious,
General Counsel

JDK/kn



smyrnareadymix.com



(615) 355-1028



1000 Hollingshead Cir.
Murfreesboro, TN 37129

SRM Oct 10th Citizen Meeting invite mailing list.

PROPERTY OWNER	ADDRESS	CITY, STATE ZIP
HEH PAVING INC	3384 ALMAND RD	ATLANTA , GA 30316
DUNSON R W MRS	1125 FLEETWOOD DR SE	ATLANTA , GA 30316
MOSELEY COLE	3360 ALMAND RD SE	ATLANTA , GA 30316
ELLIS LEEROY JR	3359 ALMAND RD SE	ATLANTA , GA 30316
3353 ARSAG LLC	816 UNITED AVE SE	ATLANTA , GA 30316
ROSENBURG SHAWN COREY	830 Fayetteville RD SE	ATLANTA , GA 30316
CEMETERY	1081 FLEETWOOD DR SE	ATLANTA , GA 30316
GEBRESELIASSIE KEDANE	1160 KELVINGTON WAY	LILBURN , GA 30316
GEBRESELIASSIE KEDANE	1160 SW KELVINGTON WAY	LILBURN , GA 30316
RUSH TRUCK CENTERS OF GEORGIA INC	PO BOX 56607	ATLANTA , GA 30316
GEHRESELIASSIE KEDANE	1160 KELVINGTON WAY	LILBURN , GA 30316
GAY LENARD	6876 VICTORIA DR	MORROW , GA 30316
GOLDEN MICHAEL GARY	817 RAINTREE WAY SE	CONYERS , GA 30316
M AND W REAL ESTATE HOLDINGS LLC	3384 ALMAND RD	ATLANTA , GA 30316
OBRIEN JIM	1726 PIPER RD	ATLANTA , GA 30316
ZX14 LLC	2858 MEMORIAL DR SE	ATLANTA , GA 30316
WARE LONNIE D	4144 INDIAN LAKES CIR	STONE MOUNTAIN , GA 30316
DHO INC	1856 BLACKTHORN WAY NE	ROSWELL , GA 30316
FLEETWOOD INVESTMENTS LLC	3060 PEACHTREE RD STE 1080	ATLANTA , GA 30316
DASHT LLC	2935 MORELAND AVE	CONLEY , GA 30316
TWENTY THREE AND ASSOCIATES	1213 CONSTITUTION RD	ATLANTA , GA
TWENTY THREE AND ASSOCIATES	1213 CONSTITUTION RD	ATLANTA , GA 30316
VERTEX HOLDINGS LLC	P.O. BOX 160043	ATLANTA , GA 30316
ICGOREN TARIK	P.O. BOX 160043	ATLANTA , GA 30316
ARDISTER ANTHONY	5349 DENNY DR	COLLEGE PARK , GA 30316
HAYNES CLIFFORD	2532 HWY 138	JONESBORO , GA 30316
OBERWEIS JASON	2186 CLOVERDALE DR	ATLANTA , GA 30316
ICGOREN NURI	P O BOX 160043	ATLANTA , GA 30315
WONN DANNY DWOK	3479 VIEWFIELD AVE	HACIENDA HEIGHTS , CA 30316
MAULDIN BETTY JEAN	217 EASTIN RD	FAYETTEVILLE , GA 30316
ICGOREN TARIK	1273 METROPOLITAN AVE # 160043	ATLANTA , GA 30316
HENRY THOMAS TABERNACLE CHURCH	115 E HILL ST	DECATUR , GA 30316
DESMIN SCOTT	1860 COOPER LAKES DR	GRAYSON , GA 30315
LUXURY HAIR DIRECT LLC	444 HIGHLAND AVE # 302	ATLANTA , GA 30316
OBRIEN JAMES R	1726 PIPER CIR	ATLANTA , GA 30316
HURTADO MAURICIO	3327 FAYETTEVILLE RD SE	ATLANTA , GA 30316
CHAPEL OF FAITH BAPTIST CHURCH	2305 BAILEY ST SE	ATLANTA , GA 30316
HALITE MORELAND LLC	2640 WESTWOOD DR SW	CONYERS , GA 30316
REES 218 LLC	3250 WOODSTOCK RD SE	ATLANTA , GA 30316
SUPERIOR PROPERTY HOLDINGS LLC	3250 WOODSTOCK RD SE	ATLANTA , GA 30316



October 28, 2024

Brian D. Hercules
1000 Hollingshead Circle
Murfreesboro, TN 37129
(615) 624-1221

RE: Zoning Application and SLUP Application

The property is at 3298 Fayetteville Rd. Atlanta, GA 30016. The property is part of two parcels zoned mix use, M light Industrial and M-2 Heavy Industrial. We are requesting that the zoning be unified so that the land may be used for a concrete ready-mix facility. We are also asking for a SLUP approval for our Concrete Batch Plant. There is currently a sale agreement in place between the previous owner and Smyrna Ready Mix, which is contingent on zoning and permit approval. Thus far, SRM has received overwhelming support with the plans to develop this property and become part of the local community. We hope that we receive the same support with consideration in rezoning so that we can move forward to the site permitting process. We would be pleased to promptly respond to any concerns or reservations to our request.

Respectfully,

A handwritten signature in blue ink, appearing to read "Brian D. Hercules", is written over a light blue circular stamp.

Brian D. Hercules
Land Acquisitions

Attachment
Facility Description



Summary

Smyrna Ready Mix Concrete, LLC (SRM) will invest over \$16,000,000 in the greenfield and plant development of a concrete plant in Atlanta, GA. In addition to the construction budget spent in the local economy, 15 to 20 full-time employees will be staffing the operations with competitive wages, best in industry health insurance offerings, and retirement plans that are immediately vested. SRM is committed to a design that will control access and truck traffic. The plant will have a plant manager, batcher, loader operator and mixer operators when we are fully commissioned. As a family-owned business, we are acutely aware of the needs of the community. The Hollingshead Foundation is committed to giving back to the local community. Our concrete plant is designed by Stephens Manufacturing and implements the latest technology available to control dust and noise. SRM has performed noise studies in various markets, and all were following OSHA standards for noise levels.

Existing/Current Property Description

Located at 3298 & 3272 Fayetteville Rd SE, the existing site is fenced with access located at the corner of Fleetwood Dr SE and Fayetteville Rd SE. The property is currently undeveloped, ungraded, unkept trees and shrubs; the site is being used for storage of vehicles and trailers on the accessible areas of the site. The current zone is M and M-1.

Site Improvements

The upper area of the site will require extensive grubbing and clearing, keeping all trees and shrubs, and replacing others where required. The property will require grading on the upper portion of the parcels to allow for proper drainage, paving and construction of facility. Portions of the lower elevations of the parcels will support drainage and retention/detention, to be determined. The site fencing, gates and signage will be improved by SRM to meet current local ordinances. The facility will mostly be paved concrete with wastewater and storm water retention/drainage that facilitates operations and surrounds the property. The main component to the facility is a small two-story operations/office building, Stephen's Plant Batching equipment (hopper, conveyors, aggregate bin, loading hopper), designated area for material stockpiles (material isolated by concrete block walls), and allocated space for labor and truck parking. Final site configuration will be determined after review of easement, access, and other requirements necessary to meet compliance with city/county/environmental regulations.

Waste Water Handling

We will collect the wastewater on site and recycle onsite to be used for washdown and wet down of aggregates. Wastewater from this type of operation sediment from aggregates and cement powder; these sediments are removed using a settling containment system; as needed, the sediment containment bays are dredged with frontend loader for removal or reuse of material.

Operations Description



Startup - The plant operations will begin every morning at 7 am (time TBD based on local ordinance restrictions) a daily checklist which includes things like equipment inspections, material levels/testing, consumables, safety checks. Operators/Drivers will all receive daily schedule and safety briefs, followed by inspections of equipment.

Loading/Mixer Truck Operations - As per schedule needs, drivers will line up and load the mixers under the batch hopper. Following loading, drivers will advance their trucks through a truck wash and rinse area, and there they will do a slump check and rinse off any dust or debris remaining on the truck before exiting the site. SRM is committed to controlling dust, keeping the plant and its streets clean and free from debris. When returning to the site, If the mixer truck requires cleanout, it will use Type 1 wastewater containment, followed by either returning to the hopper to reload or shutdown/park on the northeast side of the property.

Front End Loader Operations - A loader will be used for handling the material piles and for loading the batch plant's feed hopper. Material stockpiles will be located on the East portion of the site, minimizing interference from other operational traffic. The loader will also from time- to-time be scrapping out the wastewater systems settlement cells. Sediment will go to a waste pile removed from the site for recycling.

End of Day – All equipment will be parked and checked. All facility equipment will be secured/locked up after 5pm. Minimal lights will stay on at night for security reasons.

Site Access

SRM will apply for an access permit, final access TBD but tentatively will be offset to the east of the Fleetwood/Fayetteville intersection.

Facility operations traffic

The facility intends to operate 10-12 trucks from the site. Each mixer truck will make 4-10 trips per day. Additionally, there will be 2-4 material deliveries per day of aggregate and cement. We estimated that the site will not exceed a total of one hundred trips per operation day.

Employee and visitor parking- Required parking will be provided for the office building. Additional space for employee parking is available along the south edge of the paved perimeter.

Other Facility Facts

- 15 to 20 full time employees
- Standard Vehicles on site: 12-14 POVs, 10 to 15 mixer trucks, one front-end loader
- Standard hours of operations 7 am-5 pm
- City water (Estimated consumption of 10,000gallons per day)
- City Sewer (less than 500gallons)



- Dust control - Equipment configured with dust control system, wet down water will be used for aggregate piles.
- Lighting control – Limited site lighting will be used in the early hours or later afternoon. Overnight lighting will be limited to a few flood lights used for security purposes.



Realm Land Services
Modern Accuracy for a Classic Need

Zoning Report

Site Identification

Site Name Fayetteville Road SE

Address 3272 Fayetteville Rd

Atlanta, GA 30316

Prepared for Smyrna Ready-Mix Concrete, LLC & Hollingshead Materials, LLC

Date 10/14/2024

RLS Project Number 0036-24-0195

Contents

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1 – Conformance Summary and Site Information

Status of site’s current use and physical characteristics compared against jurisdiction’s permitted uses and bulk restrictions as provided in this report:

- Legal Conforming Use
- Legal Non-Conforming Use
- Legal Conforming Bulk Restrictions
- Legal Non-Conforming Bulk Restrictions

Violation Status:

Type	Status	Point of Contact
Building Violations	None	Kathrina Persaud Administrative Specialist Office of Code Compliance Administration codeenforce@dekalbcountyga.gov 404-687-3700
Zoning Violations	None	Kathrina Persaud Administrative Specialist Office of Code Compliance Administration codeenforce@dekalbcountyga.gov 404-687-3700
Fire Violations	Pending Response	Melvin Carter Deputy Chief mkcarter@dekalbcountyga.gov 678-406-7457

Occupancy permit:

Yes	Does the local jurisdiction issue occupancy permits?
N/A (property vacant)	Is a copy of the occupancy permit included with the zoning report?
Pending Response	Is the lack of an occupancy permit on file for this site considered a violation and/or will result in an enforceable action?

Site Information and Zoning Designation:

Zoning District	M Light Industrial and M-2 Heavy Industrial
Current Use	Vacant lot
Jurisdiction	Dekalb County
Jurisdiction Phone/Email	plansustain@dekalbcountyga.gov
Zoning Ordinance Established	December 15, 1989
Current Revision Date of Ordinance	May 24, 2024
Approximate Acreage	3.688
Tax/Parcel ID(S)	15 080 05 002 & 15 080 05 013
Year Built	Vacant lot
Surveyor	Blew & Associates/David A. Nix/10/3/2024

2 – Bulk Restrictions Detail

2.1 What is the front, side, and rear of property:

Front West
Side(s) North & South
Rear East

2.2 What are the properties to the north, south, east, and west of the subject property zoned: (Parcel 15 080 05 002)

North Row
South Row
East M-2 Heavy Industrial
West Row

(Parcel 15 080 05 013)

North Row
South M Light Industrial
East M-2 Heavy Industrial
West M Light Industrial

2.3 Bulk Restrictions

Bulk Restriction Table (per Section 2.24.1)

Parcel 15 080 05 002 – M Light Industrial

Restriction	Restriction Value	Provided	In Conformance
Dimensional Requirements			
Lot area (min. square feet):	30,000	160,665	Yes
Single-Family attached lot area (Avg. per dwelling unit sq. ft.):	Not Permitted	Not a Single-Family use	N/A
Lot width, street frontage (feet):	100	359.69'	Yes
Lot coverage (maximum percentage):	80	0%	Yes
Open Space Requirements			
Sites with 5,000-39,999 sq. ft. gross floor area (minimum %):	15	100%	Yes
Sites with 40,000 sq. ft. gross floor area (minimum %):	20	100%	Yes
Transition buffer (feet)	Article 5, Division 4 (see attachments)	Vacant lot	N/A
Building Setback Requirements (minimum, unless otherwise specified)			
Front thoroughfares and arterials (feet):	60	Vacant lot	N/A
Front – all other streets (feet):	60	Vacant lot	N/A
Side – interior lot (feet):	20	Vacant lot	N/A
Side – corner lot on public streets (feet):	60	Vacant lot	N/A
Rear (feet):	30	Vacant lot	N/A
Height (maximum without a special land use permit (SLUP))			
Height (feet):	**	Vacant lot	N/A
Transitional height plane (see article 5 in attachments)	Yes	Vacant lot	N/A

** Fire department and rescue services must approve over 3 stories to assure adequacy of fire protection facilities

Bulk Restriction Table (per Section 2.24.1)

Parcel 15 080 05 013 – M-2 Heavy Industrial

Restriction	Restriction Value	Provided	In Conformance
Dimensional Requirements			
Lot area (min. square feet):	2 acres for heavy ind. & uses req'g SLUP, 1 acre for all other uses	160,665	Yes
Single-Family attached lot area (Avg. per dwelling unit sq. ft.):	Not permitted	Not a Single-Family use	N/A
Lot width, street frontage (feet):	150	359.69'	Yes
Lot coverage (maximum percentage):	80	0%	Yes
Open Space Requirements			
Sites with 5,000-39,999 sq. ft. gross floor area (minimum %):	15	100%	Yes
Sites with 40,000 sq. ft. gross floor area (minimum %):	20	100%	Yes
Transition buffer (feet)	Article 5, Division 4 (see attachments)	Vacant lot	N/A
Building Setback Requirements (minimum, unless otherwise specified)			
Front thoroughfares and arterials (feet):	60	Vacant lot	N/A
Front – all other streets (feet):	60	Vacant lot	N/A
Side – interior lot (feet):	20	Vacant lot	N/A
Side – corner lot on public streets (feet):	60	Vacant lot	N/A
Rear (feet):	30	Vacant lot	N/A
Height (maximum without a special land use permit (SLUP))			
Height (feet):	**	Vacant lot	N/A
Transitional height plane (see article 5 in attachments)	Yes	Vacant lot	N/A

** Fire department and rescue services must approve over 3 stories to assure adequacy of fire protection facilities

Parking Requirement (per Section 6.1.4)

	Parking Formula for proposed use as a Concrete Manufacturer.
Parking Formula	Minimum Parking Spaces Required – One (1) space for each two thousand (2,000) square feet of floor area. Maximum Parking Spaces Allowed – One (1) space for each one thousand three hundred (1,300) square feet of floor area.
Required Spaces	N/A (Vacant Lot)
Provided Spaces	0
Is Parking Compliant?	Yes

4 – Conformance Detail

Is the use of the property as a Vacant Lot permitted in the M Light Industrial and M-2 Heavy Industrial Districts?

Yes, the current use as a vacant lot is permitted in both M Light Industrial and M-2 Heavy Industrial Districts.

Note: The proposed use as a Concrete Manufacturer is not permitted by right in the M Light Industrial District. The proposed use as a Concrete Manufacturer is permitted by right in the M-2 Heavy Industrial District.

Are there any non-conformities related to bulk restrictions?

None.

Was the property established legally?

Yes, the jurisdiction acknowledges this site exists and did not question the legal establishment of the site.

Does this site have any special overlays, permits, and/or conditions?

None.

Casualty Statement

Sec. 8.1.15 – Reconstruction of damaged or destroyed nonconforming structures.

A legal nonconforming building or structure that has been damaged by fire, flood, or other natural cause to an extent that the estimated cost of reconstruction does not exceed sixty (60) percent of its fair market value according to the Dekalb County Tax Assessor's valuation for the tax year in which the damage occurred, as determined by the director of planning, may be reconstructed and used as it was prior to being damaged if a complete permit application is submitted for said re-construction within two (2) years of the date of the damage and the work progresses continuously upon issuance of the permit therefor. If said building or structure has been determined by the director of planning to have been damaged to an extent that the estimated cost of reconstruction exceeds sixty (60) percent of its fair market value according to the Dekalb County Tax Assessor's valuation for the tax year in which the damage occurred, then any repair, reconstruction or new construction shall conform to the then existing requirements of the zoning district in which said building or structure is located.

This site can be rebuilt to its current physical state and use in the event of damage or destruction due to its legal conforming status based on the zoning restrictions we list and evaluate in this report.

In the even that the physical characteristics of this site change and/or the zoning ordinance changes in the future resulting in the site becoming legal nonconforming, rebuild-ability will be dictated by the section of ordinance we list at the beginning of this Casualty Statement section. For the full section on non-conformities please see the jurisdictions website at:

https://library.municode.com/ga/dekalb_county/codes/code_of_ordinances?nodeId=CODECO_CH27ZO

Jurisdiction's Definition of Legal Non-Conforming

Legal nonconforming lot – A lot of record that at the effective date of this zoning ordinance does not conform to the applicable minimum road frontage requirement, minimum lot area, or lot width requirements for the zoning district in which it is located may still be used as a building site provided that the height, buffer, setback, and other dimensional requirements of the zoning district in which the lot of record is located area complied with, or a variance therefrom is obtained.

Nonconforming use – A legal use in existence on the effective date of this zoning ordinance or any amendment thereto may be continued even though such use does not conform with the use provisions of the zoning district in which said use is located, except as otherwise provided in this section.

Nonconforming structures – A legal structure in existence on the effective date of this zoning ordinance or any amendment thereto that could not presently be built under the provisions of this chapter because of restrictions on building area, lot coverage, height, minimum yard setbacks, or other characteristics of the structure or its location on the lot shall be deemed a legal nonconforming structure subject to this article 8.

5 – Additional Comments

None.

6 – Reliance Language

None Required by Client

7 – Disclaimer

The above report is based upon the information that Realm Land Services was able to obtain from the local jurisdiction and surveyor. Our professional opinion is limited to the scope of zoning information we present in the above report. Our opinion does not replace that of a zoning attorney or the local jurisdiction. We do not recommend changes be made to this site based on our zoning report without first contacting the local jurisdiction as our opinion may vary from theirs.

8 – Attachments

1. Zoning Letters and/or Emails from the Local Jurisdiction Confirming Zoning of Property
2. Additional email communications and supporting documents from the local jurisdiction
3. Copy of Occupancy Permit and/or Special/Conditional Use Permit
4. Zoning Map
5. Bulk restrictions, permitted uses and parking requirements from the zoning ordinance
6. Rebuild-ability from the zoning ordinance
7. Copy of ALTA/NSPS land survey / Site Plans

**1 – Zoning Letters
and/or Emails from the
Local Jurisdiction
Confirming Zoning of
Property (Pending
Response)**

2 - Additional Email Communications and Supporting Documents from the Local Jurisdiction

From: [Enforcement, Code](#)
To: [Kailey Deleon](#)
Subject: RE: Violations
Date: Wednesday, September 11, 2024 4:45:03 PM

Greetings,

As of 9/11/2024 there are no open/active code violations for the address of 3272 Fayetteville rd.

Thank you,

Kathrina Persaud
Administrative Specialist
Office of Code Compliance Administration
180 Sams Street
Decatur, Georgia 30030
codeorr@dekalbcountyga.gov
Off: 404-687-3700

www.DeKalbCountyGA.gov



From: Kailey Deleon <Kailey@realmlandservices.com>
Sent: Tuesday, September 10, 2024 2:14 PM
To: Enforcement, Code <codeenforce@dekalbcountyga.gov>
Subject: Violations

**** WARNING:** The sender of this email could not be validated and may not match the person in the "From" field.

Hello,

Could you please tell me if there are any open/unresolved building or zoning violations for the property below

Address: 3272 Fayetteville Road SE, Atlanta, GA 30316
Parcel ID: 15 080 05 013

Thank you!

Kailey DeLeon

ALTA/NSPS Land Survey & Zoning Report Specialist

Realm Land Services Inc.

Main Office: (571) 208-2090

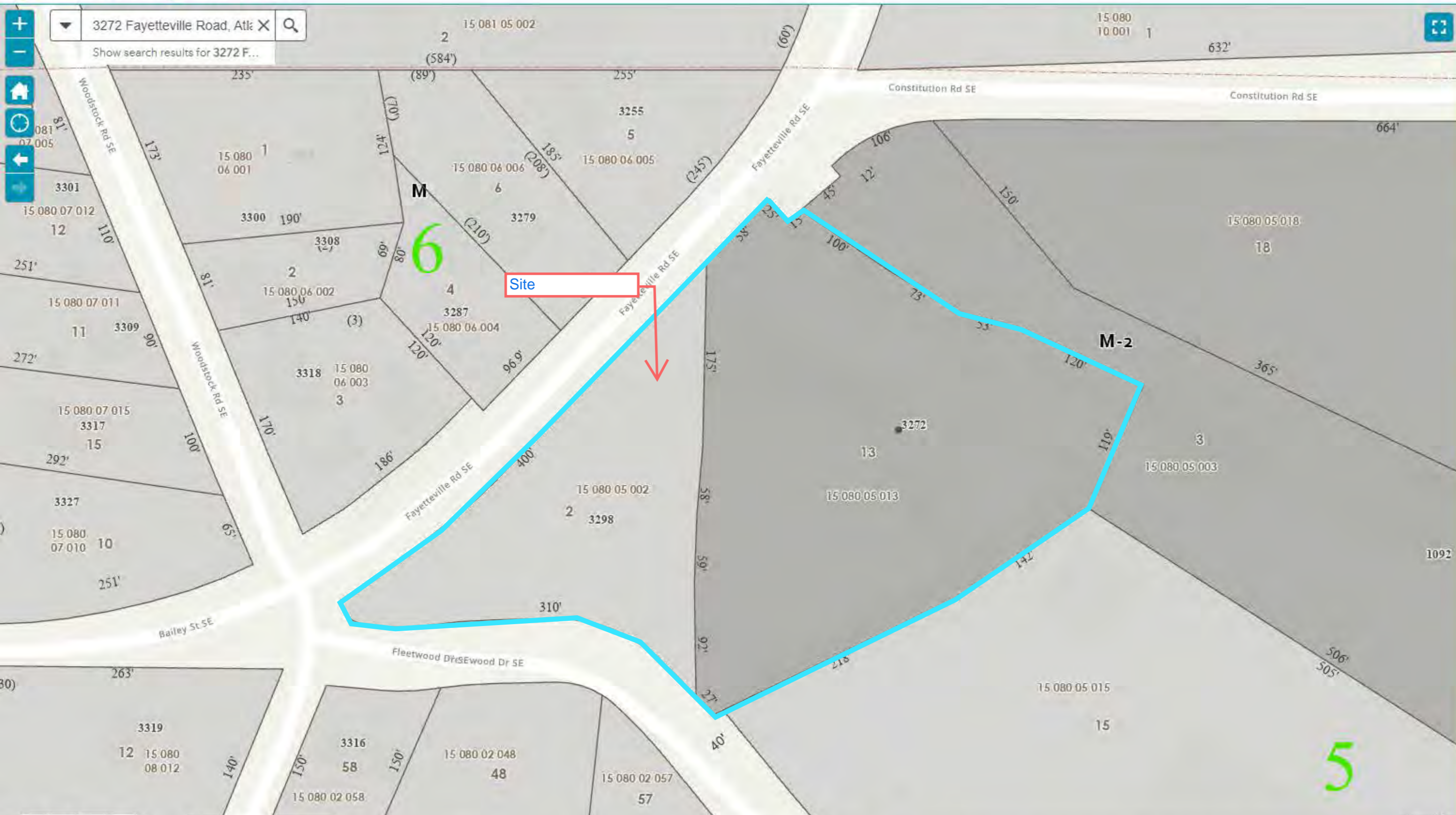
[Realm Land Services](#)

**3 – Copy of
Occupancy Permits
and/or
Special/Conditional
Use Permit (N/A –
Property is a vacant
lot)**

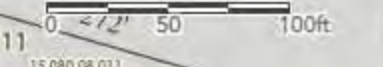
4 – Zoning Map

3272 Fayetteville Road, Atl X

Show search results for 3272 F...



- Zoning District
 - NS
 - C-1
 - C-2
 - OIT
 - OI
 - OD
 - M
 - M-2
 - MultiZone
 - MU-1
 - MU-2
 - MU-3
 - MU-4
 - MU-5
 - RE
 - RLG
 - R-100
 - R-85
 - R-75
 - R-60
 - MHP
 - RNC
 - RA
 - RDTE
 - RSM
 - MR-1
 - MR-2
 - HR-1
 - HR-2
 - HR-3
- Landuse
- Flood



-84.3458 33.6888 Degrees

5 – Bulk Restrictions, Permitted Uses, and Parking Requirements from the Zoning Ordinance

Sec. 2.24.1. - Dimensional requirements.

Dimensional requirements including overall site requirements, lot dimensions, setbacks, and heights for Non-Residential Districts are provided in Table 2.24, "Non-Residential Zoning Districts Dimensional Requirements." Building setback, height and lot width may be tied to lot size compatibility, averaging as defined and required in [article 5](#).

Table 2.2 Non-Residential Zoning Districts Dimensional Requirements

Non-Residential Districts								
KEY: Character Areas: RC: Regional Center, TC: Town Center, NC: Neighborhood Center, SUB: Suburban								
Element	OIT	OI	NS	C-1	C-2	OD	M	M2
Overall Site Requirements (minimum, unless otherwise specified)								
Dimensional Requirements								
Lot area (min. square feet)	7,500	20,000	20,000	20,000	30,000	30,000	30,000	2 acres for heavy ind. & uses req'g SLUP, 1 acre for all other uses

Single-Family Attached Lot Area (Avg. per dwelling unit sq. ft.)	4,000	Not permitted	Not permitted	Not permitted	Not permitted	Not permitted	Not permitted	Not permitted
Lot width, street frontage (feet)	75	100	100	100	100	100	100	150
Lot coverage (maximum percentage)	80	80	80	TC/RC: 90 All other: 80	TC/RC: 90 All other: 80	80	80	80

Open Space Requirements

Sites with 5,000—39,999 sq. ft. gross floor area (minimum %)	15	15	15	10	10	15	15	15
Sites with 40,000 [sq. ft.] gross floor area (minimum %)	20	20	20	20	20	20	20	20

Transitional buffer (feet)

Article 5, division 4

Building Setback Requirements (minimum, unless otherwise specified)

Urban Character Areas (Town Center, Regional Center)								
Front thoroughfares and arterials (min./max. feet)	20/60	20/50*	10/60	20/60	20/60	Not permitted	Not permitted	Not permitted
Front - all other streets (min./max. feet)	10/60	10/60*	5/60	10/60	10/60	Not permitted	Not permitted	Not permitted
Side - interior lot (feet)	20	20*	20	15	15	Not permitted	Not permitted	Not permitted
Side - corner lot on public streets (feet)	30	15*	15	30	30	Not permitted	Not permitted	Not permitted
Rear (feet)	20	20*	20	20	20	Not permitted	Not permitted	Not permitted
All Other Character Areas								
Front thoroughfares and arterials (feet)	40	60*	30	60	60	75	60	60
Front - all other streets (feet)	30	50*	20	50	50	75	60	60

Side - interior lot (feet)	20	20*	20	20	20	20	20	20
Side - corner lot on public streets (feet)	40	50*	15	50	50	50	60	60
Rear (feet)	30	30*	20	30	30	30	30	30

Unit Size (residential: heated living area)

Floor area of attached dwelling unit of Multi-Family (min. sq. ft.)	1,000	1,000 ¹	Not permitted	Not permitted	Not permitted	Not permitted	1,000	Not permitted
Floor area of live/work dwelling unit (residential portion only - min. sq. ft.)	650	650	650	650	Not permitted	Not permitted	650	Not permitted
Floor area per individual building (maximum sq. ft.)(non-res)	N/A	N/A	50,000	No maximum	No maximum	No maximum	No maximum	No maximum

Height (maximum without a special land use permit (SLUP))**

Height (feet)	2 story/35 feet	5 story/70 feet	2 story/35 feet	2 story/35 feet	2 story/35 feet	2 story/35 feet	**	**
Transitional height plane (see article 5)	No	Yes	No	No	No	Yes	Yes	Yes

1 For existing O-I zoned properties in activity centers, existing, high-rise structures that have been vacant for longer than three years may be adaptively reused for residential development with a minimum dwelling unit size of no less than 400 square feet.

