



DeKalb County Department of Planning & Sustainability

178 Sams Street, Decatur, GA 30030 - (404) 371-2155

[Planning and Sustainability | DeKalb County GA](#)

Planning Commission Sketch Plat Hearing Date: December 11, 2024 @ 6:00 P.M

STAFF ANALYSIS

| | | |
|---------------------------|---|--------------------------|
| Case No.: | P-Plat #1246891 | Agenda # N2 |
| | Commission District: 4 | Super District: 7 |
| Location/Address: | 883 Mountain View Drive | |
| Parcel ID(s): | 18 091 03 006 | |
| Request: | Major subdivision to construct up to nine (9) single-family detached dwellings. | |
| Property Owner(s): | El-Amar Engineering & Construction, Inc | |
| Applicant/Agent: | Vincent M. Guobaitis | |
| Acreage: | Approx. 2.71 acres | |
| Existing Land Use: | Single-family detached dwelling | |

SUBJECT PROPERTY & ZONING HISTORY

The subject property consists of approximately 2.71 acres that was improved with a single-family detached dwelling; a building permit (#3155771) to demolish the structure was issued by the County on June 25, 2024. The property in its current configuration is the result of a lot combination (#1246798) of 873 Mountain View Drive and 883 Mountain View Drive, approved on April 17, 2024. The two (2) properties were rezoned, with conditions, from the R-75 (Residential Medium Lot-75) Zoning District to the R-60 (Residential Small Lot-60) Zoning District on October 4, 2022 (Z-22-1245928). The approved Ordinance (with conditions), conceptual site plan, and architectural renderings are attached to this analysis.

PROJECT DESCRIPTION

The applicant, Vincent M. Guobaitis, proposes a major subdivision of the subject property to construct up to nine (9) single-family detached dwellings at a density of approximately 3.3 units per acre. The number of units proposed differs from that on the conceptual site plan submitted as a part of Z-22-1245928 in order to relocate a proposed stormwater detention facility.

Improvements are proposed in County Right-of-Way (ROW) adjacent to the development site's frontage along Mountain View Drive, which is classified by the County as a "collector" road. Streetscape improvements include a six (6)-foot sidewalk and landscape strips with streetlights and street trees. In addition to streetscaping provided in the ROW, a 15-foot-deep landscape strip and fencing is provided to screen the development site from Mountain View Drive. A single access point (Mountain Terrace Drive) is proposed off of Mountain View Drive and is to be built to public street standards.

A single stormwater detention facility is provided in the eastern portion of the development site (adjacent to Lots 7, 8, and 9). A tree recompense plan is provided that meets the minimum requirements set forth by the County Arborist. The proposal adequately meets maneuverability requirements for Fire/Rescue and Sanitation vehicles.

The site falls under the minimum threshold for open space requirements per Section 5.5.1. (B) of the *Zoning Ordinance*; nonetheless, open space areas are provided adjacent to the proposed stormwater detention pond, north of the proposed Mountain Terrace Drive, and as part of the aforementioned 15-foot landscape strip along Mountain View Drive, all of which will be maintained by the HOA in perpetuity.

Sec. 14-96. - Standards for approval of sketch plats; approved preliminary plats.

(a) The Planning Commission shall not approve a sketch plat unless it is found that:

1) Provisions have been made for a water supply system that is sufficient in terms of quantity, dependability, and quality for purposes of health, emergency, and adequate fire protection for the subdivision proposed;

Water service is to be provided by DeKalb County.

2) If a public sewage system is proposed, adequate provision has been made for such a system and, if other methods of sewage disposal are proposed, that such systems will comply with federal, state, and local laws and regulations;

Sewer service is to be provided by DeKalb County.

3) Adequate areas have been allocated within a subdivision to meet the regulations in this chapter for the long-term collection, management, and treatment of stormwater;

A single underground stormwater detention facility is proposed on-site, which meets the minimum requirements of the *Land Development Code* (Chapter 14).

4) The proposed subdivision is designed to avoid areas of flood plains, watercourses, wetlands, exceptional or specimen trees or woodlands;

The subject property does not appear to be located near any flood plains or state waters, and plans have been reviewed/approved by the County Arborist.

5) No platting of lots within the subdivision will create any non-conforming lots or increase the non-conformity of existing non-conforming lots on property within or adjacent to the subdivision;

Newly created lots are in compliance with applicable lot standards in the R-60 Zoning District.

6) If the subdivision abuts a state designed highway, all applicable statutory provisions are followed, including the rules of Georgia Department of Transportation;

Not applicable.