* If located next to single-family residential and the building will exceed 35 feet, the building setback from SF residential shall be increased 50%.

** Fire department and rescue services must approve over 3 stories to assure adequacy of fire protection facilities.

*** 5 story/70 feet if in an activity node, 2 story/35 feet outside an activity node, unless obtaining a SLUP for up to 5 story/70 feet.

(Ord. No. 15-06, 8-25-2015; Ord. No. 2022-2542, Pt. I, 1-26-2023)

27-5.4 DIVISION 4. - STREETScape AND LANDSCAPING REQUIREMENTS

Sec. 5.4.1. - Purpose and intent.

The requirements and regulations for landscaping in DeKalb County are a critical public concern that are necessary in order to preserve and enhance property values, the aesthetic beauty of the county, and the safety and general welfare of its residents. The intent of landscape regulations is to:

- A. Provide buffering between non-compatible land uses.
- B. Protect, preserve, and promote aesthetic appeal and scenic beauty.
- C. Reduce noise pollution and air pollution.
- D. Reduce stormwater run-off, erosion and degradation of water quality.
- E. Filter and reduce glare from artificial light sources.
- F. Provide shaded areas along streets and in parking areas.
- G. Reduce solar heat islands.

(Ord. No. 15-06, 8-25-2015)

Sec. 5.4.2. - Applicability.

- A. *New developments, principal building or use.* The requirements and regulations for streetscape and landscaping apply to principal buildings, new developments or open uses of land constructed or established after the effective date of this zoning ordinance.
- B. *Change of use, expansions or reconstruction.* Where a change of use, expansion to, or reconstruction of an existing building or site improvement(s) (such as parking lots) impact streetscape and/or landscape improvements, the landscaping requirements shall apply only to the area disturbed in the development process.
- C. *Publicly owned buildings.* To the extent allowed by law, the requirements and regulations for streetscape and landscaping apply to improvements to land owned by public agencies except utility rights-of way or easements.

(Ord. No. 15-06, 8-25-2015)

Sec. 5.4.3. - Streetscape elements and dimensions.

All development shall comply with the streetscape element requirements described below and in Table 5.1. Topping of canopy trees within this section is prohibited.

A. *Streetscape dimensions and placement.*

1. *New streets.*

- a. *Applicability.* New streets shall be constructed with continuous streetscape zones on both sides of the street, beginning from back of curb.
- b. *Streetscape zone elements for new streets.* The streetscape zone on new streets shall consist of a landscape strip, a sidewalk, and, when required per Table 5.1, a supplemental zone.
- c. *Sidewalks.* Sidewalks shall be provided between the landscape strip and the supplemental zone, as required in Table 5.1 and the figures following the table.
- d. *Landscape strips.*
 - i. Landscape strips shall be located between the curb and the sidewalk.
 - ii. Landscape strips shall be designed with street trees and pedestrian scale streetlights as required in Table 5.1 and the figures following the table.
 - iii. See subsection C. for planting and materials requirements.
 - iv. Large scale retail has additional landscape standards adjacent to streets as provided in section 5.7.8.
- e. *Supplemental zone.* New streetscape zones in non-residential areas shall provide a supplemental zone outside the right-of-way on a private easement. Private easement agreements shall be submitted to the director of planning. See subsection D.

(2) *Improvements on existing streets.*

- a. *Applicability.* New development and redevelopment occurring on existing streets shall provide a streetscape zone on the side of the street where the development takes its access.
- b. *Streetscape zone elements for existing streets.*

- i. The streetscape zone for existing streets shall consist of a minimum of eleven (11) feet along the existing shoulder, as indicated in Table 5.1.
 - ii. The streetscape zone for existing streets shall consist of a landscape strip and a sidewalk, as shown in Table 5.1 and the figures following the table.
- c. *Sidewalk and landscape strip dimensions.* The width and location of sidewalks and landscape strips shall be determined by the director of public works based on GDOT standards, if applicable, and compatibility with existing sidewalks and utilities.
- d. *Landscape strips.*
- i. Landscape strips shall be located between the curb and sidewalk, and/or between the sidewalk and the property line. The required total width of the landscape strip may be distributed on either side of the sidewalk so as to accommodate existing infrastructure.
 - ii. Landscape strips shall be designed with street trees and pedestrian scale streetlights as shown in Table 5.1 and the figures following the table.
 - iii. See subsection C. for planting and materials requirements.
 - iv. Large-scale retail has additional landscape standards as provided in [section 5.7.8](#).
- e. *Programmed road improvement projects.* If DeKalb County or GDOT has a programmed road improvement project along the frontage to be developed, then the streetscape shall be constructed consistent with the design standards for such road improvements plans.
- f. *Administrative variance.* The director of planning shall have the power to grant administrative variances for streetscape requirements on existing streets upon written request by the property owner and compliance with [article 7](#) based on a finding that the requirement of the subsection A.2. would have a significant adverse effect on the historic pattern or cannot be met due to circumstances beyond the control of the applicant, including, but not limited to:
- i. Inadequate right-of-way;
 - ii. Conflicting standards between this section and GDOT design standards;
 - iii. Unique topographic or subsurface conditions;
 - iv. Need to relocate existing utilities.

B. *Sidewalks and interior walks.*

1. Sidewalks shall be paved in concrete and paver accents approved by the director of planning and kept clear and unobstructed for the safe and convenient use of pedestrians.
2. Sidewalks shall adhere to ADA guidelines.
3. Sidewalks shall be continued across intervening driveways by continuation of the sidewalk paving materials or other methods of differentiation.
4. Where newly constructed sidewalks abut existing sidewalk(s), the newly constructed sidewalk shall provide safe transition of pedestrian traffic flow to the adjacent sidewalk(s). Development that disturbs existing sidewalks on another property shall replace disturbed areas to their pre-disturbance state and condition.
5. For uses other than single-family residential, safe and convenient paved pedestrian pathways shall be provided from sidewalks along streets to each building entrance, including pedestrian access routes to parking decks and through parking lots and between adjacent buildings, transit stops, street crossings within the same development. All such pathways shall have a minimum width of three (3) feet.

C. *Landscape strip materials and maintenance.*

1. *Required mix of materials.* Landscape strips in the streetscape zone shall be planted with a variety of deciduous, over story and understory trees. Species of shrubs, flowering plants, grass and other ground covers, which are well adapted to the local climate, may be included in the landscape strip.
2. *Sidewalks.* Sidewalks shall be paved in concrete and paver accents approved by the director of planning and kept clear and unobstructed for the safe and convenient use of pedestrians.
3. *Pedestrian crossing.* Landscape strips may include brick, concrete, or granite pavers where on-street parking is provided or regular pedestrian crossing of the landscape strip is reasonably anticipated to occur.
4. *Maintenance.* Required landscape strips shall be established and maintained by the owner(s). Topping of canopy trees is prohibited.
5. *Permanent structures.* Permanent structures such as buildings, driveways that are not perpendicular to the landscape strip, parking spaces, dumpsters, drainage structures and detention facilities shall be prohibited in required landscape strips. The prohibition of this subsection shall not include crossings perpendicular to the strip, necessary retaining walls four (4) feet or lower, bike racks, benches, trash receptacles, signs, mailboxes, and drainage swales.

6. *Planting specifications, all trees.*

- a. Planting areas for trees shall contain a minimum depth of twelve (12) inches of screened topsoil. Below twelve (12) inches the soil shall be un-compacted to a depth sufficient to allow proper drainage and root growth.
- b. Use of root barriers such as U.B.36 or an equivalent is required at the back of the sidewalk or back of the curb if no sidewalk exists.
- c. Trees shall meet the standard for American Nursery Stock ANSI Z60.1.

7. *Street trees.*

- a. Street trees shall be overstory trees unless site constraints prohibit the use of large maturing trees, subject to the approval of the director of planning.
- b. Street trees shall be provided with spacing as depicted in Table 5.1.
- c. Street trees shall not be planted closer than twenty (20) feet from the curb line of intersecting streets and not closer than ten (10) feet from intersecting lines of alleys or private drives.
- d. Street trees shall not be planted closer than twelve (12) feet from light standards. No new light standard location shall be positioned closer than ten (10) feet to any existing street tree.
- e. Street trees shall not be planted closer than two and one-half (2.5) feet from the back of the curb.
- f. Where there are overhead power lines, street tree species are to be chosen from a list provided by the county arborist that will not interfere with those lines.
- g. Street trees, as they grow, shall be pruned to provide at least eight (8) feet of clearance above sidewalks and twelve (12) feet above driveways and roadway surfaces.
- h. Street trees shall be a minimum of two-inch caliper measured at six (6) feet above ground level at the time of planting and shall have a mature height of at least twenty-five (25) feet.
- i. Street trees shall be planted in a mulched area of at least twenty-five (25) square feet.

D. *Supplemental zone.*

1. In supplemental zones in commercial areas where building setbacks are fifteen (15) feet or less, the supplemental zone must contain hardscape and street furniture such as trash receptacles, bike racks, and benches.
2. For additional requirements for supplemental zones abutting parking lots, see [section 5.4.4](#).

- E. *[Street lighting.]* Street lighting shall be accomplished with pedestrian scale lighting and street lights. Street lights shall be placed on property lot lines abutting the street. Lighting plans must be approved by the department of public works. Lighting shall be installed by local power company employees or contractors.
- F. *[Administrative variance.]* An administrative variance to streetscape standards may be granted by the director of planning for adaptive reuse and redevelopment projects as specified in this section or to preserve historic patterns. In addition to other required materials, an applicant for an administrative variance to the streetscape standards shall include a site plan, drawn to scale, showing the existing right-of-way and specific conditions of the lot.

Table 5.1 Required Streetscape Dimensions

Required Streetscape Dimensions (Minimum, unless stated)						
New Streets						
Street Type	Streetscape Zone				Landscape Strip Elements	
	Total Width	Landscape Strip	Sidewalk	Supplemental Zone	Light Pole Spacing (Max)	Street Tree Spacing (typical*)
Local Residential	11'	6'	5'	NONE	100'	30'
Local Non-residential	22'	6'	6'	10'	80'	50'
Arterial and Collector Non-residential & Mixed Use	20'	10'	6'	4'	80'	40' in Activity Centers
						50' outside Activity Centers

Required Streetscape Dimensions (Minimum, unless stated)						
Existing Streets						
Street Type	Streetscape Zone				Landscape Strip Elements	
	Total Width	Landscape Strip	Sidewalk	Supplemental Zone	Light Pole Spacing (Max)	Street Tree Spacing (typical*)
Local Residential	11'	6'	5'	NONE	100'	30'
Local non-residential	12'	6'	6'	NONE	80'	50'
Arterial and Collector Non-residential & Mixed Use	16'	10'	6'	NONE	80'	40' in Activity Centers
						50' outside Activity Centers
*Location of street trees is subject to infrastructure and utility locations and approval by the county arborist and GDOT if state roads.						



Streetscape Figure—Local Streets, Single Family Residential Districts



Streetscape Figure—Local Streets, all Other Districts



Streetscape Figure—Arterial and Collector Streets

(Ord. No. 15-06, 8-25-2015)

Sec. 5.4.4. - Site and parking area landscaping.

- A. *Single-family residential lots.* Each single-family residential lot on which new development occurs shall be planted with a minimum of three (3) new trees. Street trees along the lot frontage shall count towards this requirement. The species and specifications for the trees to be planted in compliance with this requirement shall meet the requirements of a list approved by the county arborist.
- B. *Interior strips.* Interior to non-residential, mixed-use and multi-family developments, three-foot wide planted landscape strips shall be required along all interior drives and pedestrian paths.
- C. *Property perimeter landscape strip.* Along non-residential, mixed-use and multi-family development perimeter lot lines, a perimeter landscape strip shall be required, as follows:
 1. A five-foot-wide continuous perimeter landscape strip is required along all property lines that are not subject to streetscape requirements. This applies to individual tenant sites interior to a master planned project, even in instances where individual tenant sites do not have separately platted lot lines.
 - 2.

A perimeter landscape strip shall include one (1) overstory deciduous shade tree, or three (3) understory or three (3) evergreen trees, for every fifty (50) linear feet at a minimum size of two-inch caliper for deciduous trees and eight-foot height for evergreen trees.

3. A perimeter landscape strip is not required where a transitional buffer is also required.

D. *Parking area landscaping.* All surface parking lots that contain a total of fifteen (15) or more parking spaces that are constructed or redeveloped subsequent to the effective date of this chapter shall comply with the following requirements:

1. A minimum of ten (10) percent of the total lot area of the parking lot shall be landscaped.
2. Non-continuous barrier curbs shall be installed around the perimeter of the parking lot and around landscaped areas that are required herein, except where the perimeter abuts an adjacent building or structure and except at points of ingress and egress into the facility, so as to prevent encroachment of vehicles onto adjacent property, rights-of-way, sidewalks and landscaped areas.
 - a. Barrier curbs shall be a minimum of six (6) inches in height and six (6) inches in width, shall be concrete or stone, shall be securely installed, and shall be maintained in good condition.
3. A continuous hedge, berm, or short wall with landscaping thereon, not to exceed three (3) feet in height shall be required between surface parking and an adjacent public street right-of-way.
4. Tree and island quantity. A minimum of one (1) overstory tree per eight (8) parking spaces, and one (1) island per ten (10) parking spaces, shall be provided and maintained. No parking space shall be more than forty (40) feet from a tree.
5. Landscape islands. All trees planted in a parking lot shall be planted in a landscape island, which island shall be a minimum of two hundred fifty (250) square feet.
6. In addition to trees, ground cover shall also be provided in order to protect tree roots and to prevent erosion. Ground cover shall consist of shrubs, ivy, lirioppe, pine bark mulch, or other similar landscaping material.
7. Ground cover shrubs in parking area landscaping shall be maintained at a maximum height of thirty (30) inches, except where such shrubs are screening the parking surface from an adjacent residential area.
8. Newly planted trees in parking area landscaping shall be a minimum of two-inch caliper as measured at a height of six (6) inches above ground level, shall be a minimum of ten (10) feet in height at planting, shall have a thirty-foot minimum mature height, and shall be drought tolerant. Trees shall be planted at least thirty (30) inches from any barrier curb, so as to prevent injury to trees from vehicle bumpers. A minimum of seventy-five (75) percent of the trees planted pursuant to these requirements shall be deciduous hardwood shade trees.

9. All landscaped areas shall be properly maintained in accordance with landscape plans approved as part of the land disturbance permit. In the event that a tree or any plant material dies, it shall be replaced within twelve (12) months so as to meet all requirements of this section and to allow for planting in the appropriate planting season.
10. All trees planted pursuant to the requirements of this section shall be counted for the purpose of meeting the tree planting and tree replacement requirements required by section 14-39 of the Code.

(Ord. No. 15-06, 8-25-2015; Ord. No. 2022-2550, Pt. I, 1-26-2023)

Sec. 5.4.5. - Transitional buffers.

- A. *Intent.* Transitional buffers are intended to create a visual screen in order to diminish the potential negative impacts of non-residential and mixed land uses on adjacent residential land uses. Similarly, transitional buffers diminish the potential negative impacts of higher intensity residential development on adjacent single-family residential land uses.
- B. *General requirements.* Natural or planted transitional buffers required by this article shall be established and permanently maintained by the property owner as follows:
 1. The required transitional buffer shall be depicted in detail on each site plan or plat prior to final approval. Type and location of natural and planted vegetation shall be included.
 2. Within the transitional buffer, the natural topography of the land shall be preserved and existing growth shall not be disturbed except where necessary to remove dead or diseased trees and undergrowth or to enhance the buffer with additional landscaping in order to provide a screen so as to prevent view of the higher density development from the lower density development.
 3. Grading or construction adjacent to the transitional buffer zone shall not disturb or encroach upon the transitional buffer zone.
 4. Notwithstanding subsection 3., if grading is required in the transitional buffer in order to prevent or control erosion, the area of such grading shall cover no more than twenty (20) percent of the required transitional buffer, shall be immediately replanted upon completion of easement improvements and shall avoid disturbance of the soil within the dripline of trees within the transitional buffer.
 5. Any approved utility crossings shall be perpendicular to the transitional buffer.
 6. A pedestrian walkway, a maximum width of five (5) feet, may be located in the buffer to provide pedestrian access to the adjoining property. Where a pedestrian walkway is provided, a gate shall be installed in the required screening fence.
 - 7.

If existing vegetation in a buffer area does not meet the transitional buffer standards, a five-foot high, landscaped berm may be installed subject to the approval of the county arborist. Grading to construct the berm shall not remove significant plants designated by the county arborist as part of the approval of the landscaped berm.

C. *Buffer planting and materials.* When the conditions of the existing natural topography and vegetation are insufficient to achieve the visual screening required by this section, a landscape planting plan to enhance the transitional buffer shall be prepared and implemented to supplement existing natural growth or to provide new plant materials of such growth characteristics as will provide a screen meeting the standards below:

1. *Planting height.* Proposed planting as part of an enhanced transitional buffer shall have a height of at least six (6) feet at the time of planting and planted in a minimum of two (2) rows, with staggered on center spacing such that a continuous opaque screen is created within two (2) years of planting.
2. *Plant types.* Plant species in an enhanced transitional buffer shall be evergreen, native, naturalized or other species well-adapted to the local climate and rainfall patterns, disease and pest-free, healthy and vigorous, and meet standard for American Nursery Stock, ANSI Z60.1.
3. *Plant functions.* Plants shall be approved from a list made available from the planning department, but shall not be exclusive of other plants which may be suitable, provided they can provide a continuous opaque screen.
4. *Fences.* Fences are required with transitional buffers and shall meet the requirements of [section 5.4.7](#).
5. *Wall and fence finishes.* Walls and fences shall be constructed with the finished or decorative side facing outward from the property.

D. *Buffer dimensions and specifications.* Table 5.2(a) identifies the transitional buffer class required for each zoning district based on the zoning district to which it is adjacent. Table 5.2(b) summarizes the minimum width of the required transitional buffer for each transitional buffer class (A-E).

Table 5.2(a): Transitional Buffer Class by District

Transitional Buffer Class by District	
Districts	Adjacent District

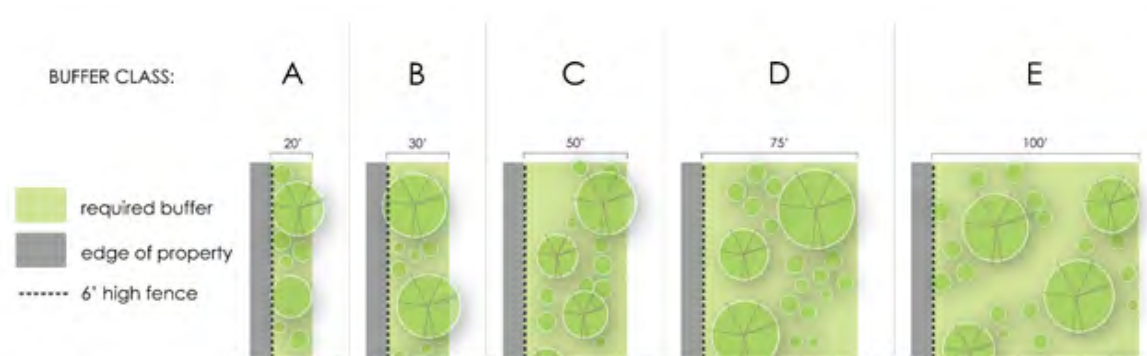
Residential Districts	R*	MHP	RNC	RSM	MR-1	MR-2	HR-1-3	MU-1	MU-2	MU-3	MU-4	MU-5
MHP	C	-	-	-	-	-	-	-	-	-	-	-
RNC	B	-	-	-	-	-	-	-	-	-	-	-
Mixed Residential Districts												
RSM**	A	C	A	-	-	-	-	-	-	-	-	-
MR-1**	B	C	B	B	-	-	-	-	-	-	-	-
MR-2**	C	C	C	C	C	-	-	-	-	-	-	-
HR-1-3**	C	C	C	C	B	B	-	-	-	-	-	-
Mixed-Use Districts												
MU-1	B	B	B	B	-	-	-	-	-	-	-	-
MU-2	C	B	B	B	B	-	-	-	-	-	-	-
MU-3	C	C	C	B	A	B	B	B	B	-	-	-
MU-4	C	C	C	B	A	B	B	B	B	-	-	-
MU-5	C	C	C	B	A	B	B	B	B	-	-	-

Non-Residential Districts												
OI	C	C	C	C	C	C	C	B	B	B	-	-
OIT	C	C	C	C	C	C	C	B	B	B	-	-
NS	C	C	C	C	C	C	C	A	A	A	-	-
C-1	C	C	C	C	C	C	C	B	B	B	-	-
OD	D	D	D	D	D	D	D	D	D	D	D	D
C-2	C	C	C	C	C	C	C	B	B	B	B	B
M	D	D	D	D	D	D	D	D	D	D	D	D
M-2	E	E	E	E	E	E	E	E	E	E	E	E
<p>* R= RE, RLG, R-100, R-85, R-75, R-60 (except when R-60 use is single-family attached)</p> <p>** Where the Mixed Residential District has single-family units along an adjacent residential (R) boundary, then a transitional buffer is not required.</p>												

Table 5.2(b):Transitional Buffer Minimum by Buffer Class

Transitional Buffer Minimum Width by Buffer Class	
Buffer Class	Width

A	20'
B	30'
C	50'
D	75'
E	100' with fence



Transitional Buffers Figure

(Ord. No. 15-06, 8-25-2015)

Sec. 5.4.6. - Screening.

Trash and recycling areas, loading areas, mechanical and utility equipment, parking decks, detention facilities, and outdoor storage shall be surrounded by opaque fences, walls, or vegetation. Vegetative screening shall be at least seventy-five (75) percent evergreen, with a minimum of two (2) rows of plants, and shall grow to a height of six (6) feet in two (2) years.

- A. *Loading areas.* All loading areas must be screened from view so as not to be visible from any public street or adjacent property.
- B.

Trash and recycling areas. All dumpsters must be screened from view on all four (4) sides so as not to be visible from adjacent properties and the public street. The screen may incorporate access to the dumpster by using a wood fence or other opaque device to serve as a gate.

- C. *Parking decks.* All parking decks and above-ground parking structures shall have a six-foot wide landscape strip immediately contiguous to the façade of the parking deck or structure, unless otherwise screened from view by an intervening building.
- D. *Mechanical and utility equipment.* All mechanical and utility equipment must be screened from view so as not to be visible from any public street.
- E. *Detention facilities.* In addition to fencing requirements set forth in chapter 14 of the Code, detention facilities shall be planted with evergreen plant material consistent with buffer standards in section 5.4.5.C. No trees shall be allowed in the ten-foot maintenance shelf. However, detention facilities "designed as open space amenities" may be approved by the director of planning and in compliance with division 5 of this article. A detention facility located in a historic district that is subject to architectural design review shall require a certificate of appropriateness, for appearance only, from the DeKalb County Historic Preservation Commission.
- F. *Outdoor storage.* See section 4.2.38 for screening regulations for outdoor storage of materials, supplies, equipment or vehicles regulations.

(Ord. No. 15-06, 8-25-2015)

Sec. 5.4.7. - Walls, fences, and retaining walls.

Freestanding Walls and Fences.

- A. *General provisions, freestanding walls and fences.*
 1. When this chapter requires a wall or fence to be constructed, the wall or fence shall be completed prior to the issuance of a certificate of occupancy for the principal structure.
 2. No wall or fence shall be constructed in any public right-of-way.
 3. See Table 5.3 Freestanding fence and wall standards for additional requirements.
 4. The height of a wall or fence is measured along the adjacent finished grade. However, if located within fifteen (15) feet of any street, and if the street grade is above the adjacent finished grade, the fence or wall height may be measured from the street. Grade and height shall be determined by a registered surveyor or licensed engineer.

5. No freestanding walls or fences may be composed of exposed common concrete block, tires, junk, pallets, railroad ties, loose stone, vinyl and other discarded materials.
6. With the exception of M and M-2 zoning districts, freestanding walls or fences erected within the front yard shall be constructed of brick, stone, wood, wrought iron, or material simulating wrought iron. Any other material, including but not limited to, chain link and other wire fences are prohibited in the front yards of all districts, with the exception of M and M-2 zoning districts.
7. Fences and walls in the M and M-2 zoning districts where exempt from regulations governing the height and materials shall not impede necessary safe line of sight for entry and egress.
8. Security entrance gates in multifamily or non-residential districts shall be located at least fifty (50) feet from the property line in order to ensure safe queuing, ingress to and egress from the property.
9. Temporary fencing may be erected during construction for security and public safety purposes, provided that it does not impede necessary safe line of sight for entry and egress.
10. Fence gates in single family residential may be six (6) feet in the front yard. Gates shall be set back a minimum of fifteen (15) feet from right-of-way.

Retaining Walls

C. General provisions, retaining walls and wing walls.

1. Retaining walls shall be located outside the public right-of-way.
2. Retaining walls shall be located within the confines of the owner's/applicant's property.
3. Retaining walls shall comply with applicable easement restrictions.
4. Retaining walls shall not be located within undisturbed stream buffers, transitional buffers, floodplains, drainage easements, or drainage ways in a manner that impedes the flow of water.
5. Retaining walls four (4) feet or more, measured from finished grade shall be constructed of reinforced concrete or other masonry materials, or gabion/vegetative gabion walls. Treated timbers may be used for walls less than four (4) feet in height and no permanent structure is supported by the soil retained by the retaining wall.
6. No signage shall be placed on top of walls.

D.

Retaining walls on single family lots. Retaining walls on lots under construction for single-family dwellings shall abide by the following: (i) the entire wall structure, including footing, shall not encroach on adjacent property. (ii) drainage shall be properly conveyed along the length of the wall in conformance with construction standards, and (iii) a construction/maintenance easement shall be obtained from the adjoining property owner, if applicable.

1. Newly constructed retaining walls shall not be higher than four (4) feet measured from finished grade; however, existing retaining walls may be repaired and replaced so long as the height of the repaired or replaced wall is no greater than the original height of the wall.
2. Wing walls that are integrated with the foundation of the structure shall not exceed four (4) feet in height, without a variance. Wing walls may extend into the front or rear yard for a distance not to exceed ten (10) feet and into the side yard to a point not closer than five (5) feet from the side lot line. If a wing wall turns direction, from that point it is no longer a wing wall and is considered a retaining wall. Wing walls exceeding thirty (30) inches above finished grade must have a guardrail, a minimum of thirty-six (36) inches and a maximum of forty-eight (48) inches in height. Wing walls may not exceed twelve (12) inches above grade at the higher side elevation.
3. Retaining walls may be tiered but no single wall shall exceed four (4) feet in height. All tiered wall design shall be certified by a licensed engineer.
4. Retaining walls on building lots must be included on the final plat and/or the building permit plans.
5. All retaining walls constructed as a drainage component, as described in GA. Soil and Water Conservation Commission Green Book, shall require design by a licensed engineer.
6. A variance is required to increase the height of a retaining wall as follows:
 - a. If exceptional topographical restrictions exist that were not created by the owner or his agent on a lot, and it is established to the reasonable satisfaction of the director of planning that no practical alternative design of such wall is feasible, then the director of planning may, upon application therefore, grant an administrative variance allowing a wall up to six (6) feet. An applicant for a retaining wall administrative variance shall include with the application a certified field-run site plan or a topographical map certified by a licensed engineer or landscape architect.
 - b. If exceptional topographical restrictions exist that were not created by the owner or his agent on the lot, and it is established to the satisfaction of the zoning board of appeals that no practical alternative design of such wall is feasible, the zoning board of appeals may, upon application therefor, grant a variance allowing newly constructed retaining walls to be up to eight (8)

feet. Notwithstanding any provision in this chapter to the contrary, no variance may be granted to allow the height of a retaining wall above eight (8) feet. In addition to the materials otherwise required for a variance in division 5 of article 7 of this chapter, an applicant for a retaining wall variance shall provide a certified field-run site plan or a topographical map certified by a licensed engineer or landscape architect with the application for the variance.

E. *Retaining walls standards for development under a land disturbance permit.*

1. Retaining walls above grade and when the wall is facing adjoining residential or non-residential zoned or used property shall be as indicated in Table 5.3.
2. Any single or tiered retaining wall over the maximum height shall be approved by the zoning board of appeals. The zoning board of appeals shall consider the following in making a decision:
 - a. Grading changes necessitated for gravity flow and sewer connections.
 - b. Grading changes necessitated to meet chapter 14 road construction standards.
 - c. Extremely steep slope, greater than three (3) to one (1) topographical changes on site as compared to adjacent existing subdivision.
 - d. Structural engineer's sealed and signed statement of their evaluation of the consequence of retaining wall failure and recommendations for reducing the consequence and risk of failure in the event of failure. This may include increasing the required factors of safety for sliding, overturning, bearing capacity, and global stability. The applicant shall provide a plan of action to include additional setbacks from both sides of the retaining wall, frequency of inspection, and maintenance practices.
 - e. Whether the wall height is necessary to address life/safety.
 - f. A variance to increase height granted by the ZBA may result in an increased setback.
3. The setback area between the wall and the property line shall be planted to provide a screen.
4. Retaining walls over six (6) feet may be tiered, up to twelve (12) feet facing residential or sixteen (16) feet facing non-residential without a variance. The wall design shall be submitted by a licensed engineer and be approved by the department.
5. Tiered walls shall have a maximum height of six (6) feet per tier facing residential and eight (8) feet per tier facing non-residential. Depth of bench shall meet engineering specifications. Bench area shall be landscaped.
- 6.

Bench between tiered walls shall be a minimum five-foot in depth, and landscaped. Any proposed plantings shall not have a negative impact on the retaining wall system.

7. Landscaping in front of retaining walls shall meet the standards of section 27-5.4.5 Buffer planting and materials. Plant materials used on tiered walls may include shrubs and vines and other plants that do not impact the integrity of the walls.

F. Retaining walls shall be shown on sketch plats, land disturbance permit plans, final plats, and building plans.

G. *Permitting and inspection of retaining walls.*

1. Retaining walls that are four (4) feet or more in height measured from the finished grade to the top of wall shall be certified by a licensed engineer. A building permit and building inspection are required.

2. For poured in place retaining walls, a footing inspection must be scheduled and successfully passed prior to pouring. Once the footing has been poured, a wall inspection shall be scheduled, performed and approved.

3. For treated lumber tie-walls, a wall inspection shall be scheduled and successfully passed for verification of adequate dead-men and proper drainage design for the wall prior to backfill material being installed.

4. After the wall is completely finished, an as-built certification is required before a certificate of occupancy is issued.

Table 5.3 Fence and Wall Standards

<p>Freestanding walls and fences</p> <p>(other than retaining walls)</p>			
Use	Height	Setbacks	Variance Allowed

Fences in the front yard and side corner yard of single family detached residences	Up to four (4) feet from finished or street grade.	Shall not be within the right-of-way	Administrative variance required to increase wall height from four (4) to six (6) feet based on topography. May apply for a variance from zoning board of appeals to increase height up to eight (8) feet max.
Fences and walls in interior side or rear yards of single family detached residential	Up to eight (8) feet.	Fences may be up to property line; walls, including footings, must not encroach over property line.	May apply for a variance from zoning board of appeals to increase height up to ten (10) feet max.
Fences and walls on the perimeter of single family detached, attached and multifamily developments (i.e., privacy, decorative)	Six (6) feet adjoining the street, eight (8) feet all other property lines	Fences may be up to property line; walls, including footings, must not encroach over property line. Shall not be within the right-of-way.	May apply for a variance from zoning board of appeals to increase height up to ten (10) feet max.
Industrial	No limit if adjoining non-residential use. Eight (8) feet if adjoining residential zoning or use	Fences may be up to the property line; walls, including footings, must not encroach over property line. Shall not be within the right-of-way	If next to residential, may apply for a variance from zoning board of appeals to increase height up to ten (10) feet max.

Single-family subdivisions and multi-family developments identification or monument walls	Up to eight (8)	Shall not be located in right-of-way. Setback varies, depending on sight visibility.	May apply for a variance from zoning board of appeals to increase height up to ten (10) feet max).
Non-residential, and mixed-use zoning districts	Up to ten (10) feet if adjoining non-residential use. Eight (8) feet if adjoining residential zoning or use	Shall not be located in right-of-way. Setback varies, depends on sight visibility.	May apply for a variance from zoning board of appeals to increase height up to twelve (12) feet max.

Retaining walls (exposed height)			
Use	Height	Setbacks	Variance Allowed
Retaining walls for individual single family detached residences	Up to four (4) feet from finished or street grade.	Retaining walls may be up to property line, including footings, shall not encroach over property line. Shall not be within the right-of-way.	Administrative variance required to increase wall height from four (4) feet to six (6) feet based on topography. Variance from zoning board of appeals to increase height up to eight (8) feet max.

Wing walls for single family detached residences	Four (4) feet	May extend ten (10) feet in front and rear yard, five-foot setback from side property line	May apply for a variance from zoning board of appeals to increase height up to eight (8) feet max.
Retaining wall for all development under a land disturbance permit adjacent to any residential district or use.	Max. six (6) feet. Tiered walls up to twelve (12) feet without variance.	Ten-foot setback from property line, reserved for landscaping. Landscape material shall have mature height as high as or higher than wall. A minimum five-foot bench on tiered walls, landscaped.	May apply for a variance from zoning board of appeals to increase height above six (6) feet based on topography or unique site development conditions. Must be accompanied by engineer certification supporting need for increased height.

<p>Retaining walls for all development under a land disturbance permit adjacent to non-residential zoning district or use</p>	<p>Max. twelve (12) feet. Tiered walls up to sixteen (16) feet without variance. Exempt for walls screened by intervening building. Building must be as high as or higher than wall.</p>	<p>Ten-foot setback from property line, reserved for landscaping. Landscape material shall have mature height as high as or higher than wall. A minimum five-foot bench on tiered walls, landscaped</p>	<p>May apply for a variance from zoning board of appeals to increase height above twelve (12) feet based on topography or unique site development conditions. Must be accompanied by engineer certification supporting need for increased height.</p>
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(Ord. No. 15-06, 8-25-2015; Ord. No. 17-07, Pt. I, 12-12-2017)

Sec. 4.1.3. - Use table.

Table 4.1 indicates the permitted uses within the base zoning districts. Even though a use is listed as an allowable use within a particular base zoning district, additional use restrictions may apply based on the applicable overlay zoning district requirements specified in [article 3](#), overlay districts.

- A. The uses listed in Table 4.1 shall be permitted only within the zoning districts identified, and no use shall be established and no structure associated with such use shall be erected, structurally altered or enlarged unless the use is permitted as:
 1. A permitted use (P);
 2. A special use (SP) subject to the special land use permit application procedures specified in [article 7](#);
 3. An administratively approved use (SA) subject to the special administrative permit procedures specified in [article 7](#);
 4. An accessory use (Pa) as regulated by this [article 4](#). Table 4.1 does not list all accessory uses but clarifies uses acceptable as accessory, though not typically considered principal uses for the zoning classification.
 5. Uses lawfully established prior to the effective date of this zoning ordinance.
- B. Any use not listed in Table 4.1 below or interpreted to be allowed by the director of planning pursuant to [section 4.1.2](#) is prohibited. Any applicant denied a permit to allow a use of property in a zoning district other than as provided in this section may file an appeal before the zoning board of appeals as provided in [article 7](#).
- C. If there is a conflict between Table 4.1 and the text of this chapter, the text shall prevail.

Table 4.1 Use Table

KEY:	P - Permitted use												SA - Special administrative permit from director of planning												
	Pa - Permitted as an accessory use												SP - Special land use permit from BoC (SLUP)												
Use	RE	RLG	R-100	R-85	R-75	R-60	RSM	MR-1	MR-2	HR-1,2,3	MHP	RNC	OI	OIT	NS	C-1	C-2	OD	M	M-2	MU-1	MU-2	MU-3	MU-4,5	See Section 4.2
AGRICULTURAL																									
Agriculture and Forestry																									
Commercial greenhouse or plant nursery	P														P	P	P		P	P	P				✓

Temporary or portable sawmill	P																		P	P					✓	
Urban, community garden, up to 5 ac.	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	✓	
Urban, community garden, over 5 ac.	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA		
Animal Oriented Agriculture																										
Dairy	P																			P	P				✓	
Keeping of livestock	P	P	P	P	P							P								P					✓	
Keeping of poultry/pigeons	P	P	P	P	P							P								P					✓	
Livestock sales pavilion	P																				P				✓	
Riding academies or stables	P	P	P	P	P																				✓	
RESIDENTIAL																										
Dwellings																										
Dwelling, cottage home						P	P	P	P			P										P	P	P	✓	
Dwelling, mobile home											P									Pa	Pa				✓	
Dwelling, multi-family								P	P	P			P							SP	SP	P	P	P	P	
Dwelling, multi-family (supportive living)								P	P	P	P	P	P									P	P	P	P	✓

Dwelling, townhouse							P	P	P	P		P		P							P	P	P	P	✓	
Dwelling, urban single-family							P	P	P	P		P		P								P	P	P	P	✓
High-rise apartment										P			SP											P	P	
Dwelling, single-family (attached)							P	P	P	P				P								P	P	P	P	
Dwelling, single-family (detached)	P	P	P	P	P	P	P	P	P	P	P	P										P	P	P		
Dwelling, three-family							P	P	P	P		P										P	P	P	P	
Dwelling, two-family							P	P	P	P		P										P	P	P	P	
Dwelling, single-family, accessory (guesthouse, in-law suite)	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa												Pa	Pa	Pa	Pa	✓
Home occupation, no customer contact	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA										SA	SA	SA	SA	✓
Home occupation, with customer contact	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP										SP	SP	SP	SP	✓
Live/work unit								P	P	P			P	P		P	P		P	P	P	P	P	P	P	✓
Mobile home park											P															
Accessory uses or structures	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	✓
Housing and Lodging																										
Bed and breakfast	SP	SP	SP				SP	SP	SP	SP			P	P		P	P					P	P	P		✓

Bed and breakfast, home stay	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP		SP											✓		
Boarding/Rooming house								SP	P	P															
Convents or monasteries	SP	SP	SP	SP	SP	SP	SP	SP	SP				P	P							P	P	P	✓	
Dormitory													Pa	Pa		Pa	Pa	Pa	Pa		Pa	Pa	Pa	Pa	
Extended stay hotel/motel													SP			SP	SP				SP	SP	SP	✓	
Fraternity house or sorority house								SP	P	P			SP								P	P			
Hotel/Motel													P			P	P	P			P	P	P		
Nursing care facility or hospice								P	P				P	P		P	P				P	P	P	P	
Personal care home, community, 7 or more							SP	SP	P	P			P	SP	SP	P	P	P			P	P	P	P	✓
Personal care home, group, 4-6	SP	SP	SP	SP	SP	SP	SP	SP	SP	P	P	P	SP	P	SP	SP	P	P			P	P	P	P	✓
Child caring institution, group, 4-6	SP	SP	SP	SP	SP	SP	SP	SP	SP	P	P	P	SP	P	P	P	P	P			P	P	P	P	✓
Child caring institution, community, 7 or more							SP	SP	P	P			P	SP	SP	P	P	P			P	P	P	P	✓
Senior housing	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP							SP	SP	SP	SP	✓

Library or museum								P	P	P			P	P	P	P	P	P			P	P	P	P		
Cultural facilities								SP	SP	SP			SP	SP		SP	SP	SP	SP		SP	SP	SP	SP		
Recreation club	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP		SP						P						SP	✓	
Neighborhood or subdivision clubhouse or amenities	P	P	P	P	P	P	P	P	P	P	P	P	P	P							P	P	P	P	✓	
Places of worship	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP		SP	P	P	P	P	P	P	P	P	P	P	P	P	✓	
Recreation, outdoor																	P	P	P	P					✓	
Swimming pools, commercial	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	P	P		P	P	P	P			Pa	Pa	Pa	✓	
Tennis courts, swimming pools, play or recreation areas, community	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	P	P		P	P	P	P			Pa	Pa	Pa	✓	
Education																										
Colleges, universities, research and training facilities														P	P		P	P	P	P		P	P	P	P	
Private educational services, home occupation	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa		Pa							P			Pa	Pa			✓
Private kindergarten, elementary, middle or high schools	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	P	P		P	P	P				SP	SP	SP	✓	
Vocational schools													P	P		P	P	P	SP	SP	P	P	P	P	✓	

Alcohol outlet - package store, primary																SP	SP	P	P			SP	SP	SP	SP	✓	
Alcohol outlet - beer, and/or wine store, beer growler, primary																SP	SP	SP	P	P			SP	SP	SP	SP	✓
Alcohol outlet - beer and wine, accessory to retail less than 12,000 s.f. (see also [section] 4.2.8.F.)																SP	SP	SP	P	P			SP	SP	SP	SP	✓
Apparel or accessories store																P	P	P					P	P	P	P	
Art gallery								Pa	Pa	Pa						P	P	P	P				P	P	P	P	
Book, greeting card, or stationery store																P	P	P	P				P	P	P	P	
Camera or photography																P	P	P	P				P	P	P	P	
Commercial greenhouse or plant nursery																P	P	P		P			P				✓
Computer or computer software store																P	P	P	P				P	P	P	P	
Convenience store (see alcohol outlet or fuel pumps accessory)																P	P	P	P	P	P	P	P	P	P	P	✓

Office supplies and equipment store														P	P	P	P	P			P	P	P	P		
Pawn shop, title loan																P	P	P							✓	
Pet supply store														P	P	P	P	P			P	P				
Pharmacy or drug store (see alcohol outlet)								Pa	Pa	Pa			Pa	Pa	Pa	P	P	P	P			P	P	P	P	
Radio, television or consumer electronics store															P	P	P				P	P	P	P		
Retail, 5,000 sf or less								Pa	Pa	Pa				Pa	Pa	P	P	P	P	P	P	P	P	P		
Retail, over 5,000 sf (see also shopping center)															P	P	P	P			P	P	P	P		
Retail warehouses/wholesales providing sales of merchandise with no outdoor storage															P	P	P	P			P	P	P	P		
Shopping center															P	P	P	P			P	P	P	P		
Small-box discount retail store															P	P	P	P			P	P	P	P	✓	
Specialty store															P	P	P	P			P	P	P	P		
Sporting goods or bicycle sale															P	P	P	P			P	P	P	P		

Thrift, secondhand, antique store																P	P		P								
Trade shops: electrical, plumbing, heating/cooling, roofing/siding, with no outside storage														P	P		P	P	P	P	P						
Variety store														Pa		P	P	P	P			P	P	P	P		
Temporary Commercial Uses																											
Temporary outdoor sales, seasonal	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	✓
Temporary produce stand	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	✓
Temporary outdoor retail sales	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	✓
Temporary outdoor events	SA	SA	SA	SA	SA	SA	SA							SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	✓
Temporary trailer, as home sales office or construction trailer	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	✓
Restaurant/Food establishments																											
Brewpub																P	P	P		P		P	P	P	P		
Catering establishments														P	P		P	P		P		P	P	P	P		

Taxi, ambulance, limousine dispatch office only (no vehicle parking)													P	P	P	P	P		P	P	P	P	P	P	
Taxi stand													P	P	P	P	P	P	P	P	P	P	P	P	
Services																									
Adult day care center - 7 or more								P	P	P	P		P	P	P	P	P	P	P			P	P	P	✓
Adult day care facility - up to 6	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP		SP			P	P	P	P			P	P	P	P	✓
Animal hospitals, veterinary clinic															P	P	P	P	P	P	P	P			✓
Animal shelter/rescue center	SP															P	P	P	P					✓	
Banks, credit unions or other similar financial institutions								Pa	Pa	Pa			P	P	P	P	P		P		P	P	P	P	
Barber shop/ beauty salon or similar establishments								Pa	Pa	Pa			Pa	P	P	P	P	P	P		P	P	P	P	
Check cashing establishment, primary																P		P						✓	
Check cashing establishment, accessory															P	P		P	P	P	P	P	P	✓	

Child day care center (Kindergarten) - 7 or more								P	P	P	P		P	P	P	P	P	P			P	P	P	P	✓
Child day care facility - up to 6	SP	SP	SP	SP	SP	SP	SP	P	P	P		SP	P	P	P	P	P	P				P	P	P	✓
Coin laundry								Pa	Pa	Pa		Pa			P	P	P					P	P	P	
Dog day care								SP	SP	SP						P	P		P	P	P	SP	SP	SP	✓
Dog grooming								Pa	Pa	Pa						P	P		P	P	P	P	P	P	✓
Dry cleaning agencies, pressing establishments, or laundry pick-up stations								Pa	Pa	Pa			P	P	P	P	P		P	P	P	P	P	P	
Fitness center	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa	Pa		P	P	P	P	P		P	P	P	P	P	P	
Kennel, breeding or boarding	SP														Pa	Pa	P		P	P					✓
Kennel, commercial	SP															P	P		P	P					
Kennel, noncommercial	P	SP	SP	SP	SP																				
Landscape business																P	P		P	P					
Outdoor storage, commercial																	P		P	P					✓
Personal services establishment								Pa	Pa	P		Pa	Pa	Pa	P	P	P		P		P	P	P	P	

Photoengraving, typesetting, electrotyping															P		P	P	P	P				
Photographic studios													P	P	P	P	P		P		P	P	P	P
Plumbing, HV/AC equipment establishments with no outdoor storage															P	P		P	P					
Publishing or printing establishments													P	P			P	P						
Quick copy printing store													P	P	P	P	P		P	P	P	P	P	P
Self-storage/mini																		P	P					✓
Self-storage/multi															SP	SP	P	P						✓
Services, Medical and Health																								
Ambulance service or emergency medical services, private															P	P		P						
Health services clinic													P	P	P	P	P	P			P	P	P	P
Home healthcare service													P	P		P	P		P		P	P	P	P
Kidney dialysis center													P	P		P	P		P		P	P	P	P
Medical or dental laboratories													P	P		P	P		P	P			SA	SA
Services, Repair																								

New support structure or stealth design up to 199'														SA			SA	SA	SA	SA	SA						✓
COW's (non-emergency or event, no more than 120 days)	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	SA	✓
COW's (declared emergency)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	✓
Attached wireless telecommunication facility, used for non-residential purposes (prohibited if used as residential)	SA	SA	SA	SA	SA	SA	SA																				✓
Attached wireless telecommunication facility									P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	✓
Monopole or attached facility in utility company's easements or rights-of-way	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	✓

(Ord. No. 15-06, 8-25-2015; Ord. No. 16-07, Pt. I, 6-28-2016; Ord. No. 17-01, Pt. I, 5-23-2017; Ord. of 7-23-2019(2), Pt. I; Ord. of 12-17-2019; Ord. No. 2020-1184, Pt. I, Exh. 1, 3-25-2021; Ord. No. 2020-1543, Pt. I, 12-20-2022; Ord. No. 2022-2270, § Pt. I, 12-12-2023)

Sec. 6.1.4. - Off-street parking ratios.

- A. Minimum on-site parking requirements may be reduced through use of shared parking, in accordance with [section 6.1.5](#).
- B. In residential districts in which garage space is provided, the garage space may count for no more than one (1) required space per two hundred (200) square feet of garage space.
- C. Tandem parking is permitted in association with all single-family detached and single-family attached housing types.
- D. Minimum and maximum parking ratios: Unless otherwise regulated elsewhere in this chapter, off-street parking spaces shall be provided for all uses listed are specified in Table 6.2. Unless otherwise noted, the parking requirement shall be based on the gross square footage of the building or buildings devoted to the particular use specified. Maximum parking standards shall not apply to existing uses so long as the building or parking lot is not expanded.
- E. Phased development. Where a project is intended to be developed in phases, the director of planning may approve phased development of a parking lot intended to serve current and future development.
- F. Reduction of minimum parking requirements. The minimum number of required spaces described in Table 6.2 for a particular use may be reduced by ten (10) percent by the director of planning pursuant to an administrative variance in compliance with [article 7](#). If the use is within one thousand (1,000) feet of a designated heavy rail, streetcar/light rail or bus rapid transit station, the minimum number of required spaces may be reduced by twenty-five (25) percent in accordance with [article 7](#).
- G. Carpool/vanpool parking. For office, industrial, and institutional uses where there are more than twenty (20) parking spaces on the site, the following standards shall be met:
 1. At least five (5) percent of the parking spaces on site must be reserved for carpool use.
 2. Except as otherwise provided by applicable law, parking lots shall be designed so as to provide the most convenient access to building entrances by persons arriving by vanpools and carpools. In the event of a conflict between the priority described in this subsection and [section 6.1.16](#), this subsection shall prevail.
 3. Signs shall be posted identifying spaces reserved for carpool use.

Table 6.2: Off-street Parking Ratios

Minimum and Maximum Parking Spaces

Residential		
Use	Minimum Parking Spaces Required	Maximum Parking Spaces Allowed
Detached single-family dwelling	Two (2) spaces per dwelling unit.	Four (4) spaces per dwelling unit.
Single-Family cottage dwellings	One (1) space per dwelling unit, plus one-quarter (0.25) space per dwelling unit to accommodate guest parking.	Two (2) spaces per dwelling unit, plus one-quarter (0.25) space per dwelling unit to accommodate guest parking.
Two-family and three-family dwellings	One (1) space per dwelling unit.	Four (4) spaces per dwelling unit.
Detached single-family condominium	Two (2) spaces per dwelling unit.	Four (4) spaces per dwelling unit.
Attached single-family dwelling	One and a half (1.5) spaces per dwelling unit, plus one-quarter (0.25) space per dwelling unit to accommodate guest parking.	Three (3) spaces per dwelling unit, plus one-quarter (0.25) space per dwelling unit to accommodate guest parking.
Attached two-family and three-family dwellings	One and a half (1.5) spaces per dwelling unit, not including garage, plus one-quarter (0.25) space per dwelling unit to accommodate guest parking.	Three (3) spaces per dwelling unit, not including garage, plus one-quarter (0.25) space per dwelling unit to accommodate guest parking.
Multi-family dwellings (1 or more bdrms)	One and one-half (1.5) spaces for every dwelling unit.	Three (3) spaces for every dwelling unit.

Multi-family dwellings (studio/efficiency units)	One (1) space for every dwelling unit.	One and one-half (1.5) spaces for every dwelling unit.
Mobile Homes	Two (2) spaces per mobile home lot.	Four (4) spaces per mobile home lot.
Multi-family dwellings, supportive living	One-half (0.5) space per dwelling unit.	One (1) space per dwelling unit.
Fraternity house or sorority house	One (1) space per bed.	One and one-quarter (1.25) spaces per bed.
Rooming house or boarding house, shelter	One (1) space per four (4) beds.	One (1) space per one and one-half (1.5) beds.
Senior housing	One-half (0.5) space per dwelling unit, plus one-quarter (0.25) space per dwelling unit to accommodate guest parking.	Two (2) spaces per dwelling unit, plus one-quarter (0.25) space per dwelling unit to accommodate guest parking.
Assisted Living	One-half (0.5) space per dwelling unit.	One (1) space per dwelling unit.
Personal care home, group	Two (2) spaces.	Four (4) spaces
Personal care home, community	One (1) space for every 3 beds.	One (1) space for every 2 beds.
Adult day care facility	Two (2) spaces.	Four (4) spaces.
Child day care facility	Two (2) spaces.	Four (4) spaces.

Child caring institution, group	Two (2) spaces.	Four (4) spaces.
Child caring institution, community	One-half (0.50) space for each employee and resident.	Three-quarters (0.75) space for each employee and resident.
Live Work dwelling	Two (2) spaces per unit.	Four (4) spaces per unit.
Institutional		
Use	Minimum Parking Spaces Required	Maximum Parking Spaces Allowed
Ambulance service where accessory to a hospital, ambulance services, delivery services and other similar services	One (1) parking space for each fleet vehicle plus one-half (0.5) space for each administrative or service employee.	One (1) parking space for each fleet vehicle plus three-quarter (.75) space for each administrative or service employee.
Child day care center	One (1) space for each four hundred (400) square feet of floor area.	One (1) space for each three hundred (300) square feet of floor area.
Convent or monastery	One (1) space for each four hundred (400) square feet of floor area.	One (1) space for each two hundred (200) square feet of floor area.
Funeral home	One (1) space for each four hundred (400) square feet of floor area	One (1) space for each two hundred (200) square feet of floor area.
Hospital and similar institutional use	One (1) space per three beds.	No maximum.

Nursing care facility, nursing or convalescent home, and similar institutional use	One-quarter (.25) space per bed	One-half (.50) space per bed
Kindergarten	One (1) space per three hundred (300) square feet of floor area.	One (1) space per two hundred (200) square feet of floor area.
Places of assembly with fixed seating, including places of worship, movie theaters, stadiums, auditoriums, live performance theaters, conference centers and cultural facilities	One (1) space for each four (4) seats in the largest assembly room.	One (1) space for each two (2) seats in the largest assembly room.
Places of Assembly without fixed seating, including conference centers, gymnasiums, Place of Worship, libraries, museums, cultural facilities and art galleries	One (1) space for each forty (40) square feet of floor space in the largest assembly room.	One (1) space for each twenty (20) square feet of floor space in the largest assembly room.
Private elementary and middle school	One and one-half (1.5) spaces for each classroom.	Two (2) spaces for each classroom, plus one (1) space for each fifty (50) square feet in largest assembly room.

Private high school	Three (3) spaces for each classroom.	Five (5) spaces for each classroom, plus one (1) space for each fifty (50) square feet in largest assembly room.
Colleges, including trade, vocational, and commercial vocational schools	Ten (10) spaces per classroom, plus two and one-half (2.5) spaces for each one thousand (1,000) square feet of floor area in the library or assembly area.	No maximum.
Recreation		
Use	Minimum Parking Spaces Required	Maximum Parking Spaces Allowed
Athletic Field	Twenty (20) spaces per field.	Sixty (60) spaces per field.
Bowling alley	Four (4) spaces for each alley.	Five (5) spaces for each alley.
Driving range	One (1) space per tee	One and one-half (1.5) spaces per tee
Miniature Golf	Twelve (12) spaces	Twenty (20) spaces
Noncommercial club, lodge, or fraternal or social organization (other than fraternity and sorority houses)	One (1) space for each two hundred (200) square feet of floor area.	One (1) space for each one hundred (100) square feet of floor area.

Public or private swimming pool, neighborhood recreation club/subdivision clubhouse & amenities (recreation and meeting rooms, swimming, and playground), or similar use	One (1) space per 10 homes.	One (1) space per five (5) homes.
Public or private golf course	Fifteen (15) spaces per nine (9) holes.	Thirty (30) spaces per nine (9) holes.
Indoor recreational facilities, not including bowling alley, swimming pool, tennis courts, or neighborhood recreation centers	One (1) space for each three hundred (300) square feet of floor area.	One (1) space for each one hundred and twenty-five (125) square feet of floor area.
Special events facilities	One (1) space for each two hundred (200) square feet of space used for such activity.	One (1) space for each one hundred (100) square feet of space used for such activity.
Temporary outdoor social, religious, seasonal, entertainment or recreation activity	One (1) space for each three hundred (300) square feet of land devoted to such use; or where such use is conducted within a tent one (1) space for each three hundred (300) square feet of area within the tent enclosure.	One (1) space for each two hundred (200) square feet of land devoted to such use; or where such use is conducted within a tent one (1) space for each two hundred (200) square feet of area within the tent enclosure.