7) The proposed subdivision meets all the requirements of this chapter, [Chapter 27](#), the official comprehensive plan, the official thoroughfare map, and all other standards and regulations adopted by all boards, commissions, agencies, and officials of DeKalb County and all other applicable laws from other, relevant jurisdictions;

Yes.

8) A properly issued certificate of appropriateness, when the subdivision or portions thereof lie within a designated historic area that required such a certificate as may be required by state law or this Code; and

Not applicable.

9) Lot lines have been laid out so as to minimize crossing municipal or county boundaries;

All proposed lots are located in the unincorporated area of DeKalb County.

10) All requirements of [section 14-89](#) and [section 14-90](#) have been fulfilled.

Yes.

STAFF RECOMMENDATION: *Approval*

The proposal is consistent with the goals of the *Comprehensive Plan*, is in compliance with the Conditions of Z-22-1245928, and is in compliance with all developmental standards of the *Zoning Ordinance*. All other regulatory reviews have been completed and approved (or conditionally approved). Therefore, the Planning and Sustainability Department recommends *Approval* of the submitted Sketch Plat application.

SCOPE OF WORK:
 PROPOSED 9-LOT SINGLE-FAMILY DETACHED HOME SUBDIVISION WITH SHARED AMENITY SPACE AND PUBLIC ROAD ACCESS.

24 HOUR CONTACT:
 MOHAMED ELSAID
 678-694-1543

UTILITY NOTE:
 WATER AND SEWER SERVICE PROVIDED BY DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT.

SANITATION NOTE:
 DEKALB COUNTY SANITATION WILL BE UTILIZED TO HANDLE HOUSEHOLD WASTE, RECYCLING, AND YARD DEBRIS.

WETLANDS NOTE:
 THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS' REQUIREMENTS REGARDING WETLANDS.

ZONING/SETBACKS:
 R-60 ZONING (RESIDENTIAL SMALL LOT)
 TABLE 2.2.1

FRONT: 30 FT
 SIDE: 7.5 FT
 REAR: 30 FT
 MIN LOT WIDTH AT SETBACK: 60 FT
 MIN LOT WIDTH AT CUL-D-SAC: 35 FT
 MIN PUBLIC ROAD FRONTAGE: 45 FT
 MAX BLDG HEIGHT: 35 FT
 MIN LOT SIZE: 6,000 SF
 MAX COVERAGE: 35%

- PROPERTY NOTES:**
- R-60 (DEKALB COUNTY GIS).
 - PROPERTY AREA: 2.71 ACRES.
 - NUMBER OF LOTS: 9 SINGLE-FAMILY DETACHED
 - STREETS TO BE PUBLIC.
 - WATER AND SEWER PROVIDED BY DEKALB COUNTY.
 - PROPERTY OWNERS ASSOCIATION TO BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITY.
 - ALL DRAINAGE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY TO BE THE RESPONSIBILITY OF (1) INDIVIDUAL PROPERTY OWNERS WHEN THE EASEMENT IS LOCATED ON EACH INDIVIDUAL PROPERTY OR (2) PROPERTY OWNERS ASSOCIATION WHEN THE EASEMENT IS LOCATED ON COMMON AREAS.
 - ALL COMMON AREAS, GREENSPACE, LANDSCAPE AND TREES OUTSIDE THE RIGHT-OF-WAY SHALL BE PROTECTED IN PERPETUITY.
 - THE PROPOSED SUBDIVISION WILL BE SUBJECT TO PRIVATE COVENANTS INCLUDING A HOMEOWNER'S ASSOCIATION.
 - EXISTING DWELLING TO BE DEMOLISHED.
 - NO BURY PITS EVIDENT AT TIME OF SURVEY.
 - RECEIVING WATERS: BARBASHELA CREEK.

- DEKALB COUNTY NOTES:**
- RECORDED OFF-SITE SEWER EASEMENT REQUIRED PRIOR TO ISSUANCE OF DEVELOPMENT PERMIT.
 - A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GA EPD.
 - SKETCH PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THE STORM DRAINAGE OR SANITARY SEWER SYSTEMS. NO CONSTRUCTION SHALL BEGIN UNTIL CONSTRUCTION PLANS ARE APPROVED AND A DEVELOPMENT PERMIT IS OBTAINED.
 - THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS REQUIREMENTS REGARDING WETLANDS.