Public or private tennis courts	Three (3) spaces per court.	Four (4) spaces per court.
Outdoor recreational uses, waterparks, amusement parks	One (1) space for each three thousand (3,000) square feet of gross site area.	One (1) space for each one thousand (1,000) square feet of gross site area.
Commercial		
Use	Minimum Parking Spaces Required	Maximum Parking Spaces Allowed
Adult entertainment establishments and adult service facilities	One (1) parking space for each four hundred (400) square feet of floor area in the building.	One (1) parking space for each twenty-five (25) square feet of floor area in the building.
Automobile repair garage, minor repair, and maintenance establishments	One (1) space for each four hundred (400) square feet of floor space.	One (1) space for each one hundred fifty (150) square feet of floor space.
Automobile service station	Two (2) spaces for each service bay, with minimum of ten (10) spaces required.	Three (3) spaces for each service bay, with maximum of fifteen (15) spaces required.
Bed and breakfast inn	One (1) space for the owner-operator plus one (1) per guest bedroom.	Two (2) spaces for the owner-operator plus one (1) per guest bedroom.
Car wash	Two (2) stacking spaces for each car wash lane plus two (2) drying spaces per lane.	Three (3) stacking spaces for each car wash lane plus three (3) drying spaces per lane.

Convenience Store without gas pumps	Three (3) spaces for each one thousand (1,000) square feet of floor area.	Four (4) spaces for each one thousand (1,000) square feet of floor area.
Convenience Store with gas pumps	One (1) space per five hundred (500) square feet of floor area	One (1) space per one hundred fifty (150) square feet of floor area.
Grocery Store	One (1) space per five hundred (500) square feet of floor area.	One (1) space per two hundred (200) square feet of floor area.
Hotel or motel	One (1) space per lodging unit, plus one (1) space per each one hundred fifty (150) square feet of banquet, assembly, or meeting area.	One and two-tenths (1.2) spaces per lodging unit, plus one (1) space per each one hundred (100) square feet of banquet, assembly, or meeting area.
Laboratory, research facility	One (1) space for each one thousand (1,000) square feet of floor area	One (1) space for each three hundred (300) square feet of floor area
Office, Professional	One (1) space for each five hundred (500) square feet of floor area.	One (1) space for each two hundred fifty (250) square feet of floor area.
Offices, Doctor and Dentist	One (1) space for each five hundred (500) square feet of floor area.	One (1) space for each two hundred (200) square feet of floor area.
Restaurant with seating for patrons (with or without drive-through)	One (1) space for each one hundred fifty (150) square feet of floor area, but not less than ten (10) spaces.	One (1) space for each seventy five (75) square feet of floor area, but not less than ten (10) spaces.

Late Night Establishment	One (1) space for each three hundred (300) square feet of floor area with a minimum of ten (10) spaces.	One (1) space for each one hundred fifty (150) square feet of floor area with a minimum of ten (10) spaces.
Nightclub	One (1) space for each three hundred (300) square feet of floor area, but not less than ten (10) spaces.	One (1) space for each one hundred fifty (150) square feet of floor are, but not less than ten (10) spaces.
Restaurant, drive-through, without seating area for patrons	One (1) space for each two hundred fifty (250) square feet of floor area.	One (1) space for each one hundred fifty (150) square feet of floor area.
Restaurant where accessory to hotel or motel	One (1) space for each three hundred (300) square feet of floor area, but not less than ten (10) spaces.	One (1) space for each one hundred seventy-five (175) square feet of floor area, but not less than ten (10) spaces.
Retail and personal service uses accessory to high-rise apartment building or high-rise office building	Three (3) spaces for each one thousand (1,000) square feet of floor area.	Four (4) spaces for each one thousand (1,000) square feet of floor area.
Retail uses, personal service uses, and other commercial and general business uses, but not including Convenience Stores or Grocery Stores or other uses described more particularly herein	One (1) space for each five hundred (500) square feet of floor area.	One (1) space for each two hundred (200) square feet of floor area.

Storage facilities (mini-warehouse)	One (1) space for each eight thousand (8,000) square feet of floor area	One (1) space for each five thousand (5,000) square feet of floor area
Industrial		
Use	Minimum Parking Spaces Required	Maximum Parking Spaces Allowed
Heavy and light industrial, manufacturing, and commercial establishments not involving retail sales	One (1) space for each two thousand (2,000) square feet of floor area.	One (1) space for each one thousand three hundred (1,300) square feet of floor area.
Warehouse, distribution	One (1) space for each two thousand five hundred (2,500) square feet of floor area.	One (1) space for each five hundred (500) square feet of floor area.
Wholesale membership club	One (1) space for each five hundred (500) square feet of floor area	One (1) space for each two hundred (200) square feet of floor area.
Wholesale trade establishments, distribution establishments, offices in conjunction with showrooms, and similar uses	One (1) space for each two hundred (200) square feet of floor area devoted to sales or display, plus one (1) space for each two thousand (2,000) square feet of gross storage area.	One (1) space for each one hundred and fifty (150) square feet of floor area devoted to sales or display, plus one (1) space for each one thousand five hundred (1,500) square feet of gross storage area.

(Ord. No. 15-06, 8-25-2015; Ord. No. 2022-2549, Pt. I, 1-26-2023; Ord. No. 2022-2270, § Pt. I, 12-12-2023)

6 – Rebuild-Ability from the Zoning Ordinance

Sec. 8.1.3. - Legal nonconforming lot.

A lot of record that at the effective date of this zoning ordinance does not conform to the applicable minimum road frontage requirement, minimum lot area, or lot width requirements for the zoning district in which it is located may still be used as a building site provided that the height, buffer, setback, and other dimensional requirements of the zoning district in which the lot of record is located are complied with, or a variance therefrom is obtained.

(Ord. No. 15-06, 8-25-2015)

Sec. 8.1.5. - Nonconforming use.

A legal use in existence on the effective date of this zoning ordinance or any amendment thereto may be continued even though such use does not conform with the use provisions of the zoning district in which said use is located, except as otherwise provided in this section.

- A. Change of use. A nonconforming use shall not be changed to another nonconforming use. A change in tenancy or ownership shall not constitute termination or abandonment of the nonconforming use, provided that the use itself remains unchanged and is continuously maintained.
- B. Discontinuance or abandonment. A nonconforming use shall not be re-established after discontinuance or abandonment for six (6) consecutive months, unless the cessation of the nonconforming use is a direct result of governmental action impeding access to the property. Vacancy or non-use of a building for six (6) continuous months, regardless of the intent of the owner or tenant, shall constitute discontinuance or abandonment under this subsection.
- C. A nonconforming use of land shall not be enlarged, expanded, moved, or otherwise altered in any manner that increases the degree of nonconformity.

(Ord. No. 15-06, 8-25-2015)

Sec. 8.1.6. - Nonconforming structures.

- A. A legal structure in existence on the effective date of this zoning ordinance or any amendment thereto that could not presently be built under the provisions of this chapter because of restrictions on building area, lot coverage, height, minimum yard setbacks, or other characteristics of the structure or its location on the lot shall be deemed a legal nonconforming structure subject to this article

8.

- B. No legal nonconforming structure shall be enlarged, or structurally altered, in a way that increases its degree of nonconformity, except as expressly permitted in this [article 8](#).
- C. Alteration of legal nonconforming structures occupied by permitted, conforming uses may be allowed for improvement or modification, provided that the structure may not be enlarged and the alterations must either comply with this chapter or result in a reduction in site or structure nonconformity. See also [section 8.1.16](#).

(Ord. No. 15-06, 8-25-2015)

Sec. 8.1.15. - Reconstruction of damaged or destroyed nonconforming structures.

A legal nonconforming building or structure that has been damaged by fire, flood or other natural cause to an extent that the estimated cost of reconstruction does not exceed sixty (60) percent of its fair market value according to the DeKalb County Tax Assessor's valuation for the tax year in which the damage occurred, as determined by the director of planning, may be reconstructed and used as it was prior to being damaged if a complete permit application is submitted for said re-construction within two (2) years of the date of the damage and the work progresses continuously upon issuance of the permit therefor. If said building or structure has been determined by the director of planning to have been damaged to an extent that the estimated cost of reconstruction exceeds sixty (60) percent of its fair market value according to the DeKalb County Tax Assessor's valuation for the tax year in which the damage occurred, then any repair, reconstruction or new construction shall conform to the then existing requirements of the zoning district in which said building or structure is located.

(Ord. No. 15-06, 8-25-2015)

**7 – Copy of
ALTA/NSPS Land
Survey / Site Plans**

SIGNIFICANT OBSERVATIONS

NO SIGNIFICANT OBSERVATIONS OBSERVED AT THE TIME OF SURVEY.

SCHEDULE B - TITLE ITEMS

BEING THE SAME PROPERTY SURVEYED AS DESCRIBED IN A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. DC41-24-1126, DATED AUGUST 5, 2024 AT 08:00 AM.

SCHEDULE B ITEMS NOT LISTED BELOW ARE NOT CONSIDERED TO BE SURVEY RELATED MATTERS.

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ZONING INFORMATION TABLE

Table with zoning information for M Light Industrial and M-2 Heavy Industrial, including lot area, setbacks, and parking requirements.

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DISTRICT 15, LANDLOT 80, DEED BOOK 24217, PAGE 709 PLAT AND DEED ARE A PART HEREOF, EXCLUDING RIGHTS OF WAY AND EASEMENTS, IMPROVED PROPERTY KNOWN AS 3272 FAYETTEVILLE RD AND PARCEL 15 080 05 013 PER RECORDS OF THE TAX COMMISSIONER AND TAX ASSESSORS.

LESS AND EXCEPT ALL PARCELS OTHER THAN 15 080 05 013.

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CONTAINING 3.69 ACRES.

Being the same property surveyed as described in a Commitment for Title Insurance prepared by Fidelity National Title Insurance Company, Commitment No. DC41-24-1126, dated August 5, 2024 at 08:00 AM.

FLOOD ZONE NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONES "X", "X-SHADED" AND "AE" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 13089C0128J WHICH BEARS AN EFFECTIVE DATE OF 5/16/2013 AND IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA AS PROVIDED ON FEMA'S WEBSITE [HTTP://MSC.FEMA.GOV]. AS INDICATED BY A FIRMETTE, IT IS OUR UNDERSTANDING THAT THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

SURVEY NOTES

- 1. THIS PROPERTY IS DESIGNATED BY DEKALB COUNTY, AS TAX MAP PARCEL 15 080 05 002 AND 15 080 05 013.
2. THE BASIS OF BEARINGS OF THIS SURVEY IS GRID NORTH BASED ON SOUTHEAST LINE OF THE SUBJECT PROPERTY. THE BEARING IS DENOTED AS S 56°47'38" W PER GPS COORDINATE OBSERVATIONS GEORGIA STATE PLANE, WEST ZONE NAD83.
...
17. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1:116.9 FEET.

For Questions & Comments & Updates on this survey please contact Info@RealmLandServices.com or call 571-208-2090

Survey Performed and Drafted By:

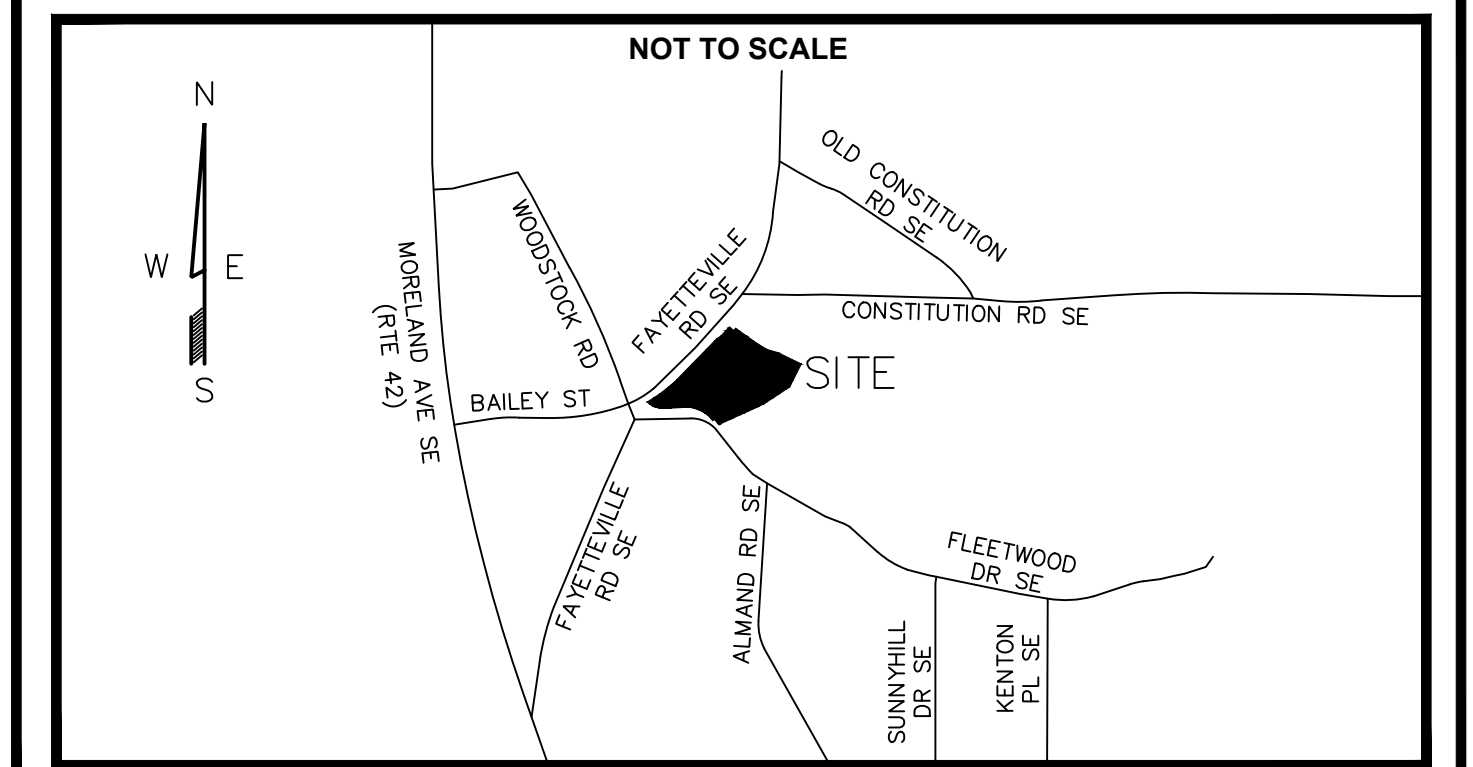
BLEW & ASSOCIATES, P.A.
3825 NORTH SHILOH DRIVE
FAYETTEVILLE, ARKANSAS 72703
479-443-4506
SURVEY@BLEWINC.COM



Surveyor's File Name and/or No.: 24-5980
Surveyor's Reference Project No./Name.: 24-5980
CAD Operator: DTS

SEE SHEET 2 OF 2 FOR SURVEY DRAWING

VICINITY MAP



ALTA/NSPS LAND TITLE SURVEY

Surveyor's Certification
To: Fidelity National Title Insurance Company;
Realm Land Services, Inc.; Hollingshead Materials, LLC;

FAYETTEVILLE ROAD SE
0036-24-0195
3272 FAYETTEVILLE ROAD SE
ATLANTA, GA 30316

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and include items 1, 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 10, 11a, 13, 14, 16, 17, 18, and 19 of Table A thereof.

The field work was completed on October 3, 2024.

Last Revision Date: October 9th, 2024

PRELIMINARY

David A. Nix
Registered Land Surveyor NO. LS003442
State of Georgia
Georgia C.O.A. LSF001258

FOR QUESTIONS, COMMENTS, & UPDATES ON THIS SURVEY PLEASE CONTACT:

REALM LAND SERVICES, Inc.
Info@RealmLandServices.com 571-208-2090



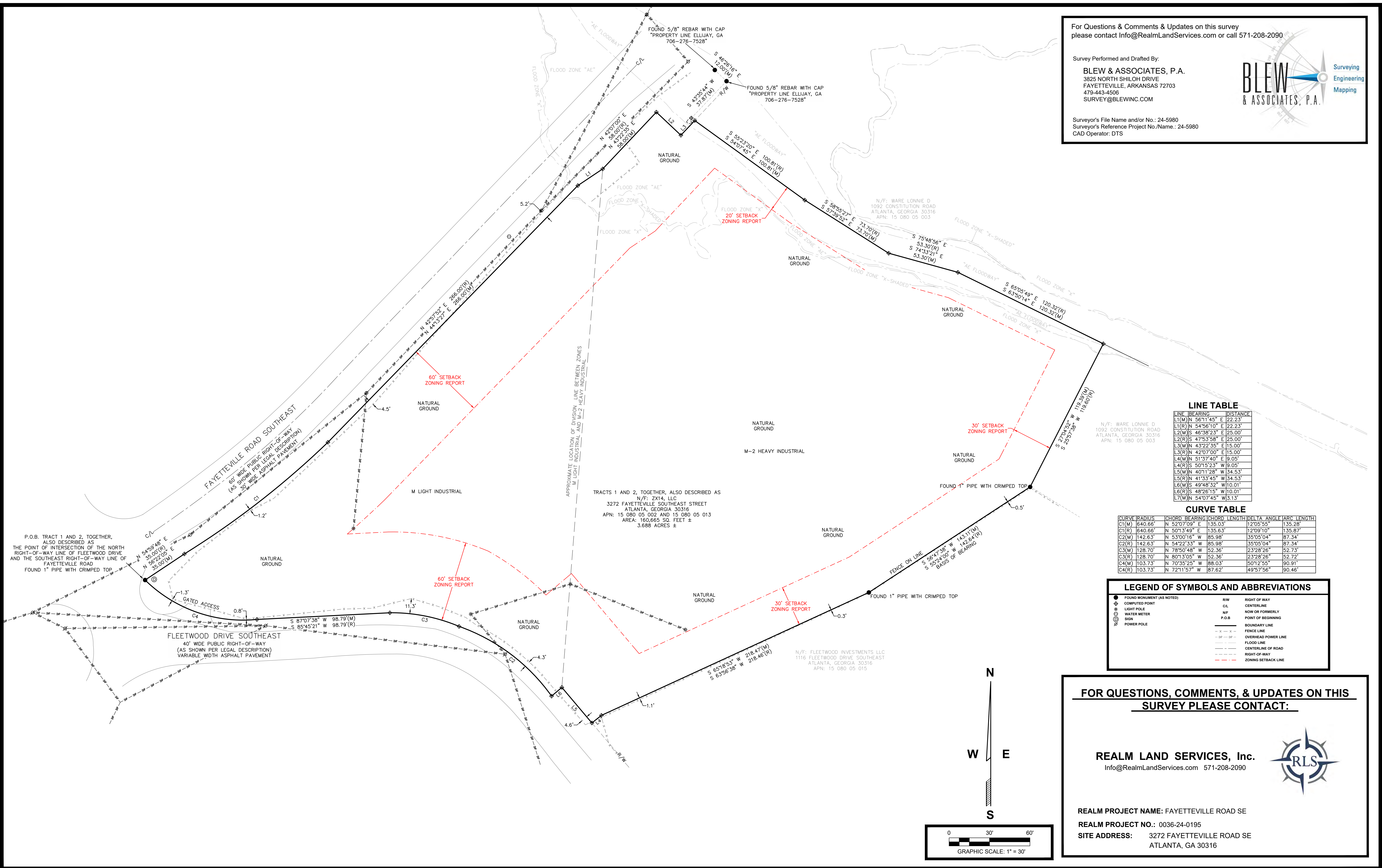
REALM PROJECT NAME: FAYETTEVILLE ROAD SE
REALM PROJECT NO.: 0036-24-0195
SITE ADDRESS: 3272 FAYETTEVILLE ROAD SE
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For Questions & Comments & Updates on this survey please contact Info@RealmLandServices.com or call 571-208-2090

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Surveyor's File Name and/or No.: 24-5980
 Surveyor's Reference Project No./Name.: 24-5980
 CAD Operator: DTS



LINE TABLE

LINE	BEARING	DISTANCE
L1(M)	N 56°11'45" E	22.23'
L1(R)	N 54°56'10" E	22.23'
L2(M)	S 46°38'23" E	25.00'
L2(R)	S 47°53'58" E	25.00'
L3(M)	N 43°22'35" E	15.00'
L3(R)	N 42°07'00" E	15.00'
L4(M)	S 51°37'40" E	9.05'
L4(R)	S 50°52'23" W	9.05'
L5(M)	N 40°11'28" W	34.53'
L5(R)	N 41°33'45" W	34.53'
L6(M)	S 49°48'32" W	10.01'
L6(R)	S 48°26'15" W	10.01'
L7(M)	N 54°07'45" W	31.13'

CURVE TABLE

CURVE	RADIUS	CHORD BEARING	CHORD LENGTH	DELTA ANGLE	ARC LENGTH
C1(M)	640.66'	N 52°07'09" E	135.03'	12°05'55"	135.28'
C1(R)	640.66'	N 50°13'49" E	135.63'	12°09'10"	135.87'
C2(M)	142.63'	N 53°00'16" W	85.98'	35°05'04"	87.34'
C2(R)	142.63'	N 54°22'33" W	85.98'	35°05'04"	87.34'
C3(M)	128.70'	N 78°50'48" W	52.36'	23°28'26"	52.73'
C3(R)	128.70'	N 80°13'05" W	52.36'	23°28'26"	52.72'
C4(M)	103.73'	N 70°35'25" W	88.03'	50°12'55"	90.91'
C4(R)	103.73'	N 72°11'57" W	87.62'	49°57'56"	90.46'

LEGEND OF SYMBOLS AND ABBREVIATIONS

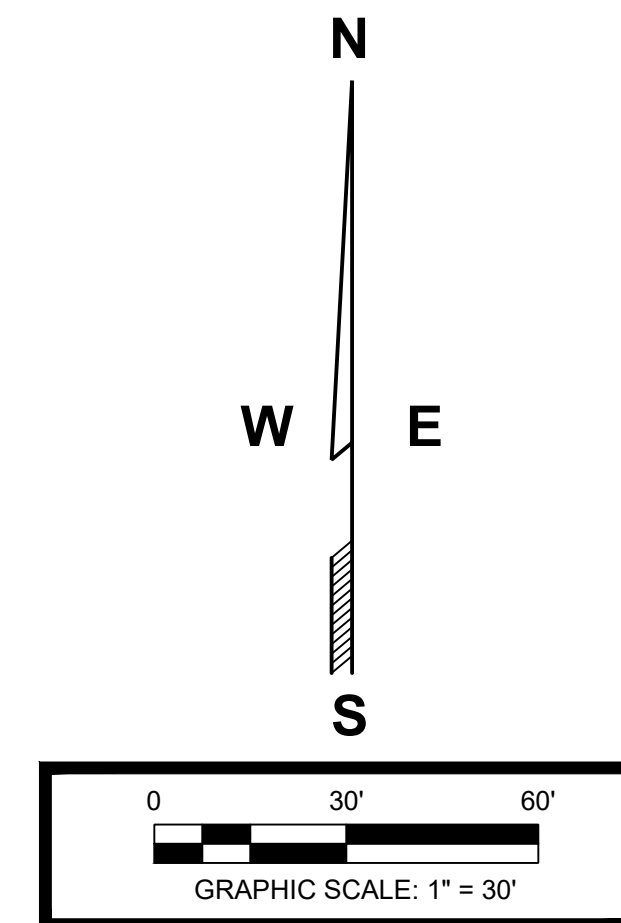
●	FOUND MONUMENT (AS NOTED)	R/W	RIGHT OF WAY
⊕	COMPUTED POINT	CL	CENTERLINE
*	LIGHT POLE	N/F	NOW OR FORMERLY
⊕	WATER METER	P.O.B	POINT OF BEGINNING
⊕	SIGN	---	BOUNDARY LINE
⊕	POWER POLE	-OP-OP-	OVERHEAD POWER LINE
		---	FLOOD LINE
		---	CENTERLINE OF ROAD
		---	RIGHT-OF-WAY
		---	ZONING SETBACK LINE

FOR QUESTIONS, COMMENTS, & UPDATES ON THIS SURVEY PLEASE CONTACT:

REALM LAND SERVICES, Inc.
Info@RealmLandServices.com 571-208-2090



REALM PROJECT NAME: FAYETTEVILLE ROAD SE
 REALM PROJECT NO.: 0036-24-0195
 SITE ADDRESS: 3272 FAYETTEVILLE ROAD SE
 ATLANTA, GA 30316



DEPARTMENT OF PLANNING & SUSTAINABILITY

IMPACT ANALYSIS

(Please respond to the following standards and factors on a separate sheet.)

Section 27-7.3.5. The following standards and factors are found to be relevant to the exercise of the county's zoning powers and shall govern the review of all proposed amendments to the Official Zoning Map:

- A. Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan.
Yes. Covered within the documents with in this application.
- B. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties. Yes. Covered within the documents with this application, and supported by community.
- C. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned. The mixed used currently prevents the site from properly being developed, thus unifying it to M-2 will support development and improvement to the community.
- D. Whether the zoning proposal will adversely affect the existing use of usability of adjacent or nearby properties. No negative impact. Refer to contents of the application documents.
- E. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.
In support, development has trended towards M-2 zoning. Additional improvements are underway for traffic that support these changes. See attachments.
- F. Whether the zoning proposal will adversely affect historic building, sites, districts, or archaeological resources. See zoning report. No impacts have be discovered.
- G. Whether the zoning proposal will result in a use which will or could cause excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. None. Current improvements are underdevelopment by others.
- H. Whether the zoning proposal adversely impacts the environment or surrounding natural resources.
None. There are currently no known negative impacts that can be assessed at this time. On a positive, developing this site will likely help reduce some of the known crime occuring within the adjacent and neighboring area.

See Zoning Report Document Dated 10/14/2024 and supporting documents attached to this application.

SPECIAL LAND USE PERMIT APPLICATION

DEPARTMENT OF PLANNING & SUSTAINABILITY

IMPACT ANALYSIS

Criteria: Sec 27-7.4.6 The following criteria shall be considered by the Department of Planning and Sustainability, the Planning Commission and the Board of Commissioners in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the Board of Commissioners unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application, and unless the application is in compliance with all applicable regulations in Article 4.

A. Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, transitional buffer zones, and all other applicable requirements of the zoning district in which the use is proposed to be located.

Response – Based on our initial layout, it has been determined that there is adequate space for a ready mix plant.

B. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district, and whether the proposed use will create adverse impacts upon any adjoining land use by reason of traffic volume/congestion, noise, smoke, odor, dust, or vibration generated by the proposed use.

Response – The current site is zoned M-1 & M-2, with a asphalt plant along the same street. There is not believed conflict with traffic or adverse transmissions that can come from the site as mentioned.

C. Adequacy of public services, public (or private) facilities, and utilities to serve the proposed use.

Response – Public utilities that exist can server the site.

D. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.

Response – The new facility will have less than 100 trips daily, based on the improvements to the adjacent intersection and the current traffic, we do not anticipate any congestion or traffic issues.

E. Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.

Response – The property will have a large access entrance, with appropriate distance from closes intersection to allow ingress/egress. The location of access allows for sufficient view of traffic from both directions allowing for safety.

F. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner and hours of operation of the proposed use.

Response – The facility will operate during similar hours as adjacent properties, approximately 7am-5pm Mon-Fri. In the event of special hours, because of Highway supply projects, the owner will send out notices of start and end dates for limited special hours.

G. Whether the proposed use is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located.

Response – The site is currently M1 & M2, a application to rezone to all M-2 is being submitted in parallel with the SLUP.

H. Whether the proposed use is consistent with, advances, conflicts, or detracts from the policies of the comprehensive plan.

Response – Yes. Proposed use is consistent with the policies of the comprehensive plan.

I. Whether there is adequate provision of refuse and service areas.

Response – Yes. There is adequate refuse and service areas.

J. Whether the length of time for which the special land use permit is granted should be limited in duration.

Response – No limit in duration is sought.

K. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings; and whether the proposed use will create any shadow impact on any adjoining lot or building as a result of the proposed building height.

Response – The facility will have a two-story ~900 sqft building that will not any impact as above mentioned.

L. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.