AP# REFERENCES:
 COMBINATION: AP#1246798
 DEMOLITION: AP#3155771

OWNER:
 EL-AMAR ENGINEERING AND CONSTRUCTION, INC
 455 SAILMAKER CIR,
 ALPHARETTA, GA 30022
 678-694-1543

DEVELOPER:
 EL-AMAR ENGINEERING AND CONSTRUCTION, INC
 455 SAILMAKER CIR,
 ALPHARETTA, GA 30022
 678-694-1543

ENGINEER:
 CIVIL ACE ENGINEERING
 MICHAEL GUOBAITIS
 419 E CROSSVILLE RD, SUITE 103
 ROSWELL, GA 30075
 470-926-0905

STORMWATER CONNECTION NOTE:
 PROPOSED WORK IN THE ADJOINING PROPERTY TO THE SOUTH AND THE STORMWATER DISCHARGE IS IN ANOTHER JURISDICTION, CONSULTATION WITH THE CITY, AND THEIR CONSENT IS REQUIRED.

SKETCH PLAT FOR MOUNTAIN TERRACE SUBDIVISION

883 MOUNTAIN VIEW DRIVE
 DEKALB COUNTY, GEORGIA
 LAND LOT 91, 18TH DISTRICT
 TAX PARCEL 18 091 03 006

AP#1246891
 02-13-2024

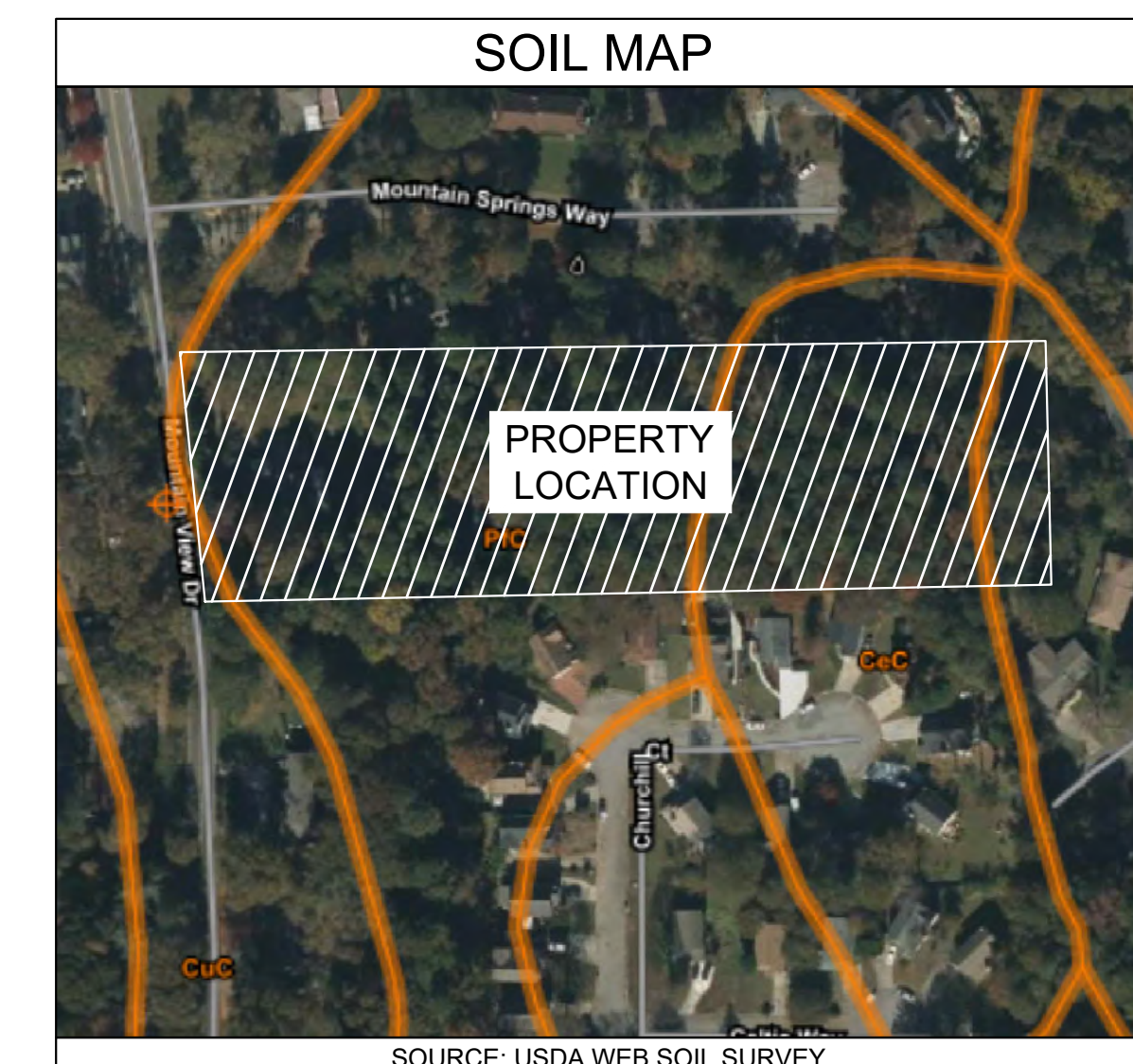
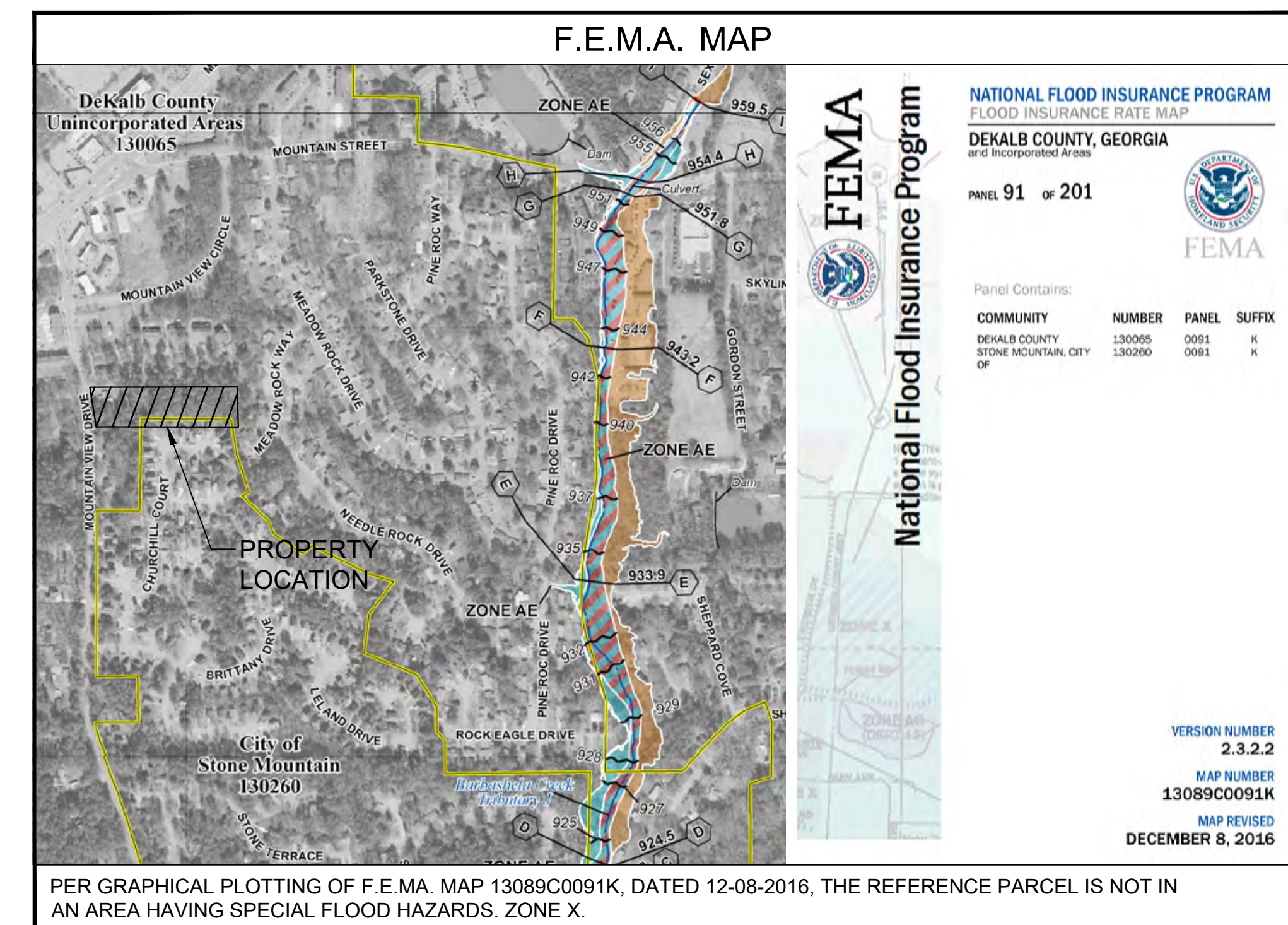
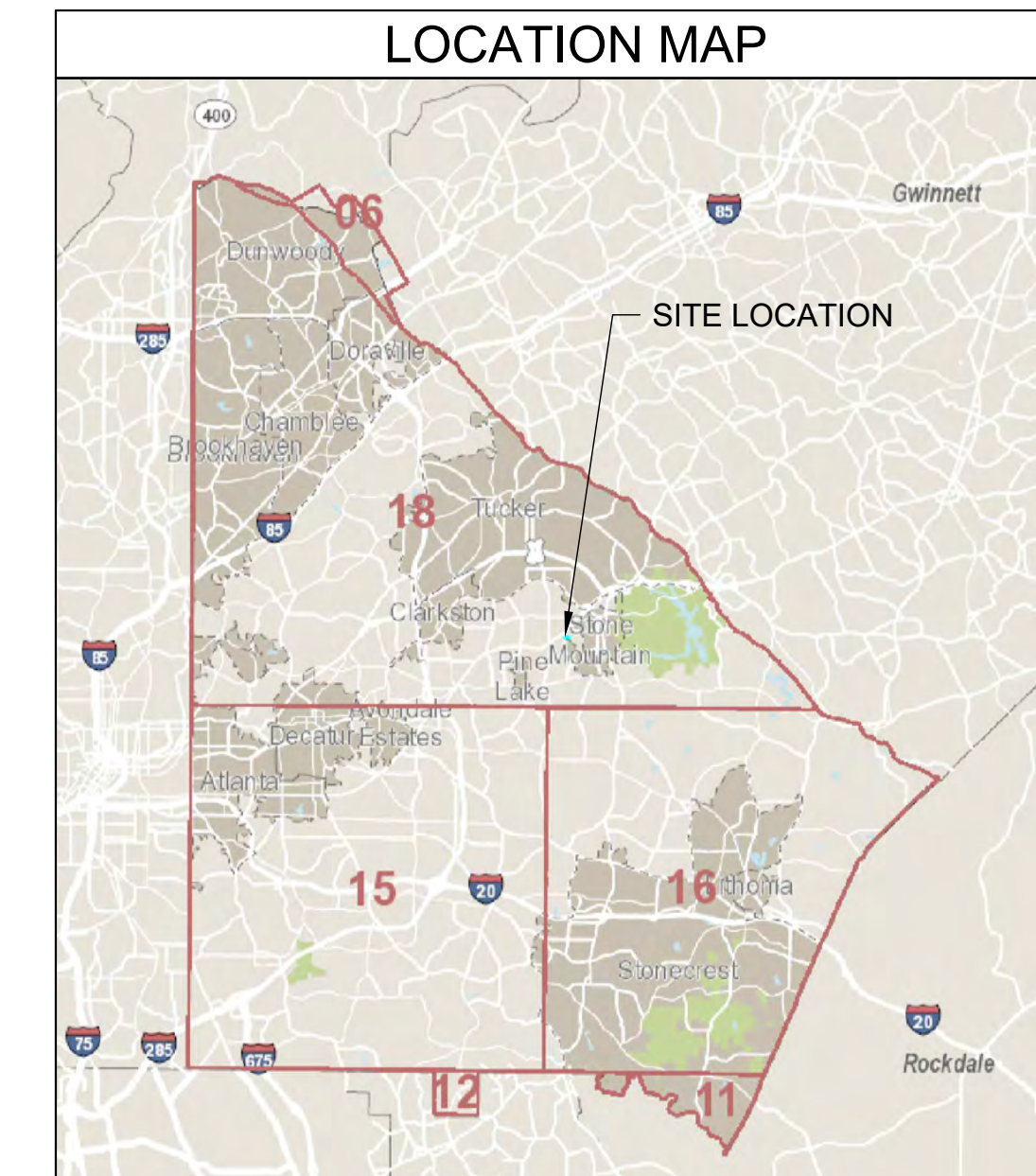
VICINITY MAP



THIS SKETCH PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE PLANNING COMMISSION OF DEKALB COUNTY ON THIS ____ DAY OF ____.

BY: _____ (BY DIR.)
 PLANNING COMMISSION CHAIRMAN
 DEKALB COUNTY, GEORGIA

| DESCRIPTION | DRAWING |
|--|-----------|
| COVER | P1 |
| ZONING CONDITIONS | P2 |
| EXISTING CONDITIONS | P3 |
| PROPOSED CONDITIONS (1 OF 2) | P4 |
| FRONTAGE ENLARGEMENT PLAN | C-400 |
| MONUMENT CONSTRUCTION DETAILS | C-500-501 |
| EXISTING TREE DATA CALCULATIONS | L-001 |
| TREE PROTECTION CALCULATIONS & ARBORIST REPORT | L-002 |
| TREE PROTECTION PLAN | L-100 |
| TREE REPLACEMENT PLAN | L-101 |
| DEMOLITION PLAN | D-1 |
| GIS | G1 |



PROJECT SOILS
 CuC - CECIL-URBAN LAND COMPLEX, 2-10% SLOPES
 P/C - PACOLET SANDY LOAM, 2-10% SLOPES
 CeC - CECIL SANDY LOAM, 6-10% SLOPES

10/21/2024

LEVEL II #0000078552

CIVIL ACE ENGINEERING
 Engineering | Planning | Traffic | Surveying
 419 E Crossville Rd, Suite 103
 Roswell, GA 30075
 (470) 448-4146

COVER SHEET

MOUNTAIN TERRACE
 SUBDIVISION
 DEKALB COUNTY, GA

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |
| | | |
| | | |
| | | |

PROJECT NO. 23070
 DESIGNED BY: ____ MG
 CHECKED BY: ____ MG
 DATE: 02/13/23

SHEET
P1

Z-22-1245928

2022-1912

AN ORDINANCE TO AMEND THE DEKALB COUNTY ZONING MAP

AN ORDINANCE TO REZONE PROPERTY FROM R-75 (RESIDENTIAL MEDIUM LOT-75) ZONING DISTRICT TO R-60 (RESIDENTIAL SMALL LOT-60) ZONING DISTRICT TO CONSTRUCT SINGLE-FAMILY DETACHED HOMES. THE PROPERTY IS LOCATED ON THE EAST SIDE OF MOUNTAIN VIEW DRIVE, APPROXIMATELY 165 FEET SOUTH OF MOUNTAIN SPRINGS WAY, AT 875 AND 883 MOUNTAIN VIEW DRIVE IN STONE MOUNTAIN, GEORGIA. THE PROPERTY HAS APPROXIMATELY 175 FEET OF FRONTAGE ALONG MOUNTAIN VIEW DRIVE AND CONTAINS 2.71 ACRES.

APPLICANT: El Amar Engineering & Construction c/o Battle Law, P.C.
OWNER: El Amar Engineering & Construction

COMMISSION DISTRICTS: 4 & 7

WHEREAS, El Amar Engineering & Construction has filed an application to amend the DeKalb County Zoning Ordinance to rezone property located at 883 Mountain View Drive, Stone Mountain, Georgia 30083, and more particularly described as follows:

All that tract or parcel of land and being in District 18, Land Lot 091, Block 03, Parcels 006 & 048 of DeKalb County, Georgia, containing 2.71 acres, and

WHEREAS, it appears to the Board of Commissioners that the application meets all of the criteria set forth in the DeKalb County Code, Chapter 27, Article VII, Division 3, Section 27-7.3 for amending the DeKalb County Zoning Ordinance for the subject property from R-75 Zoning District to R-60 Zoning District.

THE BOARD OF COMMISSIONERS OF DEKALB COUNTY, GEORGIA, HEREBY ORDAINS:

Part 1: Pursuant to the authority of the DeKalb County Board of Commissioners to exercise powers of zoning, set forth in Section 27, Article 1.1 and 7.3 of the DeKalb County Zoning Ordinance, an amendment to rezone property R-75 (Residential Medium Lot-75) zoning district to R-60 (Residential Small Lot-60) zoning district to construct single-family detached homes. The property is located on the east side of Mountain View Drive, approximately 165 feet south of Mountain Springs Way, at 875 and 883 Mountain View Drive in Stone Mountain, Georgia. The property has approximately 175 feet of frontage along Mountain View Drive, contains 2.71 acres and is hereby approved, with conditions.

Part 2: That this amendment is approved conditionally, and under the provisions of Section 27-7.3.9 of the DeKalb County Zoning Ordinance, as identified by the use of the term "Conditionally" after the district designation in Part 1 above, the development and use of the above-described property shall be permitted only in compliance with the conditions and/or site plan as attached to this ordinance.

Part 3: That all ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

Z-22-1245928

2022-1912

PLANNING COMMISSION RECOMMENDATION:

Approval 8-0-0. LaSonya Osler moved, Jana Johnson seconded for approval, per Staff recommendation.

BOARD OF COMMISSIONERS FINAL ACTION:

October 4, 2022, Approved with Staff's recommended six (6) conditions.

Z-22-1245928

2022-1912

REQUESTED BY APPLICANT:

Application of El Amar Engineering & Construction c/o Battle Law, P.C. to rezone properties from R-75 (Residential Medium Lot-75) zoning district to R-60 (Residential Small Lot-60) zoning district to construct single-family detached homes.