Response – No. There is no known impact to the above mentioned.

M. Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit.

Response – Yes. The proposed use of the concrete plant satisfies the requirements contained within the supplemental regulations for such special land use permit.

N. Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, as expressed and evidenced during the review process.

Response – Yes. During the period of sending notices and holding the citizens review meeting, only support was shown for this project to move forward. No negative comments were received.

DEPARTMENT OF PLANNING & SUSTAINABILITY

AUTHORIZATION

The property owner should complete this form or a similar signed and notarized form if the individual who will file the application with the County is not the property owner.

Date: 10/28/24

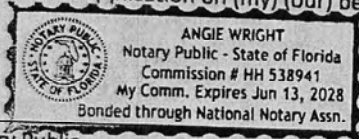
TO WHOM IT MAY CONCERN:

(I) (WE) EHSAN RAZAVI
Name of owner(s)

being (owner) (owners) of the subject property described below or attached hereby delegate authority to

BRUIAN HERCULES (SMYRNA READY MIX aka SRM)
Name of Agent or Representative

to file an application on (my) (our) behalf.



Notary Public

[Signature]
Owner

Notary Public

Owner

Notary Public

Owner

Notary Public

Owner

State of Florida County of Bay

The foregoing instrument was acknowledged before me

on this 28 day of 10, 2024

by Angie Wright

[Signature]
Notary Public Signature

DEPARTMENT OF PLANNING & SUSTAINABILITY

DISCLOSURE OF CAMPAIGN CONTRIBUTION

In accordance with the Conflict of Interest in Zoning Act, OCGA Chapter 36-67A, the following questions must be answered.

Have you, the applicant, made \$250.00 or more in campaign contribution to a local government official within two years immediately preceding the filing of this application?

Yes No *

If the answer is yes, you must file a disclosure report with the governing authority of DeKalb County showing:

1. The name and official position of the local government official to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution.

The disclosure must be filed within 10 days after the application is first filed and must be submitted to the C.E.O. and to the Board of Commissioners of DeKalb County, 1300 Commerce Drive, Decatur, GA 30030.

Notary



Signature of Applicant /Date

Check one: Owner Agent

Expiration Date/ Seal

*Notary seal not needed if answer is "no".

SIGNIFICANT OBSERVATIONS

NO SIGNIFICANT OBSERVATIONS OBSERVED AT THE TIME OF SURVEY.

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Being the same property surveyed as described in a Commitment for Title Insurance prepared by Fidelity National Title Insurance Company, Commitment No. DC41-24-1126, dated August 5, 2024 at 08:00 AM.

FLOOD ZONE NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONES "X", "X-SHADED" AND "AE" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 13089C0128J WHICH BEARS AN EFFECTIVE DATE OF 5/16/2013 AND IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA AS PROVIDED ON FEMA'S WEBSITE [HTTP://MSC.FEMA.GOV]. AS INDICATED BY A FIRMETTE, IT IS OUR UNDERSTANDING THAT THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

AS-SURVEYED DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING SITUATE IN LAND LOT 80 OF THE 15TH DISTRICT OF DEKALB COUNTY, GEORGIA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 1-INCH CRIMPED TOP PIPE AT THE INTERSECTION OF THE NORTHEASTERLY RIGHT-OF-WAY OF FLEETWOOD DRIVE SOUTHEAST (40-FOOT R.O.W.), AND THE SOUTHEASTERLY RIGHT-OF-WAY OF FAYETTEVILLE ROAD SOUTHEAST (60-FOOT R.O.W.); THENCE ALONG THE AFOREMENTIONED RIGHT-OF-WAY OF FAYETTEVILLE ROAD SOUTHEAST THE FOLLOWING SEVEN (7) COURSES: (1) N56°22'05"E A DISTANCE OF 35.00 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (2) A CURVE TO THE LEFT WITH AN ARC LENGTH OF 135.28 FEET, A RADIUS OF 640.66 FEET, WITH A CHORD BEARING OF N52°07'09"E, A CHORD LENGTH OF 135.03 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (3) N44°13'27"E A DISTANCE OF 266.00 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (4) N56°11'45"E A DISTANCE OF 22.23 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (5) N43°22'35"E A DISTANCE OF 58.00 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (6) S46°38'23"E A DISTANCE OF 25.00 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (7) N43°22'35"E A DISTANCE OF 15.00 FEET TO A POINT ON THE LANDS, NOW OR FORMERLY, OF LONNIE D. WARE AS SHOWN IN DEED BOOK 28970, PAGE 759; THENCE ALONG SAID LANDS THE FOLLOWING FIVE (5) COURSES: (1) S54°07'45"E A DISTANCE OF 100.81 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (2) S57°39'52"E A DISTANCE OF 73.70 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (3) S74°33'21"E A DISTANCE OF 53.30 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (4) S63°50'14"E A DISTANCE OF 120.32 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (5) S27°04'52"W A DISTANCE OF 119.39 FEET TO A FOUND 1-INCH CRIMPED TOP PIPE AT THE MOST NORTHERLY CORNER OF LANDS, NOW OR FORMERLY, OF FLEETWOOD INVESTMENTS LLC, AS SHOWN IN DEED BOOK 27175, PAGE 89; THENCE ALONG SAID LANDS THE FOLLOWING THREE (3) COURSES: (1) S56°47'38"W A DISTANCE OF 143.11 FEET TO A FOUND 1-INCH CRIMPED TOP PIPE; (2) S65°18'53"W A DISTANCE OF 218.47 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (3) S51°37'40"W A DISTANCE OF 9.05 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258 ON THE NORTHEASTERLY RIGHT-OF-WAY OF FLEETWOOD DRIVE SOUTHEAST; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING SIX (6) COURSES: (1) N40°11'28"W A DISTANCE OF 34.53 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (2) S49°48'32"W A DISTANCE OF 10.01 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (3) A CURVE TO THE LEFT WITH AN ARC LENGTH OF 87.34 FEET, A RADIUS OF 142.63 FEET, WITH A CHORD BEARING OF N53°00'16"W, A CHORD LENGTH OF 85.98 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (4) A COMPOUND CURVE TO THE LEFT WITH AN ARC LENGTH OF 52.73 FEET, A RADIUS OF 128.70 FEET, WITH A CHORD BEARING OF N78°50'48"W, A CHORD LENGTH OF 52.36 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (5) S87°07'38"W A DISTANCE OF 98.79 FEET TO A SET 5/8-INCH REBAR WITH CAP INSCRIBED BLEW & ASSOC GA COA LSF001258; (6) A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 103.73 FEET, WITH A CHORD BEARING OF N70°35'25"W, A CHORD LENGTH OF 88.03 FEET TO THE POINT OF BEGINNING, AND CONTAINING THEREIN 3.688 ACRES (160665 SQUARE FEET MORE OR LESS).

SEE SHEET 2 OF 2 FOR SURVEY DRAWING

ALTA/NSPS LAND TITLE SURVEY

Surveyor's Certification section including company name (FAYETTEVILLE ROAD SE), surveyor name (David A. Nix), and a circular seal for the Georgia Board of Registration for Professional Engineers and Land Surveyors.

For Questions & Comments & Updates on this survey please contact Info@RealmLandServices.com or call 571-208-2090

Survey Performed and Drafted By:

BLEW & ASSOCIATES, P.A. 3825 NORTH SHILOH DRIVE FAYETTEVILLE, ARKANSAS 72703 479-443-4506 SURVEY@BLEWINC.COM

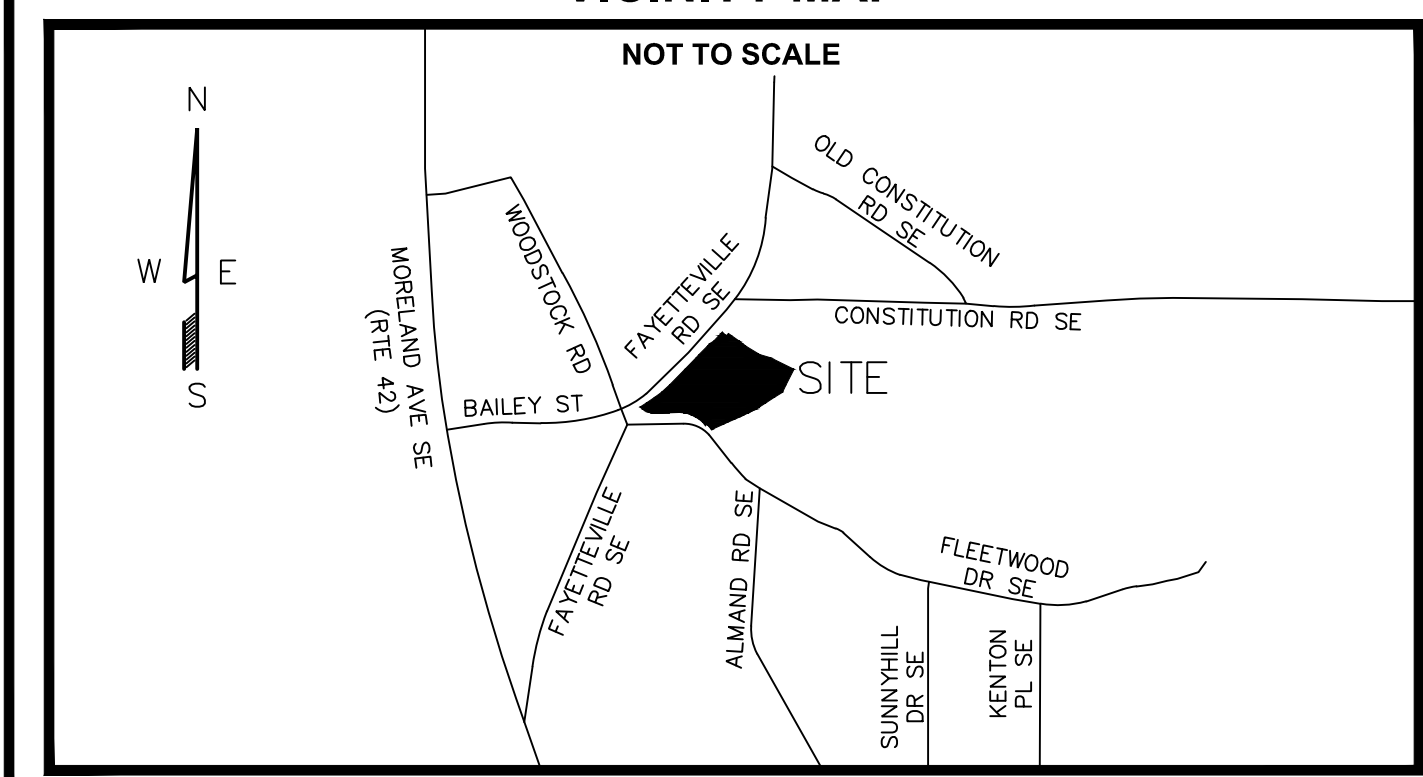
Surveyor's File Name and/or No.: 24-5980 Surveyor's Reference Project No./Name.: 24-5980 CAD Operator: DTS



SURVEY NOTES

- 1. THIS PROPERTY IS DESIGNATED BY DEKALB COUNTY, AS TAX MAP PARCEL 15 080 05 002 AND 15 080 05 013.
2. THE BASIS OF BEARINGS OF THIS SURVEY IS GRID NORTH BASED ON SOUTHEAST LINE OF THE SUBJECT PROPERTY.
3. THIS PROPERTY HAS AN AREA OF 160,665 SQUARE FEET OR 3.688 ACRES OF LAND.
4. IN REGARD TO TABLE A ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK.
5. IN REGARD TO TABLE A ITEM 17, THERE WERE NO KNOWN PROPOSED CHANGES IN RIGHT OF WAY LINES.
6. THERE WAS NO OBSERVABLE EVIDENCE OF CEMETERIES FOUND DURING THE TIME FIELDWORK WAS PERFORMED.
7. INTERIOR ROADWAYS APPEAR TO BE PRIVATE, VARIABLE IN WIDTH AND UNNAMED, UNLESS OTHERWISE SHOWN.
8. THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO FLEETWOOD DRIVE SOUTHEAST, WHICH IS A PUBLIC RIGHT-OF-WAY.
9. THIS SURVEY IS TO BE RELIED UPON ONLY BY THE PARTIES LOCATED IN THE CERTIFICATION OF THIS SURVEY.
10. THIS SURVEY IS NOT INTENDED FOR CONSTRUCTION OR DESIGN PURPOSES.
11. THE NEAREST INTERSECTION OF STREETS IS THAT OF FAYETTEVILLE ROAD SOUTHEAST & FLEETWOOD DRIVE SOUTHEAST, WHICH ABUTS THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY.
12. DISTANCES SHOWN ON PLAT ARE GRID. COMBINED SCALE FACTOR (GRID TO GROUND) = 1.0000956020105.
13. PORTIONS OF THIS SURVEY WERE PERFORMED USING GPS EQUIPMENT. GPS EQUIPMENT USED: CARLSON BRXY USING REAL-TIME KINEMATIC (RTK) METHODS RELATIVE TO THE TOPCON "TOPNET" VRS NETWORK.
14. IN REGARD TO ALTA TABLE A ITEM 10, NO VISIBLE CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT.
15. THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS, & CLIENT-PROVIDED UTILITY MAP DRAWINGS. BLEW & ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION.
16. IN RESPONSE TO TABLE A, ITEM 18, THE FOLLOWING ITEMS, IF ANY, ARE PLOTTED ON THE SURVEY TO THE EXTENT REFERENCED ON THE APPLICABLE TITLE COMMITMENT: (I) ALL PLOTTABLE AREAS DENOTED IN THE RECIPROCAL EASEMENT AGREEMENTS AND (II) THE BOUNDARY LIMITS ONLY OF ALL OFFSITE APPURTENANT EASEMENTS.
17. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1:726,741 FEET.

VICINITY MAP



FOR QUESTIONS, COMMENTS, & UPDATES ON THIS SURVEY PLEASE CONTACT:

REALM LAND SERVICES, Inc. Info@RealmLandServices.com 571-208-2090



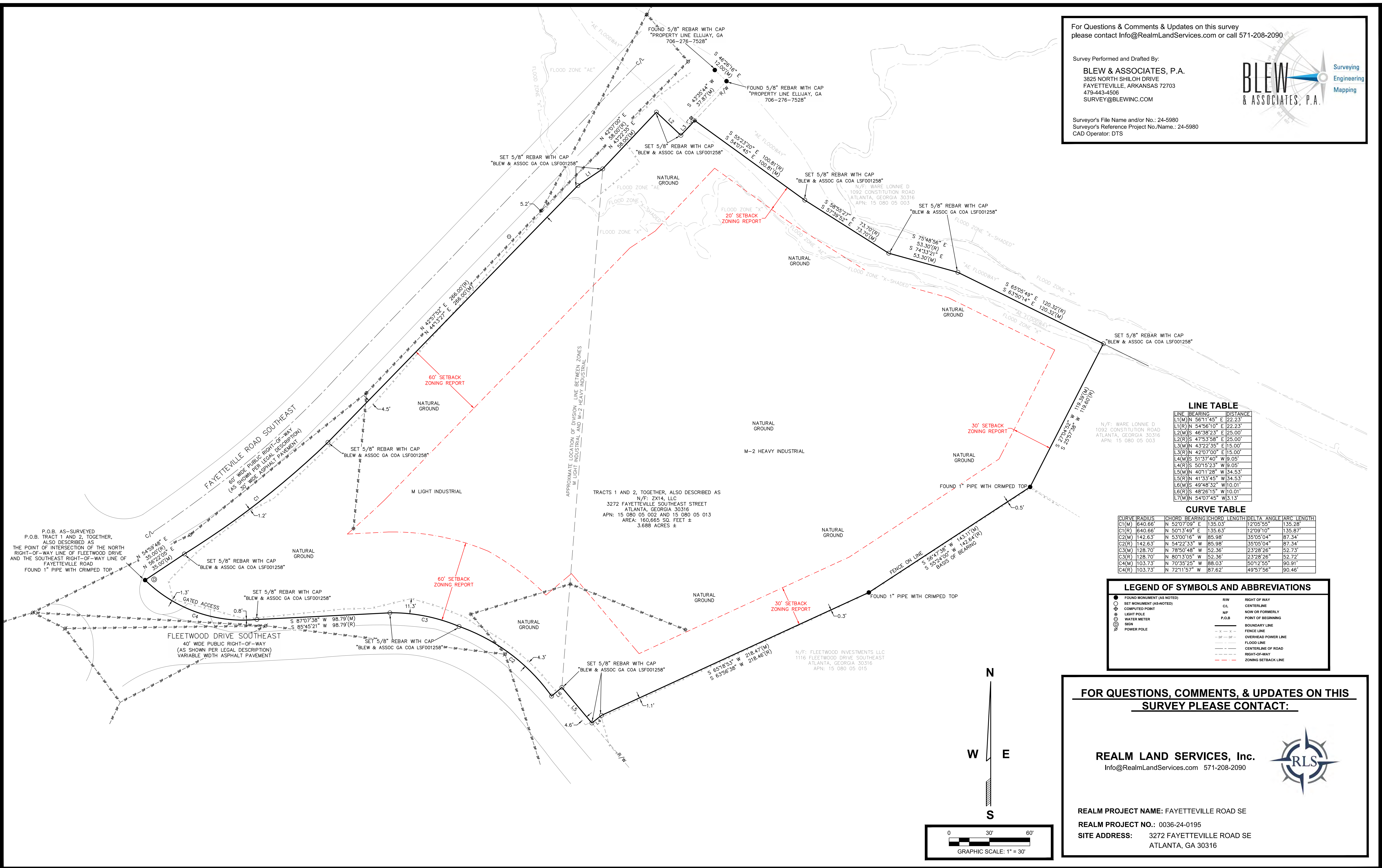
REALM PROJECT NAME: FAYETTEVILLE ROAD SE REALM PROJECT NO.: 0036-24-0195 SITE ADDRESS: 3272 FAYETTEVILLE ROAD SE ATLANTA, GA 30316

For Questions & Comments & Updates on this survey please contact Info@RealmLandServices.com or call 571-208-2090

Survey Performed and Drafted By:
BLEW & ASSOCIATES, P.A.
 3825 NORTH SHILOH DRIVE
 FAYETTEVILLE, ARKANSAS 72703
 479-443-4506
 SURVEY@BLEWINC.COM



Surveyor's File Name and/or No.: 24-5980
 Surveyor's Reference Project No./Name.: 24-5980
 CAD Operator: DTS



LINE TABLE

LINE	BEARING	DISTANCE
L1(M)	N 56°11'45" E	22.23'
L1(R)	N 54°56'10" E	22.23'
L2(M)	S 46°38'23" E	25.00'
L2(R)	S 47°53'58" E	25.00'
L3(R)	N 42°07'00" E	15.00'
L4(M)	S 51°37'40" W	9.05'
L4(R)	S 50°52'23" W	9.05'
L5(M)	N 40°11'28" W	34.53'
L5(R)	N 41°33'45" W	34.53'
L6(M)	S 49°48'32" W	10.01'
L6(R)	S 48°26'15" W	10.01'
L7(M)	N 54°07'45" W	31.13'

CURVE TABLE

CURVE	RADIUS	CHORD BEARING	CHORD LENGTH	DELTA ANGLE	ARC LENGTH
C1(M)	640.66'	N 52°07'09" E	135.03'	12°05'55"	135.28'
C1(R)	640.66'	N 50°13'49" E	135.63'	12°09'10"	135.87'
C2(M)	142.63'	N 53°00'16" W	85.98'	35°05'04"	87.34'
C2(R)	142.63'	N 54°22'33" W	85.98'	35°05'04"	87.34'
C3(M)	128.70'	N 78°50'48" W	52.36'	23°28'26"	52.73'
C3(R)	128.70'	N 80°13'05" W	52.36'	23°28'26"	52.72'
C4(M)	103.73'	N 70°35'25" W	88.03'	50°12'55"	90.91'
C4(R)	103.73'	N 72°11'57" W	87.62'	49°57'56"	90.46'

LEGEND OF SYMBOLS AND ABBREVIATIONS

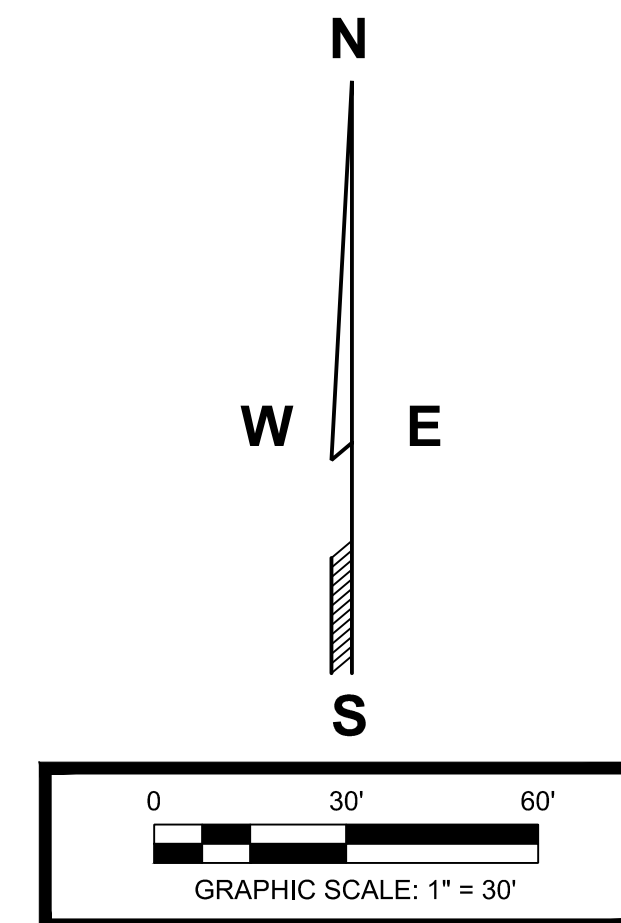
●	FOUND MONUMENT (AS NOTED)	R/W	RIGHT OF WAY
○	SET MONUMENT (AS NOTED)	C/L	CENTERLINE
⊕	COMPUTED POINT	N/P	NOW OR FORMERLY
⊙	LIGHT POLE	P.O.B.	POINT OF BEGINNING
⊗	WATER METER	---	BOUNDARY LINE
⊘	POWER POLE	- - - - -	OVERHEAD POWER LINE
		---	FLOOD LINE
		---	CENTERLINE OF ROAD
		---	RIGHT-OF-WAY
		---	ZONING SETBACK LINE

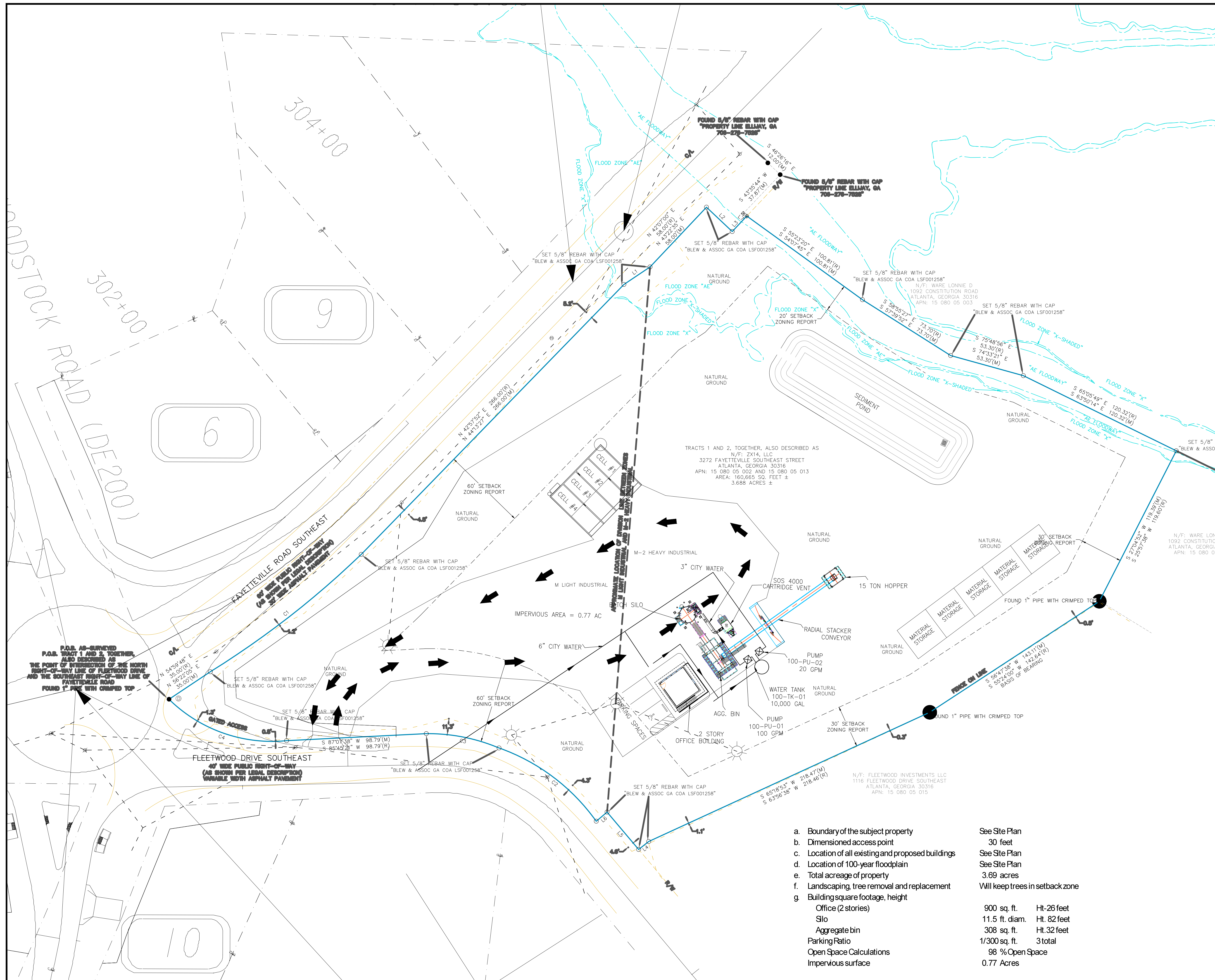
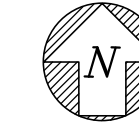
FOR QUESTIONS, COMMENTS, & UPDATES ON THIS SURVEY PLEASE CONTACT:

REALM LAND SERVICES, Inc.
Info@RealmLandServices.com 571-208-2090



REALM PROJECT NAME: FAYETTEVILLE ROAD SE
 REALM PROJECT NO.: 0036-24-0195
 SITE ADDRESS: 3272 FAYETTEVILLE ROAD SE
 ATLANTA, GA 30316





PRELIMINARY
NOT FOR CONSTRUCTION

REV.	DATE	DESCRIPTION	BY	CHKD.	APPR.
A	24OCT24	ISSUE WITH ZONING APPLICATION	RJN	TEB	CB

PENTA
PENTA Engineering Co. LLC
10123 Corporate Square Drive, St. Louis, MO 63132-2905
www.penta.net; Phone: 314-878-0123; Fax: 314-878-0120

This drawing and the information contained herein is submitted confidentially and is the property of Penta Engineering Co. LLC. It may not be duplicated, disclosed, or utilized without written consent from Penta Engineering Co. LLC.

SRM CONCRETE SMYRNA READY MIX CONCRETE, LLC.
MURFREESBORO, TN

READY MIX TERMINAL
3298 FAYETTEVILLE ROAD, ATLANTA GA
SITE PLAN

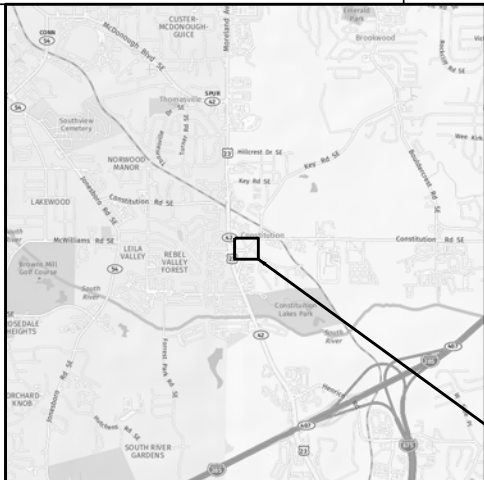
DESIGNED: ES	DATE: 15OCT24	PENTA DRAWING NUMBER	REV.
DRAWN: ES	DATE: 15OCT24	240816-M-110	A
CHECKED: TEB	DATE: 15OCT24	CLIENT DRAWING NUMBER	
APPROVED:	SCALE: 1"=30'		

- a. Boundary of the subject property See Site Plan
- b. Dimensioned access point 30 feet
- c. Location of all existing and proposed buildings See Site Plan
- d. Location of 100-year floodplain See Site Plan
- e. Total acreage of property 3.69 acres
- f. Landscaping, tree removal and replacement Will keep trees in setback zone
- g. Building square footage, height

Office (2 stories)	900 sq. ft.	Ht-26 feet
Silo	11.5 ft. diam.	Ht. 82 feet
Aggregate bin	308 sq. ft.	Ht. 32 feet
Parking Ratio	1/300 sq. ft.	3 total
Open Space Calculations	98 % Open Space	
Impervious surface	0.77 Acres	

METRO SOUTH COMMUNITY IMPROVEMENT DISTRICT

RIGHT OF WAY OF PROPOSED CONSTITUTION ROAD FREIGHT CORRIDOR IMPROVEMENTS DEKALB COUNTY

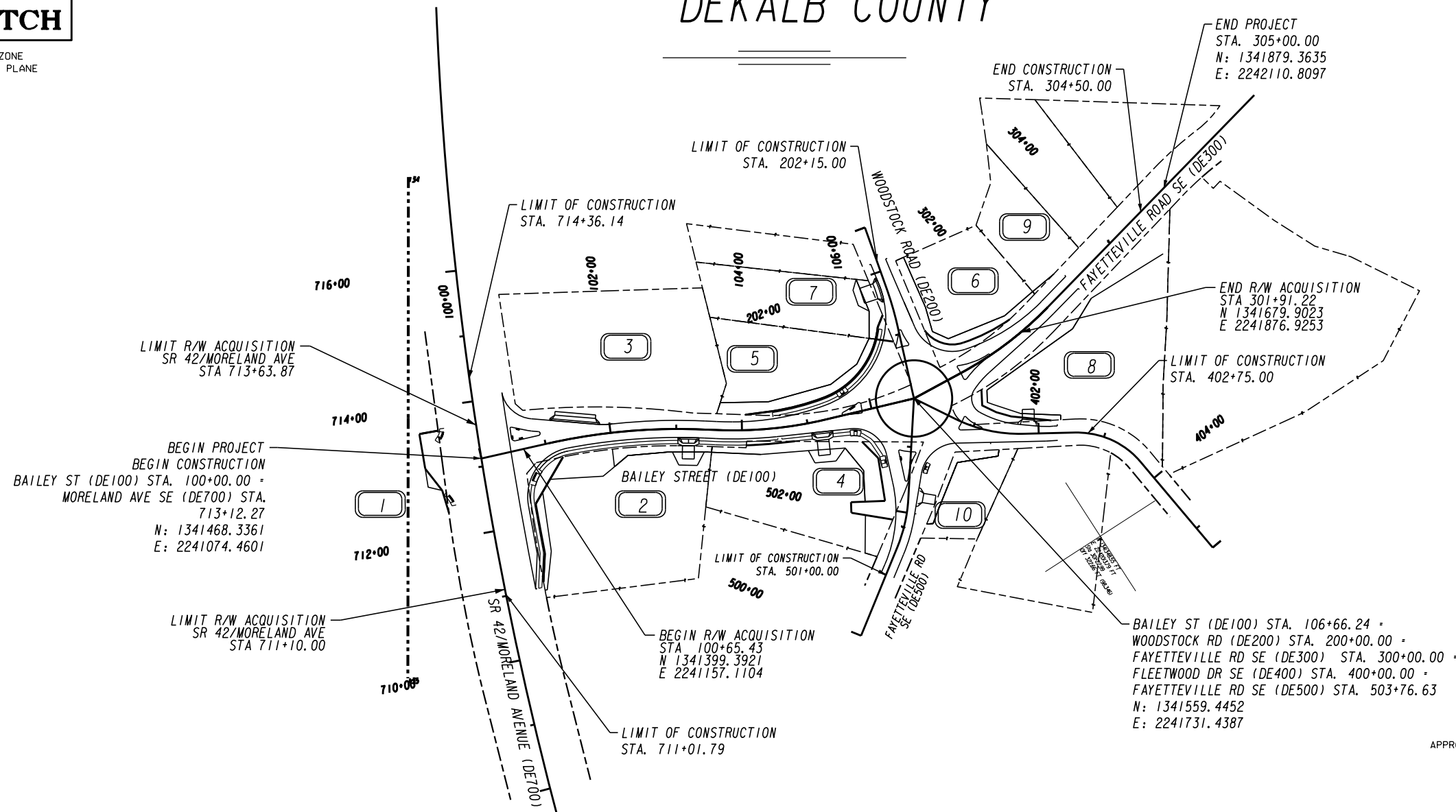


PROJECT LOCATION

LOCATION SKETCH

NOTE: THE CO-ORDINATES LISTED ARE WEST ZONE GRID CO-ORDINATES BASED ON THE GA. STATE PLANE CO-ORDINATE SYSTEM OF 1984.
HORIZONTAL DATUM : NAD 83/94 HARN
VERTICAL DATUM : NAVD 1988

CONVENTIONAL SIGNS		
LAND LOT LINE	-----	
PROPERTY LINE	-----	
RIGHT OF WAY LINE	EXISTING.....	-----
	REQUIRED EXISTING LIMIT OF ACCESS	-----
	REQD LIMIT OF ACCESS	---ooo---
	EXISTING LIMIT OF ACCESS & R/W.....	---ooo---
	REQD LIMIT OF ACCESS & R/W	---ooo---
R/W MARKERS.....	---ooo---	
FENCE.....	---ooo---	



PLANS PREPARED BY
Kimley»Horn
Engineering, Planning, and Environmental Consultants
Suite 601, 817 West Peachtree Street, NW
Atlanta, GA 30308

UNDER THE SUPERVISION OF
OFFICE OF DESIGN

APPROVED: TROY D. BYERS STATE RIGHT OF WAY ADMINISTRATOR DATE

LOCATION AND DESIGN APPROVAL DATE:

PLANS COMPLETED DATE: 2023-08-02

REVISIONS:

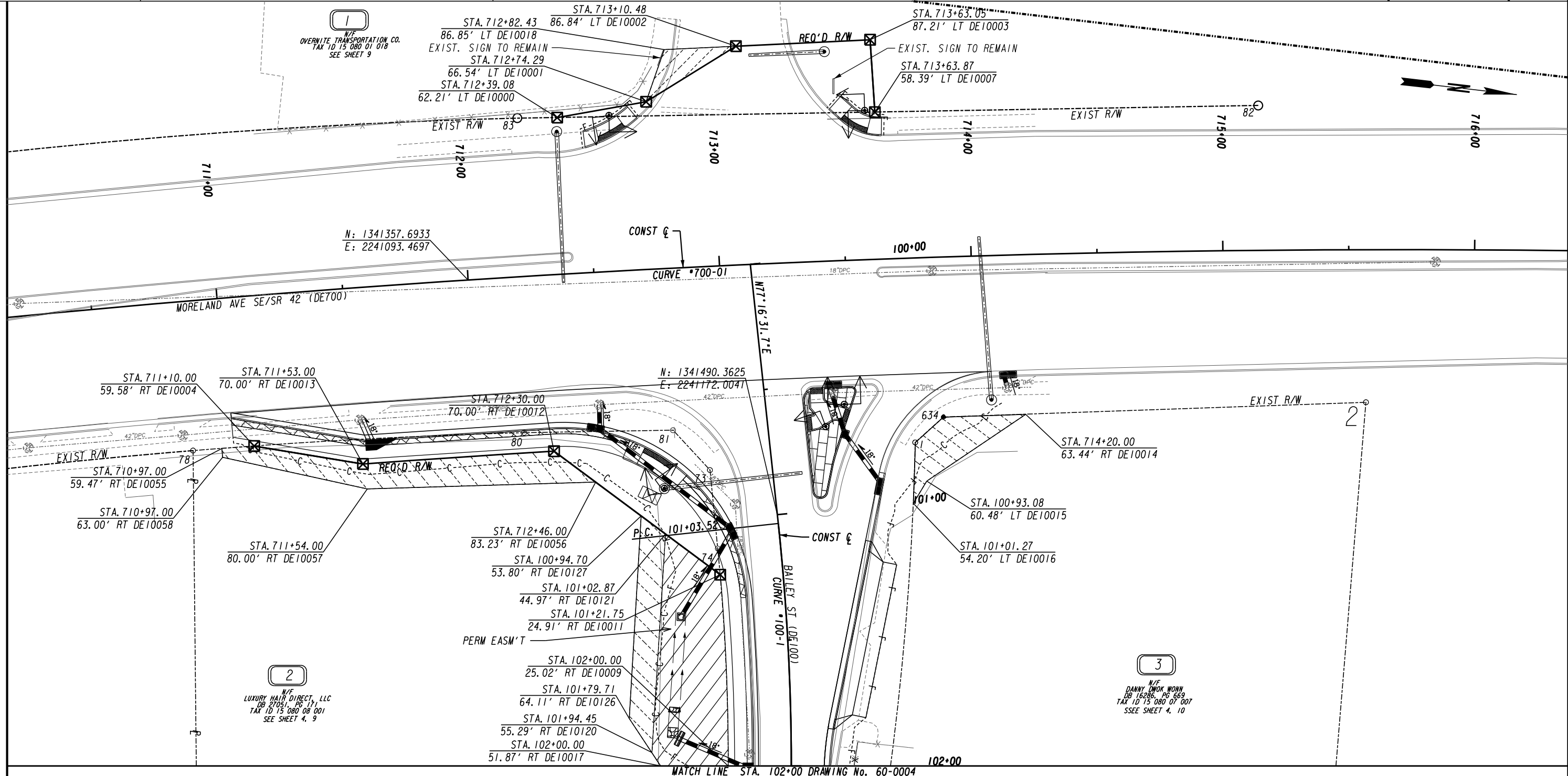
NO.	DESCRIPTION

LENGTH OF RIGHT OF WAY PROJECT	COUNTY 89&121
	MILES
NET LENGTH OF RIGHT OF WAY	0.1419
NET LENGTH OF BRIDGES	0.0000
NET LENGTH OF EXCEPTIONS	0.0000
GROSS LENGTH OF RIGHT OF WAY	0.1419

THIS PROJECT IS LOCATED IN FULTON AND DEKALB COUNTY AND CONGRESSIONAL DISTRICT 5.

COUNTY: FULTON AND DEKALB

DRAWING No.
60-0001



1
N/E
OVERNITE TRANSPORTATION CO.
TAX ID 15 080 01 018
SEE SHEET 9

2
N/E
LUXURY HAIR DIRECT, LLC
DB 27051, PG 171
TAX ID 15 080 08 001
SEE SHEET 4, 9

3
N/E
DANNY DWOK WOHN
DB 16286, PG 669
TAX ID 15 080 07 007
SSEE SHEET 4, 10

PROPERTY AND EXISTING R/W LINE	-----e-----
REQUIRED R/W LINE	-----
CONSTRUCTION LIMITS	---C---F---
EASEMENT FOR CONSTR & MAINTENANCE OF SLOPES	[Hatched Box]
EASEMENT FOR CONSTR OF SLOPES	[Hatched Box]
EASEMENT FOR CONSTR OF DRIVES	[Hatched Box]

BEGIN LIMIT OF ACCESS.....BLA	[Symbol]
END LIMIT OF ACCESS.....ELA	[Symbol]
EXISTING LIMIT OF ACCESS	[Symbol]
REQ'D LIMIT OF ACCESS	[Symbol]
EXISTING LIMIT OF ACCESS & R/W	[Symbol]
REQ'D LIMIT OF ACCESS & R/W	[Symbol]
ORANGE BARRIER FENCE	[Symbol]
ESA - ENV. SENSITIVE AREA	[Symbol]

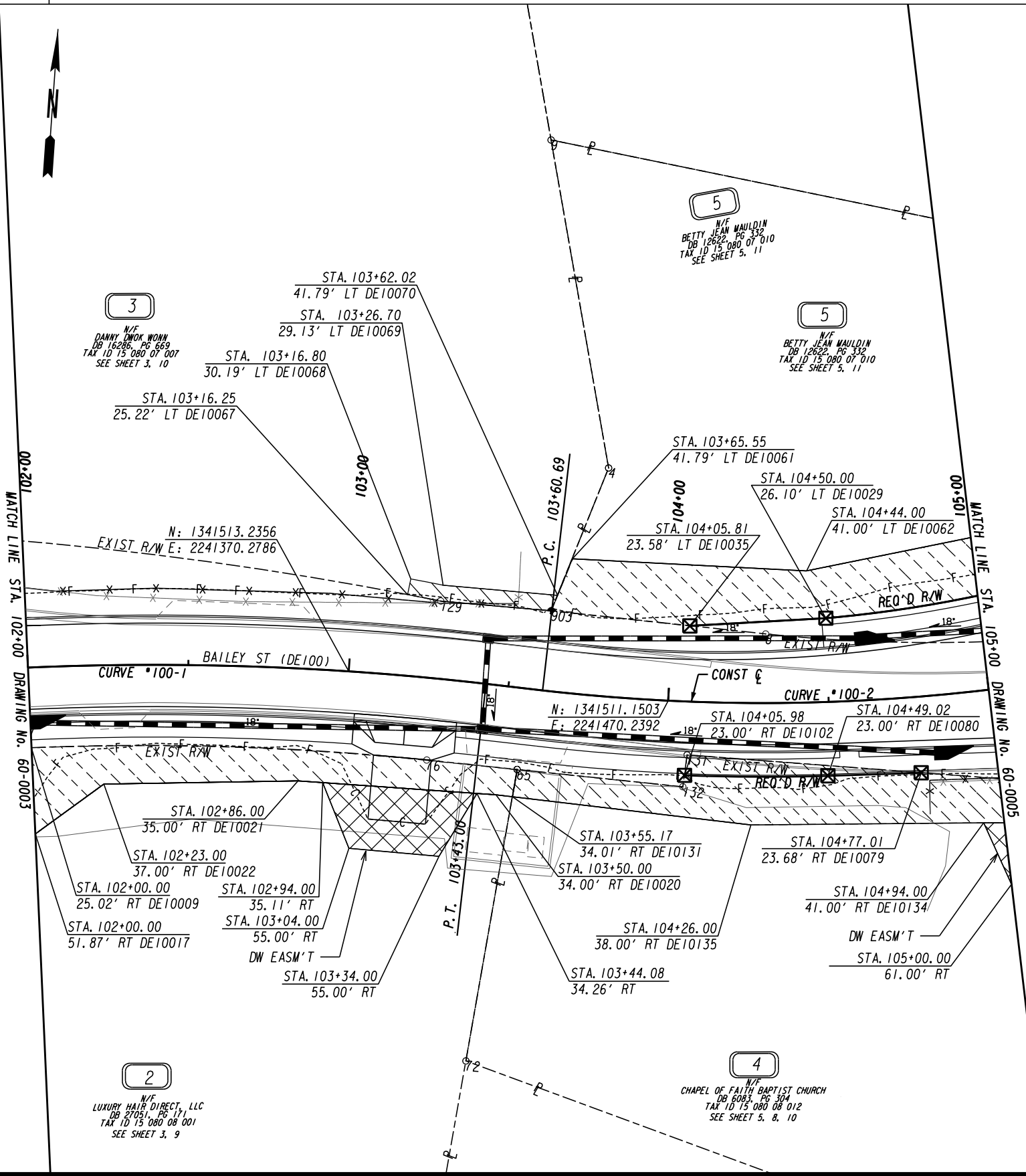
DATE	REVISIONS	DATE	REVISIONS

DATE	REVISIONS	DATE	REVISIONS

DEKALB COUNTY
TRANSPORTATION DIVISION
RIGHT OF WAY MAP

PROJECT NO:
COUNTY: DEKALB & FULTON
LAND LOT NO: 080
LAND DISTRICT: 15
GMD: 1349
DATE: 08/02/23 SH 3 OF 13

DRAWING No.
60-0003



PROPERTY AND EXISTING R/W LINE	---
REQUIRED R/W LINE	---
CONSTRUCTION LIMITS	---
EASEMENT FOR CONSTR & MAINTENANCE OF SLOPES	▨
EASEMENT FOR CONSTR OF SLOPES	▩
EASEMENT FOR CONSTR OF DRIVES	▧

BEGIN LIMIT OF ACCESS.....BLA	●
END LIMIT OF ACCESS.....ELA	○
EXISTING LIMIT OF ACCESS	---
REQ'D LIMIT OF ACCESS	---
EXISTING LIMIT OF ACCESS & R/W	---
REQ'D LIMIT OF ACCESS & R/W	---
ORANGE BARRIER FENCE	—●—●—●—
ESA - ENV. SENSITIVE AREA	▨

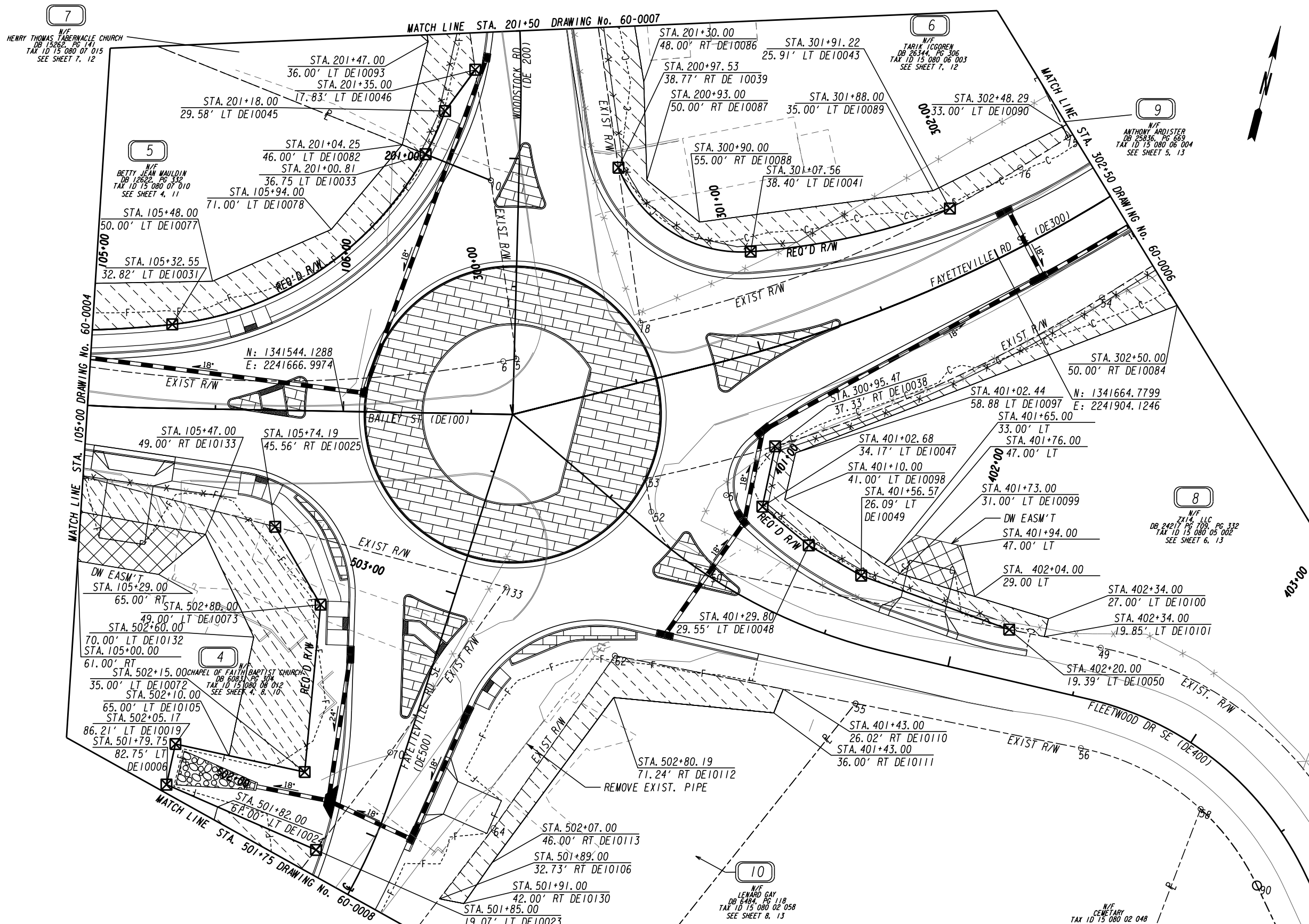
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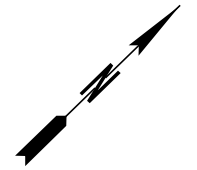
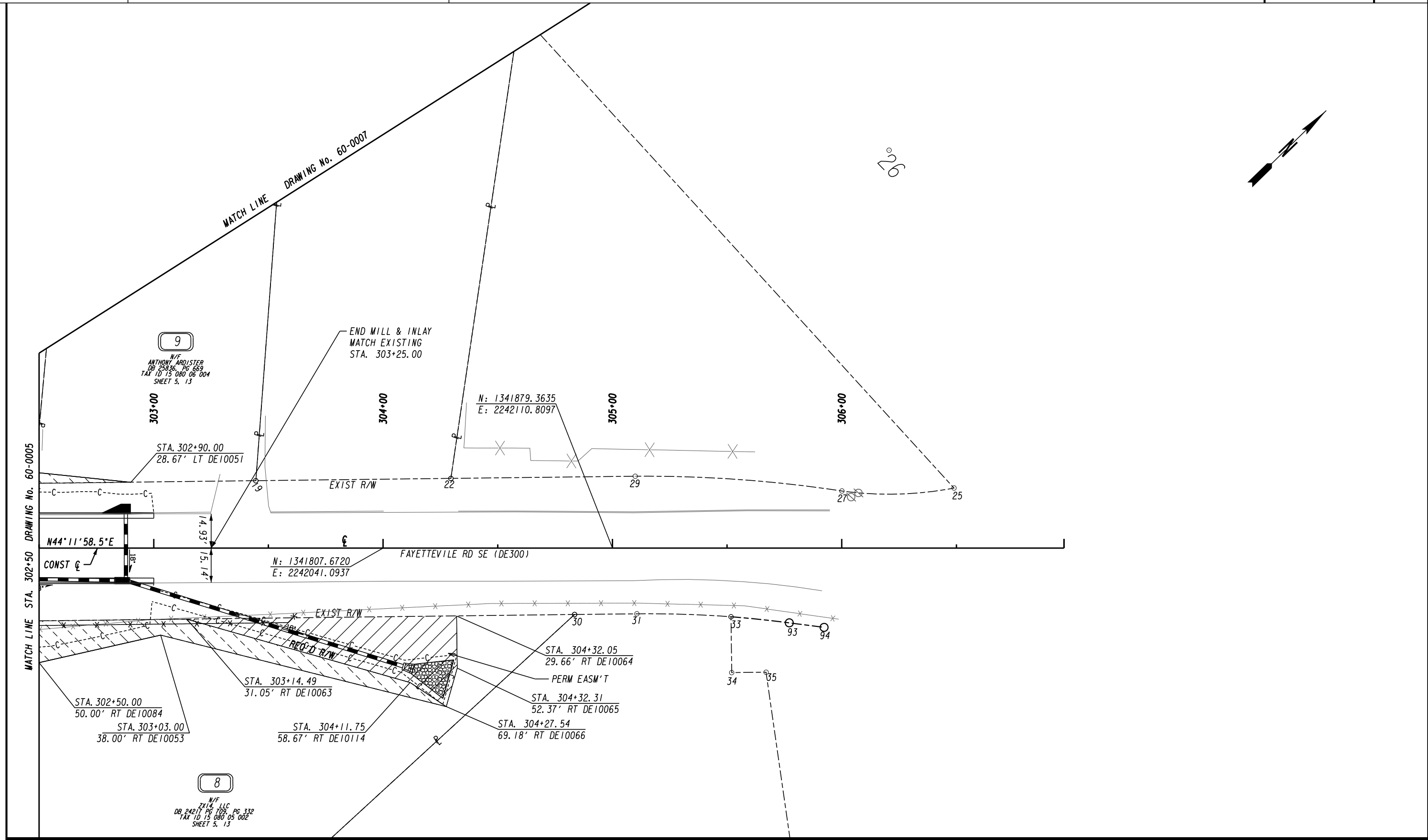
DATE	REVISIONS	DATE	REVISIONS

DEKALB COUNTY
TRANSPORTATION DIVISION
RIGHT OF WAY MAP

PROJECT NO:
COUNTY: DEKALB & FULTON
LAND LOT NO: 080
LAND DISTRICT: 15
GMD: 1349
DATE: 08/02/23 SH 4 OF 13

DRAWING No.
60-0004





PROPERTY AND EXISTING R/W LINE	---
REQUIRED R/W LINE	---
CONSTRUCTION LIMITS	---
EASEMENT FOR CONSTR & MAINTENANCE OF SLOPES	▨
EASEMENT FOR CONSTR OF SLOPES	▩
EASEMENT FOR CONSTR OF DRIVES	▧

BEGIN LIMIT OF ACCESS.....BLA	---
END LIMIT OF ACCESS.....ELA	---
EXISTING LIMIT OF ACCESS	---
REQ'D LIMIT OF ACCESS	---
EXISTING LIMIT OF ACCESS & R/W	---
REQ'D LIMIT OF ACCESS & R/W	---
ORANGE BARRIER FENCE	---
ESA - ENV. SENSITIVE AREA	---

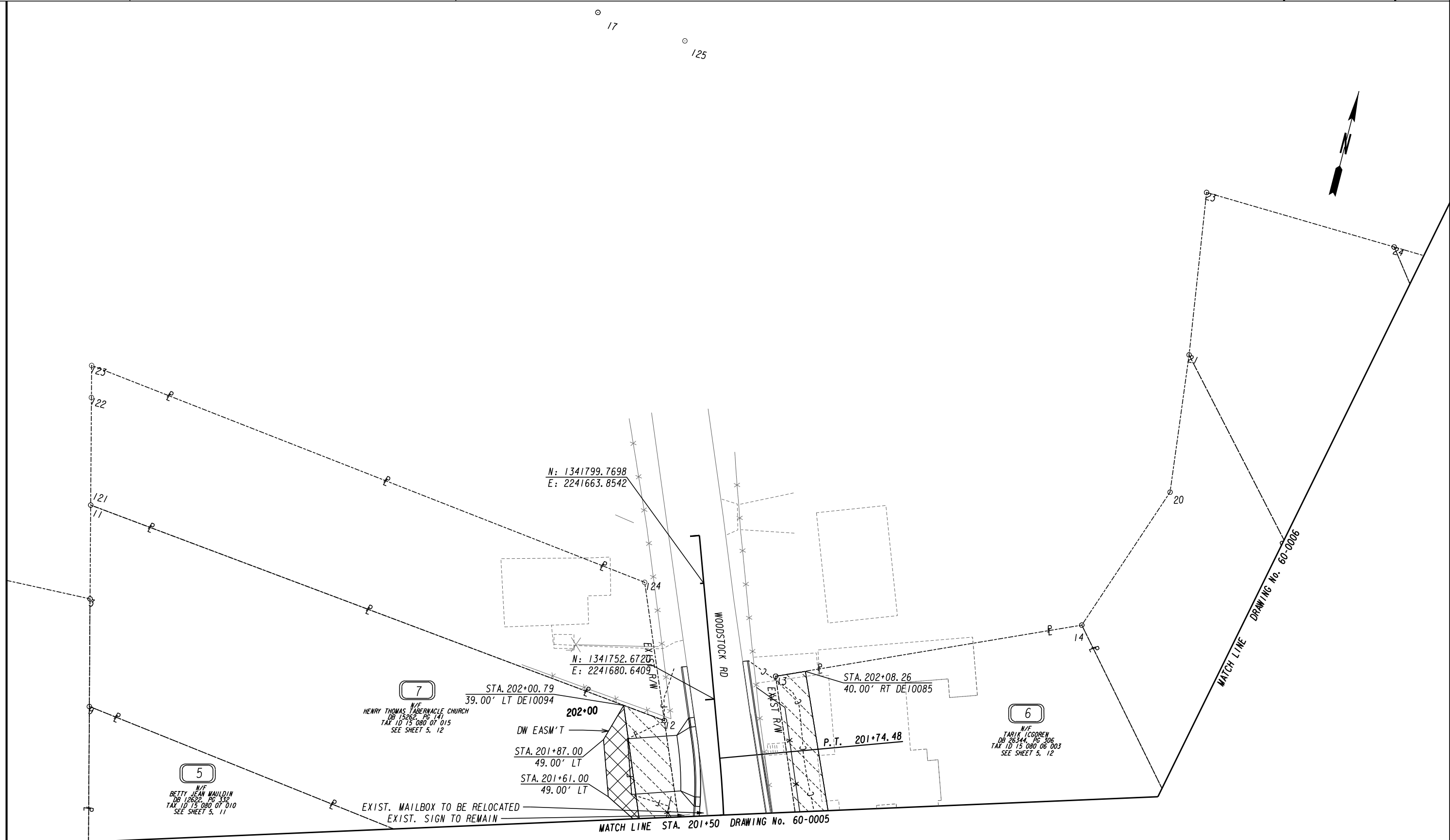
DATE	REVISIONS	DATE	REVISIONS

DATE	REVISIONS	DATE	REVISIONS

DEKALB COUNTY
TRANSPORTATION DIVISION
RIGHT OF WAY MAP

PROJECT NO:
COUNTY: DEKALB & FULTON
LAND LOT NO: 080
LAND DISTRICT: 15
GMD: 1349
DATE: 08/02/23 SH 6 OF 13

DRAWING No.
60-0006



BEGIN LIMIT OF ACCESS.....BLA	[Symbol]
END LIMIT OF ACCESS.....ELA	[Symbol]
EXISTING LIMIT OF ACCESS	[Symbol]
REQ'D LIMIT OF ACCESS	[Symbol]
EXISTING LIMIT OF ACCESS & R/W	[Symbol]
REQ'D LIMIT OF ACCESS & R/W	[Symbol]
ORANGE BARRIER FENCE	[Symbol]
ESA - ENV. SENSITIVE AREA	[Symbol]

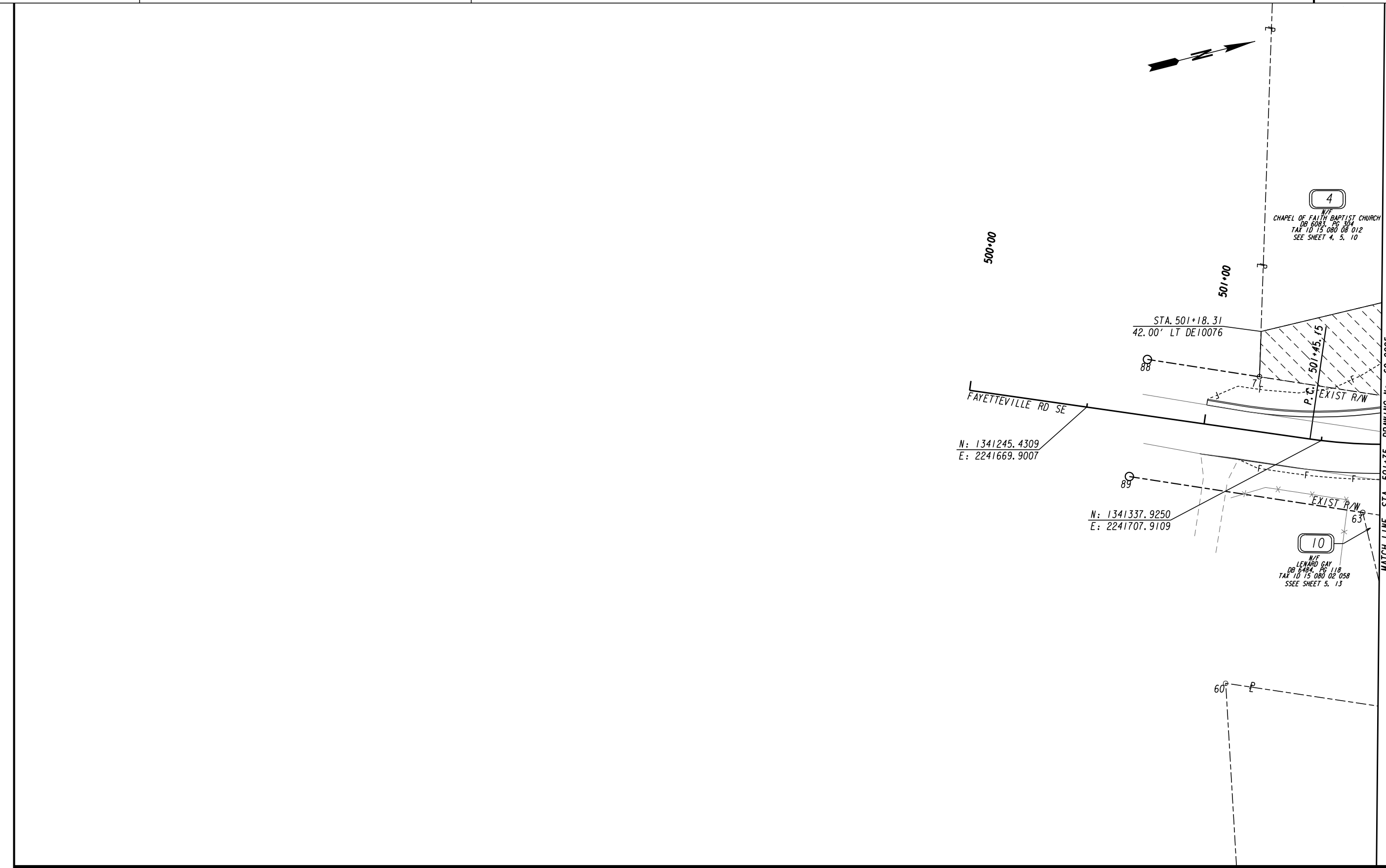
DATE	REVISIONS	DATE	REVISIONS

DATE	REVISIONS	DATE	REVISIONS

DEKALB COUNTY
TRANSPORTATION DIVISION
RIGHT OF WAY MAP

PROJECT NO:
COUNTY: DEKALB & FULTON
LAND LOT NO: 080
LAND DISTRICT: 15
GMD: 1349
DATE: 08/02/23 SH 7 OF 13

DRAWING No.
60-0007



PROPERTY AND EXISTING R/W LINE	---
REQUIRED R/W LINE	---
CONSTRUCTION LIMITS	---
EASEMENT FOR CONSTR	---
& MAINTENANCE OF SLOPES	---
EASEMENT FOR CONSTR OF SLOPES	---
EASEMENT FOR CONSTR OF DRIVES	---

BEGIN LIMIT OF ACCESS.....BLA	---
END LIMIT OF ACCESS.....ELA	---
EXISTING LIMIT OF ACCESS	---
REQ'D LIMIT OF ACCESS	---
EXISTING LIMIT OF ACCESS & R/W	---
REQ'D LIMIT OF ACCESS & R/W	---
ORANGE BARRIER FENCE	---
ESA - ENV. SENSITIVE AREA	---

DATE	REVISIONS	DATE	REVISIONS

DATE	REVISIONS	DATE	REVISIONS

DEKALB COUNTY
TRANSPORTATION DIVISION
RIGHT OF WAY MAP

PROJECT NO:
COUNTY: DEKALB & FULTON
LAND LOT NO: 080
LAND DISTRICT: 15
GMD: 1349
DATE: 08/02/23 SH 8 OF 13

DRAWING No.
60-0008

=====

PARCEL 1 REQ'D R/W DE10101 SEE SHEET 3

=====

PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
DE10000	62.21 L	712+39.08	Moreland Ave SE
	35.87	N 16°40'12.5" W	
DE10001	66.54 L	712+74.29	Moreland Ave SE
	41.92	N 38°21'17.2" W	
DE10002	86.84 L	713+10.48	Moreland Ave SE
	53.37	N 9°19'52.8" W	
DE10003	87.21 L	713+63.05	Moreland Ave SE
	28.83	N 79°40'44.3" E	
DE10007	58.39 L	713+63.87	Moreland Ave SE
	126.17	S 7°33'30.1" E	
DE10000	62.21 L	712+39.08	Moreland Ave SE
REQD R/W	= 2203.89 SF		
REQD R/W	= 0.051 ACRES		
REMAINDER	= +/- 28 ACRES		

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PARCEL 1 REQ'D TEMP. EASMT. DE30101 SEE SHEET 3

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PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
DE10001	66.54 L	712+74.29	Moreland Ave SE
DE10018	86.85 L	712+82.43	Moreland Ave SE
DE10002	86.84 L	713+10.48	Moreland Ave SE
DE10001	66.54 L	712+74.29	Moreland Ave SE
REQD EASMT AREA	= 289.58 SF		

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PARCEL 2 REQ'D R/W DE10201 SEE SHEET 3, 4

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PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
DE10004	59.58 R	711+10.00	Moreland Ave SE
ARC LENGTH	= 107.35		
CHORD BEAR	= N 9°22'13.1" W		
LNTH CHORD	= 107.34		
RADIUS	= 2398.27		
DEGREE	= 2°23'20.6"		
80	62.02 R	712+18.47	Moreland Ave SE
	59.14	N 7°33'30.1" W	
81	64.36 R	712+78.22	Moreland Ave SE
	21.58	N 40°35'37.6" E	
73	24.68 R	100+79.57	Bailey Street
	31.34	N 77°44'46.7" E	
74	24.91 R	101+11.11	Bailey Street
ARC LENGTH	= 10.35		
CHORD BEAR	= N 78°05'42.1" E		
LNTH CHORD	= 10.35		
RADIUS	= 850.00		
DEGREE	= 6°44'26.4"		
DE10011	24.91 R	101+21.75	Bailey Street
	82.21	S 30°01'51.0" W	
DE10012	70.00 R	712+30.00	Moreland Ave SE
ARC LENGTH	= 76.05		
CHORD BEAR	= S 10°23'56.8" E		
LNTH CHORD	= 76.05		
RADIUS	= 5625.00		
DEGREE	= 1°01'06.9"		
DE10013	70.00 R	711+53.00	Moreland Ave SE
	43.77	S 2°46'19.0" W	
DE10004	59.58 R	711+10.00	Moreland Ave SE
REQD R/W	= 2762.80 SF		
REQD R/W	= 0.06 ACRES		
REMAINDER	= +/- 1.2 ACRES		

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PARCEL 2 REQ'D PERM. EASMT. DE20201 SEE SHEET 3, 4

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PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
DE10011	24.91 R	101+21.75	Bailey Street
ARC LENGTH	= 76.08		
CHORD BEAR	= N 81°00'28.2" E		
LNTH CHORD	= 76.05		
RADIUS	= 850.00		
DEGREE	= 6°44'26.4"		
DE10009	25.02 R	102+00.00	Bailey Street
	26.85	S 6°34'57.2" E	
DE10017	51.87 R	102+00.00	Bailey Street
	6.24	S 49°56'24.7" W	
DE10120	55.29 R	101+94.45	Bailey Street
	87.09	S 86°56'50.8" W	
DE10121	44.97 R	101+02.87	Bailey Street
	27.07	N 30°01'51.0" E	
DE10011	24.91 R	101+21.75	Bailey Street
REQD EASMT	= 2243.25 SF		
REQD EASMT	= 0.05 ACRES		

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PARCEL 2 AREA 1 REQ'D TEMP. EASMT. DE30201 SEE SHEET 3, 4

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PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
DE10055	59.47 R	710+97.00	Moreland Ave SE
ARC LENGTH	= 12.86		
CHORD BEAR	= N 10°48'22.5" W		
LNTH CHORD	= 12.86		
RADIUS	= 2398.27		
DEGREE	= 2°23'20.6"		
DE10004	59.58 R	711+10.00	Moreland Ave SE
DE10013	70.00 R	711+53.00	Moreland Ave SE
ARC LENGTH	= 76.05		
CHORD BEAR	= N 10°23'56.8" W		
LNTH CHORD	= 76.05		
RADIUS	= 5625.00		
DEGREE	= 1°01'06.9"		
DE10012	70.00 R	712+30.00	Moreland Ave SE
DE10056	83.23 R	712+46.00	Moreland Ave SE
DE10057	80.00 R	711+54.00	Moreland Ave SE
DE10058	63.00 R	710+97.00	Moreland Ave SE
DE10055	59.47 R	710+97.00	Moreland Ave SE
REQD EASMT AREA	= 1403.04 SF		
REQD TEMP EASMT (AREA 1)	= 0.03 AC		
REQD TEMP EASMT (AREA 1 + AREA 2 + AREA 3)	= 3971.31 SF		
REQD TEMP EASMT (AREA 1 + AREA 2 + AREA 3)	= 0.09 AC		

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DATE	REVISIONS	DATE	REVISIONS

DEKALB COUNTY
TRANSPORTATION DIVISION
RIGHT OF WAY TABLES

PROJECT NO:
COUNTY: DEKALB & FULTON
LAND LOT NO: 080
LAND DISTRICT: 15
GMD: 1349
DATE: 08/02/23 SH 9 OF 13

DRAWING No.
60-0009

PARCEL 2 AREA 2 REQ'D TEMP. EASM'T. DE30202 SEE SHEET 3, 4

PNT	OFFSET/	STATION/	ALIGNMENT
DE10121	44.97 R	101+02.87	Bailey Street
DE10120	55.29 R	101+94.45	Bailey Street
DE10126	64.11 R	101+79.71	Bailey Street
DE10127	53.80 R	100+94.70	Bailey Street
DE10121	44.97 R	101+02.87	Bailey Street
REQD TEMP EASMT (AREA 2) = 833.99 SF			
REQD TEMP EASMT (AREA 2) = 0.02 AC			
REQD TEMP EASMT (AREA 1 + AREA 2 + AREA 3) = 3971.31 SF			
REQD TEMP EASMT (AREA 1 + AREA 2 + AREA 3) = 0.09 AC			

PARCEL 2 AREA 3 REQ'D TEMP. EASM'T. DE30203 SEE SHEET 3, 4

PNT	OFFSET/	STATION/	ALIGNMENT
DE10009	25.02 R	102+00.00	Bailey Street
ARC LENGTH = 123.36			
CHORD BEAR = N 87°43'46.0" E			
LNTH CHORD = 123.25			
RADIUS = 850.00			
DEGREE = 6°44'26.4"			
76	25.60 R	103+26.92	Bailey Street
65	25.43 R	103+55.68	Bailey Street
DE10131	34.01 R	103+55.17	Bailey Street
DE10020	34.00 R	103+50.00	Bailey Street
DE10021	35.00 R	102+86.00	Bailey Street
DE10022	37.00 R	102+23.00	Bailey Street
DE10017	51.87 R	102+00.00	Bailey Street
DE10009	25.02 R	102+00.00	Bailey Street
REQD EASMT (AREA 3) = 1734.28 SF			
REQD EASMT (AREA 3) = 0.04 AC			
REQD TEMP EASMT (AREA 1 + AREA 2 + AREA 3) = 3971.31 SF			
REQD TEMP EASMT (AREA 1 + AREA 2 + AREA 3) = 0.09 AC			

PARCEL 2 REQ'D DRWY. EASM'T. SEE SHEET 3, 4

REQ'D DRIVEWAY EASEM'T = 1

PARCEL 3 REQ'D PERM. EASM'T. DE20301 SEE SHEET 3, 4

PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
DE10067	25.22 L	103+16.25	Bailey Street
5.00 N 7°17'43.7" E			
DE10068	30.19 L	103+16.80	Bailey Street
ARC LENGTH = 10.29			
CHORD BEAR = S 82°56'25.8" E			
LNTH CHORD = 10.29			
RADIUS = 1181.79			
DEGREE = 4°50'53.5"			
DE10069	29.13 L	103+26.70	Bailey Street
35.79 S 89°01'24.3" E			
DE10070	29.94 L	103+62.02	Bailey Street
5.23 S 17°52'04.6" W			
903	24.91 L	103+60.58	Bailey Street
34.55 N 89°01'24.3" W			
129	24.13 L	103+26.48	Bailey Street
ARC LENGTH = 10.56			
CHORD BEAR = N 82°56'05.3" W			
LNTH CHORD = 10.56			
RADIUS = 1176.79			
DEGREE = 4°52'07.7"			
DE10067	25.22 L	103+16.25	Bailey Street
REQD EASMT = 227.98 SF			
REQD EASMT = 0.005 ACRES			

PARCEL 3 REQ'D TEMP. EASM'T. DE30301 SEE SHEET 3, 4

PNT	OFFSET/	STATION/	ALIGNMENT
634	69.77 L	100+68.54	Bailey Street
DE10014	63.44 R	714+20.00	Moreland Ave SE
DE10015	60.48 L	100+93.08	Bailey Street
DE10016	54.20 L	101+01.27	Bailey Street
1	57.53 L	100+77.39	Bailey Street
634	69.77 L	100+68.54	Bailey Street
REQD EASMT AREA = 580.99 SF			
REQD EASMT AREA = 0.01 AC			

PARCEL 4 TRACT 1 REQ'D R/W DE10401 SEE SHEET 4, 5, 8

PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
131	16.66 R	104+06.56	Bailey Street
73.11 S 89°43'27.3" E			
DE10079	23.68 R	104+77.01	Bailey Street
29.08 S 84°05'12.5" W			
DE10080	23.00 R	104+49.02	Bailey Street
ARC LENGTH = 44.69			
CHORD BEAR = S 86°08'30.6" W			
LNTH CHORD = 44.68			
RADIUS = 623.00			
DEGREE = 9°11'48.5"			
DE10102	23.00 R	104+05.98	Bailey Street
6.37 N 3°36'04.5" E			
131	16.66 R	104+06.56	Bailey Street
REQD R/W = 267.58 SF			
REQD R/W = 0.006 ACRES			

PARCEL 4 TRACT 2 REQ'D R/W DE10402 SEE SHEET 4, 5, 8

PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
DE10025	45.56 R	105+74.19	Bailey Street
93.57 S 89°43'27.3" E			
133	18.30 R	503+08.51	Fayetteville Road SE (West)
78.91 S 20°45'59.8" W			
70	5.41 L	502+33.25	Fayetteville Road SE (West)
47.95 S 22°58'24.3" W			
DE10023	19.07 L	501+85.00	Fayetteville Road SE (West)
63.80 N 80°46'47.5" W			
DE10006	82.75 L	501+79.75	Fayetteville Road SE (West)
16.24 N 1°58'45.1" W			
DE10019	86.21 L	502+05.17	Fayetteville Road SE (West)
51.70 N 87°50'07.4" E			
DE10072	35.00 L	502+15.00	Fayetteville Road SE (West)
65.71 N 8°58'43.5" W			
DE10073	49.00 L	502+80.00	Fayetteville Road SE (West)
35.22 N 44°37'56.4" W			
DE10025	45.56 R	105+74.19	Bailey Street
REQD R/W (TRACT 2) = 6216.86 SF			
REQD R/W (TRACT 2) = 0.14 ACRES			
REQD R/W (TRACT 1 + TRACT 2) = 0.15 ACRES			
REMAINDER = +/- 0.80 ACRES			

DATE	REVISIONS	DATE	REVISIONS

DEKALB COUNTY
TRANSPORTATION DIVISION
RIGHT OF WAY TABLES

PROJECT NO:
COUNTY: DEKALB & FULTON
LAND LOT NO: 080
LAND DISTRICT: 15
GMD: 1349
DATE: 08/02/23 SH 10 OF 13

DRAWING No.
60-0010

PARCEL 6 REQ'D R/W DE10601 SEE SHEET 5, 7

PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
18	22.48 L	300+57.22	Fayetteville Road SE (East)
	61.30	N 22°31'04.0" W	
DE10039	38.77 R	200+97.53	Woodstock Road
ARC LENGTH = 65.56			
CHORD BEAR = S 71°57'39.3" E			
LNTH CHORD = 61.22			
RADIUS = 51.50			
DEGREE = 111°15'14.2"			
DE10041	38.40 L	301+07.56	Fayetteville Road SE (East)
ARC LENGTH = 79.94			
CHORD BEAR = N 63°22'33.1" E			
LNTH CHORD = 79.67			
RADIUS = 279.50			
DEGREE = 20°29'57.8"			
DE10043	25.91 L	301+91.22	Fayetteville Road SE (East)
ARC LENGTH = 129.29			
CHORD BEAR = S 55°17'56.9" W			
LNTH CHORD = 128.88			
RADIUS = 470.00			
DEGREE = 12°11'26.1"			
18	22.48 L	300+57.22	Fayetteville Road SE (East)
REQD R/W = 1956.60 SF			
REQD R/W = 0.05 ACRES			
REMAINDER = +/- 0.53 ACRES			

PARCEL 6 REQ'D TEMP. EASM'T. DE30601 SEE SHEET 5, 7

PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
DE10039	38.77 R	200+97.53	Woodstock Road
13	27.14 R	202+07.30	Woodstock Road
DE10085	40.00 R	202+08.26	Woodstock Road
DE10086	48.00 R	201+30.00	Woodstock Road
DE10087	50.00 R	200+93.00	Woodstock Road
DE10088	55.00 L	300+90.00	Fayetteville Road SE (East)
DE10089	35.00 L	301+88.00	Fayetteville Road SE (East)
DE10090	33.00 L	302+48.29	Fayetteville Road SE (East)
15	28.17 L	302+47.85	Fayetteville Road SE (East)
16	27.48 L	302+24.75	Fayetteville Road SE (East)
ARC LENGTH = 31.95			
CHORD BEAR = S 45°28'17.3" W			
LNTH CHORD = 31.94			
RADIUS = 470.00			
DEGREE = 12°11'26.1"			
DE10043	25.91 L	301+91.22	Fayetteville Road SE (East)
ARC LENGTH = 79.94			
CHORD BEAR = S 63°22'33.1" W			
LNTH CHORD = 79.67			
RADIUS = 279.50			
DEGREE = 20°29'57.8"			
DE10041	38.40 L	301+07.56	Fayetteville Road SE (East)
ARC LENGTH = 65.56			
CHORD BEAR = N 71°57'39.3" W			
LNTH CHORD = 61.22			
RADIUS = 51.50			
DEGREE = 111°15'14.2"			
DE10039	38.77 R	200+97.53	Woodstock Road
REQD TEMP EASMT = 3538.95 SF			
REQD TEMP EASMT = 0.08 AC			

PARCEL 7 REQ'D R/W DE10701 SEE SHEET 5, 7

PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
10	10.87 L	200+91.18	Woodstock Road
	27.61	N 82°28'33.0" W	
DE10033	36.75 L	201+00.81	Woodstock Road
ARC LENGTH = 18.51			
CHORD BEAR = N 9°54'59.5" E			
LNTH CHORD = 18.50			
RADIUS = 128.50			
DEGREE = 44°35'17.4"			
DE10045	29.58 L	201+18.00	Woodstock Road
	20.00	N 21°49'41.8" E	
DE10046	17.83 L	201+35.00	Woodstock Road
	43.74	S 22°31'04.0" E	
10	10.87 L	200+91.18	Woodstock Road
REQD R/W = 556.83 SF			
REQD R/W = 0.01 ACRES			
REMAINDER = +/- 0.51 ACRES			

PARCEL 7 REQ'D TEMP. EASM'T. DE30701 SEE SHEET 5, 7

PNT	OFFSET/ DIST	STATION/ BEARING	ALIGNMENT
DE10033	36.75 L	201+00.81	Woodstock Road
DE10082	46.00 L	201+04.25	Woodstock Road
DE10093	36.00 L	201+47.00	Woodstock Road
DE10094	39.00 L	202+00.79	Woodstock Road
12	22.18 L	201+92.65	Woodstock Road
DE10046	17.83 L	201+35.00	Woodstock Road
DE10045	29.58 L	201+18.00	Woodstock Road
ARC LENGTH = 18.51			
CHORD BEAR = S 9°54'59.5" W			
LNTH CHORD = 18.50			
RADIUS = 128.50			
DEGREE = 44°35'17.4"			
DE10033	36.75 L	201+00.81	Woodstock Road
REQD TEMP EASMT = 1475.20 SF			
REQD TEMP EASMT = 0.03 AC			

PARCEL 7 REQ'D DRWY. EASEM'T. SEE SHEET 5, 7

 REQ'D DRIVEWAY EASEM'T = 1

DATE	REVISIONS	DATE	REVISIONS

DEKALB COUNTY
 TRANSPORTATION DIVISION
RIGHT OF WAY TABLES

PROJECT NO:
 COUNTY: DEKALB & FULTON
 LAND LOT NO: 080
 LAND DISTRICT: 15
 GMD: 1349
 DATE: 08/02/23 SH 12 OF 13

DRAWING No.
60-0012

PARCEL 8 REQ'D R/W DE10801 SEE SHEET 5, 6

 PNT OFFSET/ STATION/ ALIGNMENT
 DIST BEARING

 53 14.75 L 400+55.75 Fleetwood Drive SE
 ARC LENGTH = 52.24
 CHORD BEAR = N 61°34'13.8" E
 LNTH CHORD = 52.22
 RADIUS = 530.00
 DEGREE = 10°48'37.9"
 DE10038 37.33 R 300+95.47 Fayetteville Road SE (East)
 24.10 S 2°27'28.3" E
 DE10047 34.17 L 401+02.68 Fleetwood Drive SE
 23.63 S 64°30'19.8" E
 DE10048 29.55 L 401+29.80 Fleetwood Drive SE
 23.63 S 74°24'35.5" E
 DE10049 26.09 L 401+56.57 Fleetwood Drive SE
 61.58 S 84°20'52.4" E
 DE10050 19.39 L 402+20.00 Fleetwood Drive SE
 118.63 S 86°49'29.9" W
 50 2.39 L 400+99.08 Fleetwood Drive SE
 ARC LENGTH = 34.74
 CHORD BEAR = N 60°00'14.5" W
 LNTH CHORD = 32.83
 RADIUS = 30.00
 DEGREE = 190°59'09.4"
 52 50.15 R 300+43.27 Fayetteville Road SE (East)
 13.15 N 24°29'05.0" W
 53 14.75 L 400+55.75 Fleetwood Drive SE
 REQD R/W = 2720.09 SF
 REQD R/W = 0.06 ACRES
 REMAINDER = +/- 1.1 ACRES

PARCEL 8 REQ'D TEMP. EASM'T. DE30801 SEE SHEET 5, 6

 PNT OFFSET/ STATION/ ALIGNMENT
 DE10038 37.33 R 300+95.47 Fayetteville Road SE (East)
 ARC LENGTH = 140.81
 CHORD BEAR = N 51°08'08.3" E
 LNTH CHORD = 140.40
 RADIUS = 530.00
 DEGREE = 10°48'37.9"
 54 32.45 R 302+27.73 Fayetteville Road SE (East)
 DE10063 31.05 R 303+14.49 Fayetteville Road SE (East)
 DE10114 58.67 R 304+11.75 Fayetteville Road SE (East)
 DE10066 69.18 R 304+27.54 Fayetteville Road SE (East)
 DE10053 38.00 R 303+03.00 Fayetteville Road SE (East)
 DE10084 50.00 R 302+50.00 Fayetteville Road SE (East)
 DE10097 58.88 L 401+02.44 Fleetwood Drive SE
 DE10098 41.00 L 401+10.00 Fleetwood Drive SE
 DE10099 31.00 L 401+73.00 Fleetwood Drive SE
 DE10100 27.00 L 402+34.00 Fleetwood Drive SE
 DE10101 19.85 L 402+34.00 Fleetwood Drive SE
 DE10050 19.39 L 402+20.00 Fleetwood Drive SE
 DE10049 26.09 L 401+56.57 Fleetwood Drive SE
 DE10048 29.55 L 401+29.80 Fleetwood Drive SE
 DE10047 34.17 L 401+02.68 Fleetwood Drive SE
 DE10038 37.33 R 300+95.47 Fayetteville Road SE (East)
 REQD EASMT AREA = 3973.30 SF
 REQD TEMP EASMT = 0.09 AC

PARCEL 9 REQ'D TEMP. EASM'T. DE30901 SEE SHEET 5, 6

 PNT OFFSET/ STATION/ ALIGNMENT
 15 28.17 L 302+47.85 Fayetteville Road SE (East)
 DE10090 33.00 L 302+48.29 Fayetteville Road SE (East)
 DE10105 28.67 L 302+90.00 Fayetteville Road SE (East)
 15 28.17 L 302+47.85 Fayetteville Road SE (East)
 REQD TEMP EASMT = 101.71 SF
 REQD TEMP EASMT = 0.01 AC

PARCEL 10 REQ'D TEMP. EASM'T. DE31001 SEE SHEET 5, 8

 PNT OFFSET/ STATION/ ALIGNMENT
 DE10106 32.73 R 501+89.00 Fayetteville Road SE (West)
 64 42.00 R 502+17.73 Fayetteville Road SE (West)
 62 66.75 R 502+95.90 Fayetteville Road SE (West)
 DE10110 26.02 R 401+43.00 Fleetwood Drive SE
 DE10111 36.00 R 401+43.00 Fleetwood Drive SE
 DE10112 71.24 R 502+80.19 Fayetteville Road SE (West)
 DE10113 46.00 R 502+07.00 Fayetteville Road SE (West)
 DE10130 42.00 R 501+91.00 Fayetteville Road SE (West)
 DE10106 32.73 R 501+89.00 Fayetteville Road SE (West)
 REQD TEMP EASMT = 1732.34 SF
 REQD TEMP EASMT = 0.04 AC

PARCEL 8 REQ'D DRWY. EASM'T. SEE SHEET 5, 6

 REQ'D DRIVEWAY EASEM'T = 1

PARCEL 8 REQ'D PERM EASM'T DE20801 SEE SHEET 5, 6

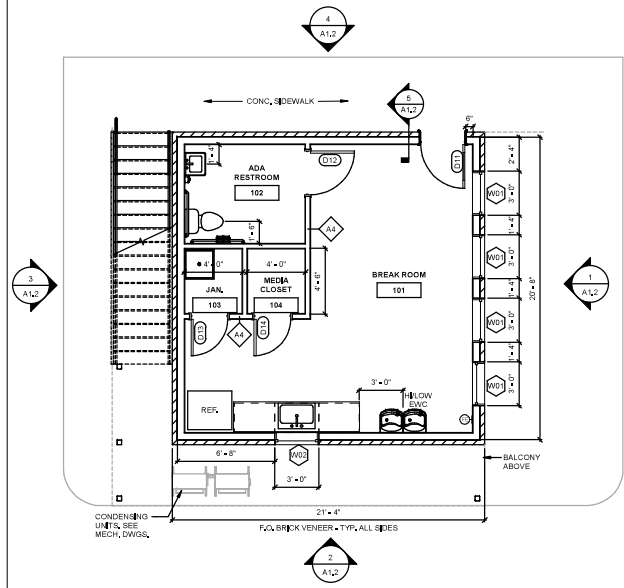
 PNT OFFSET/ STATION/ ALIGNMENT
 DIST BEARING

 DE10063 31.05 R 303+14.49 Fayetteville Road SE (East)
 117.57 N 43°31'27.3" E
 DE10064 29.66 R 304+32.05 Fayetteville Road SE (East)
 22.71 S 46°28'32.6" E
 DE10065 52.37 R 304+32.31 Fayetteville Road SE (East)
 17.47 S 29°57'24.7" E
 DE10066 69.18 R 304+27.54 Fayetteville Road SE (East)
 18.97 S 77°51'03.5" W
 DE10114 58.67 R 304+11.75 Fayetteville Road SE (East)
 101.11 S 60°03'05.3" W
 DE10063 31.05 R 303+14.49 Fayetteville Road SE (East)
 REQD EASMT = 2082.89 SF
 REQD EASMT = 0.05 ACRES

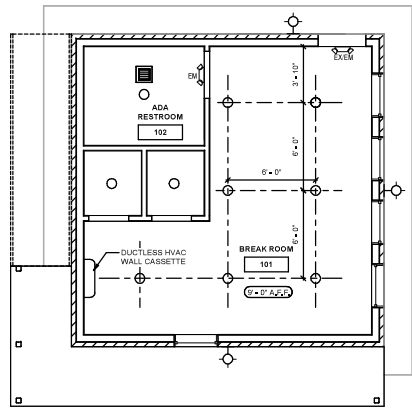
DATE	REVISIONS	DATE	REVISIONS	DEKALB COUNTY TRANSPORTATION DIVISION RIGHT OF WAY TABLES	
				PROJECT NO: COUNTY: DEKALB & FULTON LAND LOT NO: 080 LAND DISTRICT: 15 GMD: 1349 DATE: 08/02/23 SH 13 OF 13	
				DRAWING No. 60-0013	

Future Building Information for 3272 Fayetteville Rd: 900sqft, two-story brick building, with 3 parkings spaces , ADA compliant. The below is an example of the construction to be used.

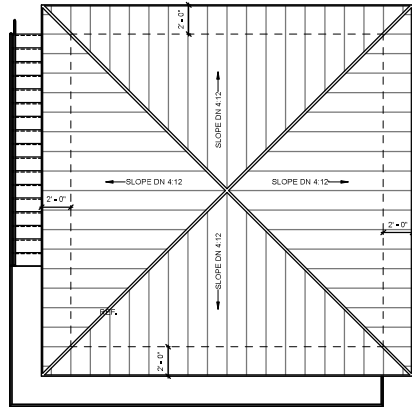




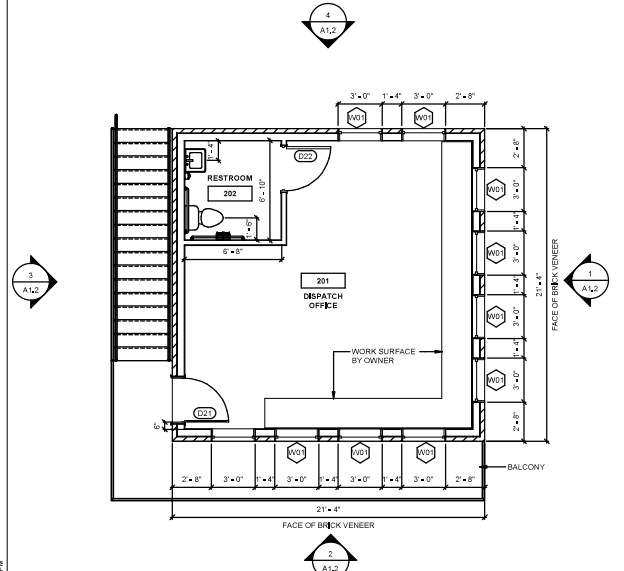
1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



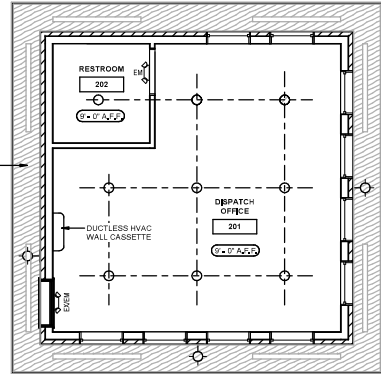
3 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



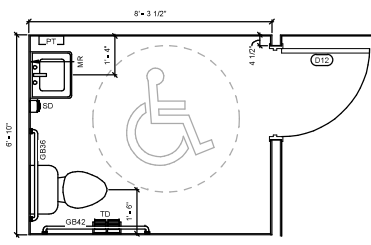
5 ROOF PLAN
SCALE: 1/2" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

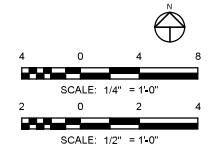


6 ADA RESTROOM PLAN
SCALE: 1/2" = 1'-0"

TOILET ACCESSORIES LEGEND

PT PAPER TOWEL DISPENSER	GB36 36" GRAB BAR
TD TOILET TISSUE DISPENSER	GB42 42" GRAB BAR
SD LIQUID SOAP DISPENSER	MR MIRROR
	W WETEMPREGDGLASS

NOTES:
1. TOILET ACCESSORIES NOTED ARE FOR BUDGET PURPOSES ONLY, OWNER SHALL SUPPLY MAKE FINAL SELECTION.
2. COORDINATE WITH G-101 ACCESSIBLE MOUNTING HEIGHTS.



CONSTRUCTION DOCUMENTS



RHODES
ARCHITECTURE
8417 SANCHEZ RD.
JACKSONVILLE, FL 32217
FLORIDA ARCHITECTURE LICENSE AR97171

No.	Description	Date

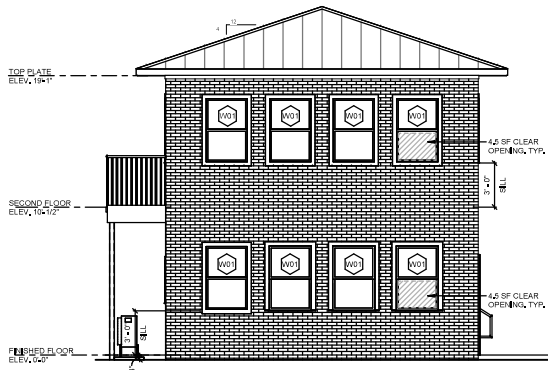
SRM DISPATCH OFFICE
EXAMPLE DRAWING

**FLOOR PLANS,
REFLECTED CEILING
PLANS & ROOF PLAN**

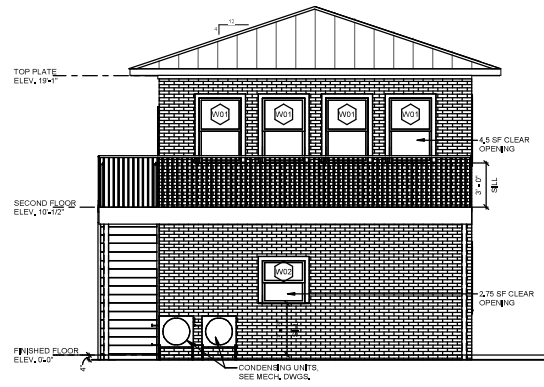
Project number	24-007
Date	05-15-2024
Drawn by	BR
Checked by	KA

A1.1

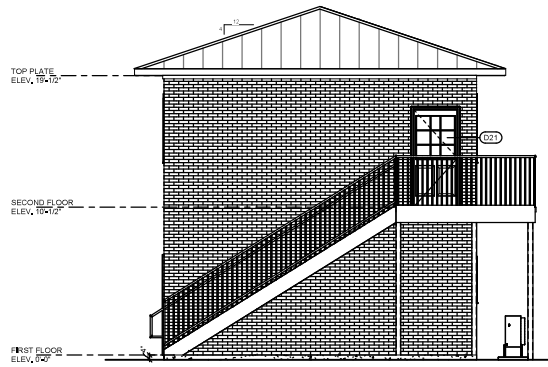
Scale As indicated



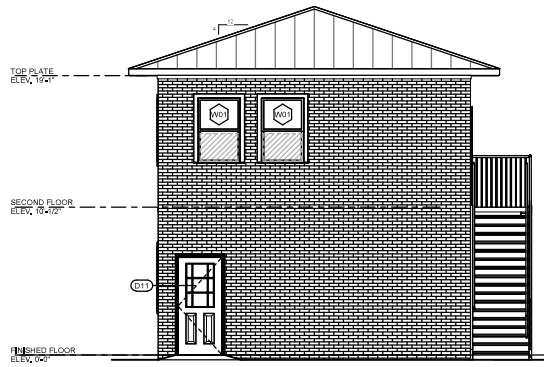
1 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



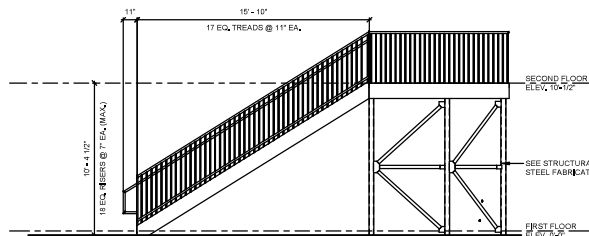
2 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



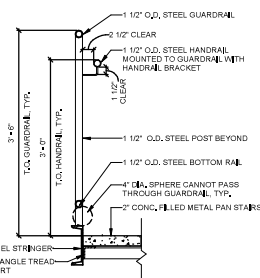
3 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



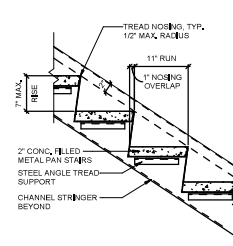
4 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



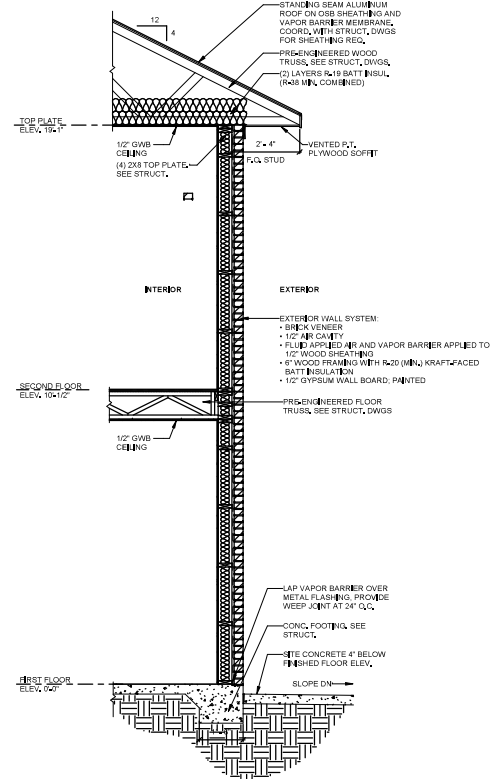
6 STAIR ELEVATION
SCALE: 1/4" = 1'-0"



7 RAILING DETAIL
SCALE: 1" = 1'-0"

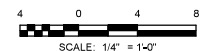


8 STAIR SECTION
SCALE: 1" = 1'-0"



WALL SECTION NOTES:
COORDINATE WITH STRUCTURAL DRAWINGS FOR FRAMING SPECIFICATIONS AND PLATE CONNECTIONS. IN CASE OF CONFLICT OR DISCREPANCY, DEFER TO STRUCTURAL DRAWINGS.

NATURAL VENTILATION CALCULATIONS
2015 IRC MECHANICAL EXHAUST VENTILATION AREA SHALL BE THE MINIMUM OPERABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.
FLOOR AREA: 380 SF (EACH FLOOR)
FIRST FLOOR CLEAR WINDOW OPENINGS = 5.3%
• W01 / 4.5 SF (4) = 18 SF
• W02 / 2.8 SF (1) = 2.8 SF
• TOTAL CLEAR = 20.2 SF
• 28.1 (SP) / 380 (SF) = 7.4%
SECOND FLOOR CLEAR WINDOW OPENINGS = 11.8%
• W01 / 4.5 SF (10) = 45 SF
• W02 / 2.8 SF (1) = 2.8 SF
• TOTAL CLEAR = 48 SF
• 45 (SP) / 380 (SF) = 11.8%



8417 SANCHEZ RD.
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FLORIDA ARCHITECTURE LICENSE AR97171

Date	Description

SRM DISPATCH OFFICE
EXAMPLE DRAWING

EXTERIOR
ELEVATIONS, WALL
SECTION & STAIR
DETAILS

Project number 24-007
Date 05-15-2024
Drawn by LR
Checked by BR

A1.2

Scale As indicated

CONSTRUCTION DOCUMENTS

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

PRE-APPLICATION FORM
REZONE, SPECIAL LAND USE PERMIT, MODIFICATION, AND LAND USE
(Required prior to filing application: signed copy of this form must be submitted at filing)

Applicant Name: Cameron Grogan _ Property address 3298 & 3272 Fayetteville Rd _____

Tax Parcel ID: _15 080 05 002 & 15 080 05 013 _ Comm. District(s): 3 & 6 _____ Acreage: 3.5 acres

Existing Use: Outdoor Storage Proposed Use: Asphalt Plant

Supplemental Regs: _____ DRI: __ Will be determined during review process when official application is submitted _____

Rezoning: Yes __X__ No __

Existing Zoning: M & M-2 with conditions _____ Proposed Zoning: M

Land Use Plan Amendment: Yes _____ No X

Existing Land Use: __LIND __ Proposed Land Use: _NA-

Consistent _____ Inconsistent _____

Special Land Use Permit: Yes X No _____

Major Modification: NA

Existing Case Number(s): __N _____

Condition(s) to be modified:

WHAT TO KNOW BEFORE YOU FILE YOUR APPLICATION

Pre-submittal Community Meeting: __X__ Review Calendar Dates: _____ PC: 01/07/25** _____ BOC:

DEPARTMENT OF PLANNING & SUSTAINABILITY

01/23/25** Letter of Intent: X Impact Analysis: X Owner Authorization(s): _____
Campaign Disclosure: X Zoning Conditions: X Community Council Meeting:
 12/11/24* Public Notice, Signs: X Tree Survey, Conservation: X Land
Disturbance Permit (LDP): _____ Sketch Plat: _____ Bldg. Permits: X Fire Inspection:
 X Business License: X State License: _____ Lighting Plan: _____ Tent Permit:
_____ Submittal Format: NO STAPLES, NO BINDERS PLEASE

***Deadline for hosting pre-community meeting with 15 days notice for January 2025 agenda cycle would be 10/21/24**

****Filing Deadline for application is 10/28/24—PLEASE EMAIL John Reid in addition to submitting Rezoning AND SLUP application through portal, and confirm with John Reid that he has received your complete application.**

Review of Site Plan—NO SITE PLAN SUBMITTED

Density: X Density Bonuses: X Mix of Uses: X Open Space: _____
Enhanced Open Space: _____ Setbacks: front X sides X side corner X rear _____
Lot Size: X Frontage: X Street Widths: X Landscape Strips: X
Buffers: X Parking Lot Landscaping: X Parking - Auto: X Parking - Bicycle:
_____ Screening: X Streetscapes: X Sidewalks: X Fencing/Walls: _____ Bldg.
Height: X Bldg. Orientation: X Bldg. Separation: X Bldg. Materials: X Roofs: _____
Fenestration: X Façade Design: _____ Garages: _____ Pedestrian Plan: _____ Perimeter
Landscape Strip: _____
Possible Variances: NA conceptual drawing but no site plan provided for pre-app meeting.

Comments:

Show how proposed M rezoning and SLUP is compatible with surrounding area (including any residential uses) and the LIND (Light Industrial) Character Area of the 2050 Comprehensive Plan. Show compliance with M zoning requirements including but not limited to, building materials, minimum building setbacks, maximum building height, minimum lot area, , minimum parking requirements, sidewalk and street tree requirements, etc. Parking lots must be paved, striped, and landscaped per Article 6 of the Zoning Ordinance. Show compliance with outdoor storage supplemental regulations (Section 4.2.38) and heavy industrial uses supplemental regulations (Section 4.2.29) of the zoning ordinance. Applicant may be required to document how air, water, noise, odor, and dust will be mitigated via a letter from an environmental engineering firm.

DEPARTMENT OF PLANNING & SUSTAINABILITY

During review process it will have to be confirmed whether a DRI is or isn't required. An air quality permit from the Georgia Environmental Protection Department may be required. Applicant may want to contact Transportation Department regarding the access to the project which is currently very close to the intersection. Provide and show any floodplains and stream buffer areas on concept plan. Applicant is encouraged to review the SLUP approval of a nearby asphalt plant (HEH Paving) in July of 2015 to see what issues/documentation may be required for the proposed asphalt plant.

This only a preliminary review and is not a complete list of zoning requirements, a final and complete review and official Planning Department recommendation will be done upon official submission of a rezoning and SLUP application including a concept plan. If the application were to be approved, the applicant would have to submit and obtain approval of a Land Disturbance Permit and Building Permits.

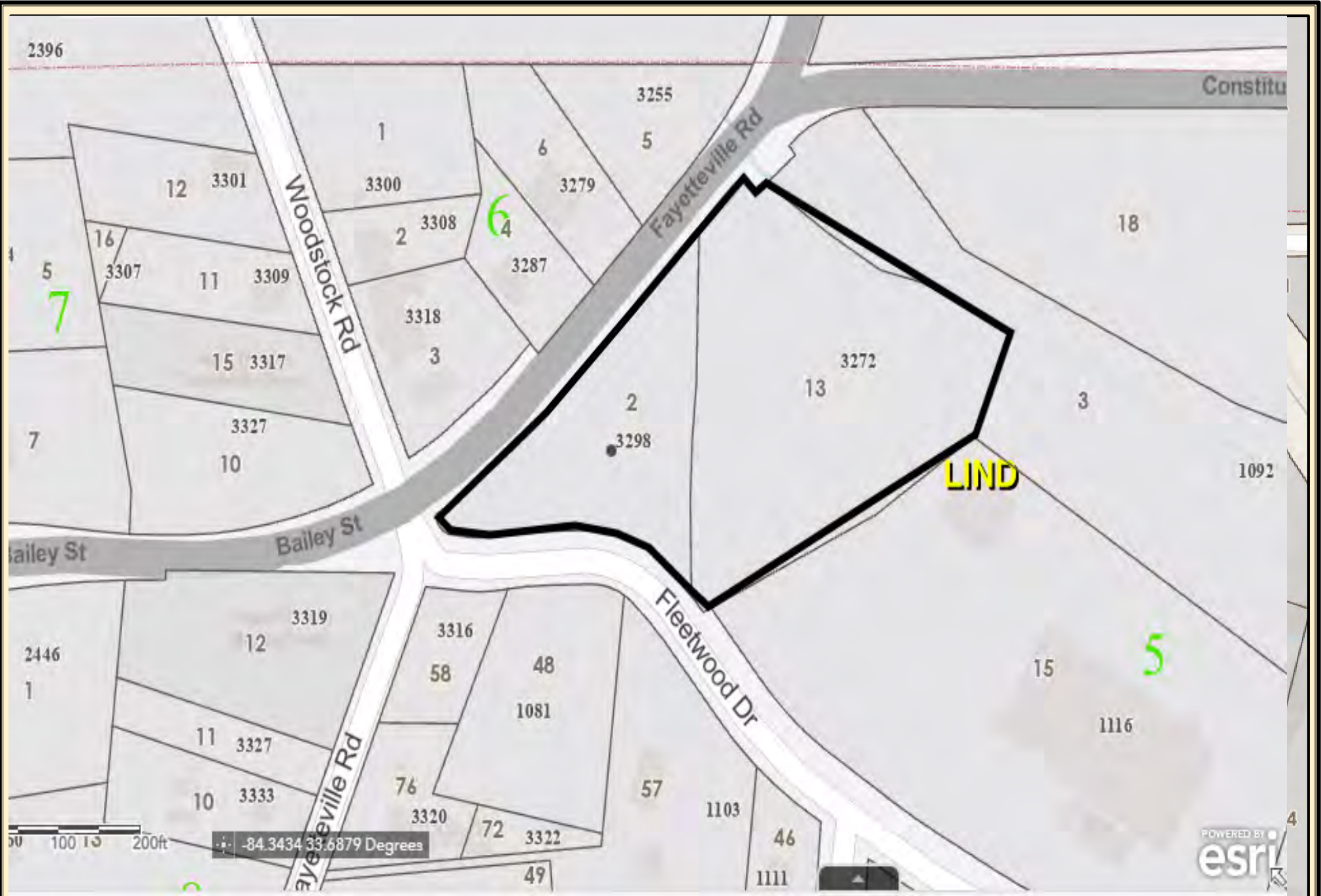
Planner: John Reid Date 08/29/24

Filing Fees

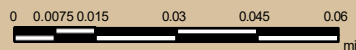
REZONING:	RE, RLG, R-100, R-85, R-75, R-60, MHP, RSM, MR-1	\$500.00
	RNC, MR-2, HR-1, HR-2, HR-3, MU-1, MU-2, MU-3, MU-4, MU-5	\$750.00
	OI, OD, OIT, NS, C1, C2, M, M2	\$750.00
LAND USE MAP AMENDMENT		\$500.00
SPECIAL LAND USE PERMIT		\$400.00



Google



DeKalb County Parcel Map



Date Printed: 11/15/2024



DeKalb County GIS Disclaimer

The maps and data, contained on DeKalb County's Geographic Information System (GIS) are subject to constant change. While DeKalb County strives to provide accurate and up-to-date information, the information is provided "as is" without warranty, representation or guarantee of any kind as to the content, sequence, accuracy, timeliness or completeness of any of the database information provided herein. DeKalb County explicitly disclaims all representations and warranties, including, without limitation, the implied warranties of merchantability and fitness for a particular purpose. In no event shall DeKalb County be liable for any special, indirect, or consequential damages whatsoever resulting from loss of use, data, or profits, whether in an action of contract, negligence, or other actions, arising out of or in connection with the use of the maps and/or data herein provided. The maps and data are for illustration purposes only and should not be relied upon for any reason. The maps and data are not suitable for site-specific decision-making nor should it be construed or used as a legal description. The areas depicted by maps and data are approximate, and are not necessarily accurate to surveying or engineering standards.

Dear District 3 Community Council Members,

Our names are Nicole Morado and Amy Fields-Taylor, homeowners in the Starlight Heights Neighborhood and serve as representatives of our community. We're writing to express our neighborhood's opposition to zoning application N6-2024-1443 requesting zoning to be unified at 3298 and 3272 Fayetteville Rd, Atlanta, GA 30316 currently zoned mixed use M light industrial and M-2 Heavy Industrial, to M-2 Heavy Industrial with the intention to operate a concrete, ready-mix facility. We also oppose the requested SLUP for the Concrete Batch Plant.

This property is less a half mile away from our residential neighborhood and causes great concern for lowering property values, increased pollution, lowering air quality, impact on surrounding waterways, higher truck traffic, and creating a major deterrent for future economic development of residential, and community-based commercial opportunities (retail, restaurants, markets) and other assets like greenspace.

At no point have Starlight Heights residents been contacted by the applicant and we only learned of this project through the email notification of this meeting. We take issue with not being invited to the October "community engagement" meeting mentioned in the application, which was predominantly attended by invited industrial business owners who don't reside in the neighborhood nor are homeowners in the area. For example, attendees invited showed addresses in Roswell, Stone Mountain, Lilburn, College Park, and Jonesboro.

The community engagement invite referenced that property owners within 500 feet will also be invited. This seems like a blatant disregard for the more established and occupied adjacent neighborhood less than half a mile away, considering the reach of the impact of a heavy industrial asphalt plant in regards to odor, air quality, truck traffic, and other potential disturbances and environmental impact.

Recently, Starlight Heights initiated a Small Area Plan with DeKalb County and had a neighborhood meeting with Brian Brewer, Larry Washington, and James Burge from DeKalb County Planning and Sustainability Long Range Planning Division in May 2024. We believe this proposed development conflicts with the vision of our Small Area Plan which stated a desire for a more centralized, walkable, activity center to benefit and leverage buying power of our community, such as food markets, other retail, coffee shops, restaurants, services, and park/community space, ie. Glenwood Ave and Flat Shoal Ave in East Atlanta Village.

This conflicts with the applicant's proposal that states the development will not adversely affect the existing use of usability of adjacent or nearby properties, and believe an asphalt plant (concrete, ready-mix facility) will in fact deter the transition of land uses of our surrounding within the area.

We also think it is unnecessary to add this facility to this location considering the existing operation, [JT Asphalt Premier Producers](#) which is located at 1139 Fleetwood Dr SE, Atlanta, GA 30316, which is 0.1 miles from the proposed site at 3298 and 3272 Fayetteville Rd SE. The addition of another asphalt facility this close in proximity will further increase environmental pollution and decrease residential property value, impacting the future tax revenue for DeKalb County and the services it provides the community.

We appreciate the Community Council's time and consideration of our well-being as long-term, established homeowners in Unincorporated DeKalb County. We always welcome further discussions and visits to our historic neighborhood to help visualize the unique character and community worth preserving and supporting.

Sincerely,

Nicole Morado & Amy Fields-Taylor acting as representatives of the greater community of Starlight Heights