PLANNING AND SUSTAINABILITY DEPARTMENT RECOMMENDATION:

Approval with Conditions. The request for a single-family, zoning district (R-60) and single-family, detached residential uses appears to be consistent with the policies and strategies of the 2035 Comprehensive Plan to protect stable neighborhoods from incompatible development that could alter established single-family residential development patterns and density (SUB Character Area Residential Protection). The proposed single-family, detached residential land uses are consistent with adjacent and surrounding single-family residential uses in the vicinity. The proposed 6,000 square foot lots are consistent with the six abutting single-family lots within the Countryside Manor Subdivision to the south (in the City of Stone Mountain) with an average lot size of 6,243 square feet. While no transitional buffer is required, the plan notes that a 5-foot-wide landscape buffer will be provided along the perimeter of the project site which should enhance compatibility with surrounding properties. Therefore, it is the recommendation of the Planning & Sustainability Department that the application be "Approved, with Staff's recommended conditions". The approval of this rezoning application by the Board of Commissioners shall have no bearing on the requirements for other regulatory approvals under the authority of the Zoning Board of Appeals or other entity whose decision should be based on the merits of the application under review by such entity.

- 1. The subject property shall be developed for a maximum of 10 single-family, detached fee-simple lots.
2. Locations of proposed lots and open space shall be generally consistent with the locations shown on the plan dated "01/06/22" and titled "El Amar Engineering & Construction".
3. Any fences or walls proposed along Mountain View Drive shall comply with the wall and fence regulations of the Zoning Ordinance.
4. Building materials and form shall comply with Article 5.7 of the Zoning Ordinance.
5. Mountain View Drive is classified as a collector street. The following minimum infrastructure requirements must be met: Right of way dedication of 55 feet from centerline OR such that all public infrastructure is within county right of way, whichever greater, an 11 foot travel lane with curb and gutter, a 6 foot sidewalk (Zoning Code) with a 4 foot bike lane (Land Development Code) OR a 10 foot shared multiuse path (preferred) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). New local public streets have the following minimum requirements: Right of way dedication of 55 feet, 24 feet of pavement with curb and gutter, a 5 foot sidewalk (Zoning Code) located 6 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Please see separation of access points Land Development Code Section 14-200 (6) which applies to both sides of the street.
6. The development shall have a mandatory property owners association, in accordance with Article 5.7.6.c.11 of the Zoning Ordinance. The applicant must provide evidence of a legal mechanism under which all land to be held in common and used for greenspace purposes within the development and all landscaping and street trees along Mountain View Road and the proposed internal residential street (outside of the right-of-way) shall be protected in perpetuity. Existing trees located within designated open space areas that are not proposed for trails, buildings, structures, or parking lots or those likely to be impacted by necessary grading shall be preserved.

Z-22-1245928

2022-1912

Part 4: This ordinance, hereby approved, does not authorize the violation of any Zoning District Regulations. District regulation variances can be approved in accordance with Chapter 27, Article VII, Division 5.

ADOPTED by the DeKalb County Board of Commissioners this _____ day of _____, 2022.

_____ 2022.

Robert J. Patrick
Presiding Officer
Board of Commissioners
DeKalb County, Georgia

ATTEST:

Barbara Sanders-Norwood, CCC
Clerk to the Board of Commissioners and
Chief Executive Officer
DeKalb County, Georgia

09/20/2024



LEVEL II #0000078552



419 E Crossville Rd, Suite 103
Roswell, GA 30075
(470) 448-4146

ZONING CONDITIONS

EL-AMAR ENGINEERING & CONSTRUCTION, INC.

875 & 883 MOUNTAIN VIEW DRIVE

LAND LOT 91

18th DISTRICT

DEKALB COUNTY, GEORGIA

EXISTING ZONING: R-75

PROPOSED ZONING: R-60

PROP. BUILDING HEIGHTS 25±'

PROP. LOT COVERAGE 34%

TOTAL AREA:

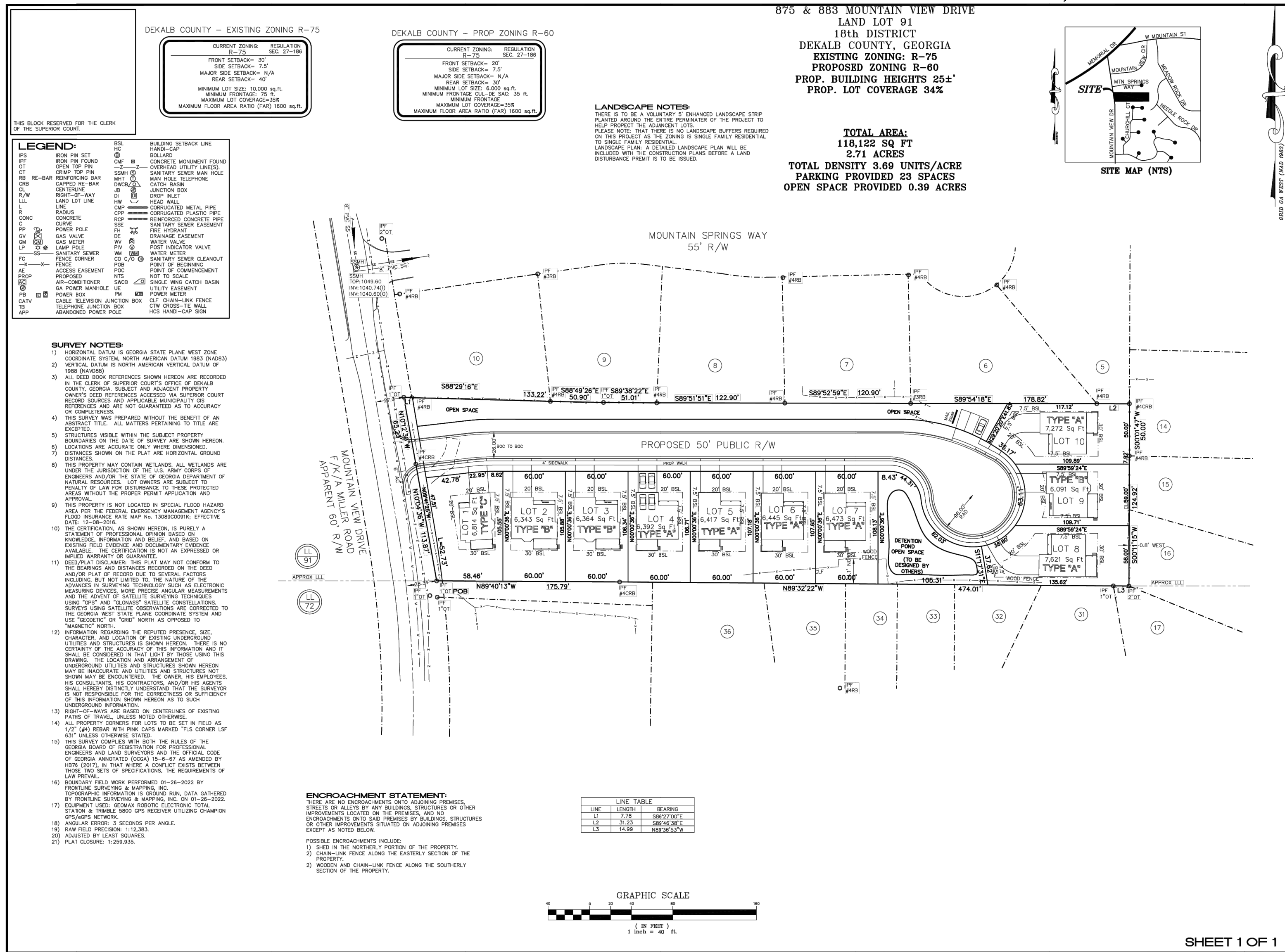
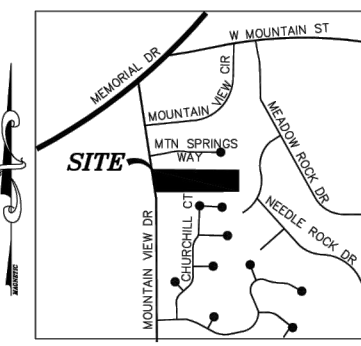
116,122 SQ FT

9.71 ACRES

TOTAL DENSITY 3.69 UNITS/ACRE

PARKING PROVIDED 23 SPACES

OPEN SPACE PROVIDED 0.39 ACRES



Project information block including address (3595 Canton Road), contact info for Frontline Construction, Inc., and a table for revisions and dates.

Project title block: MOUNTAIN TERRACE SUBDIVISION DEKALB COUNTY, GA. Includes a table for revisions and dates, and sheet number P2.



CIVIL ACE ENGINEERING
Engineering | Planning | Traffic | Surveying

419 E Crossville Rd, Suite 103
Roswell, GA 30075
(470) 448-4146

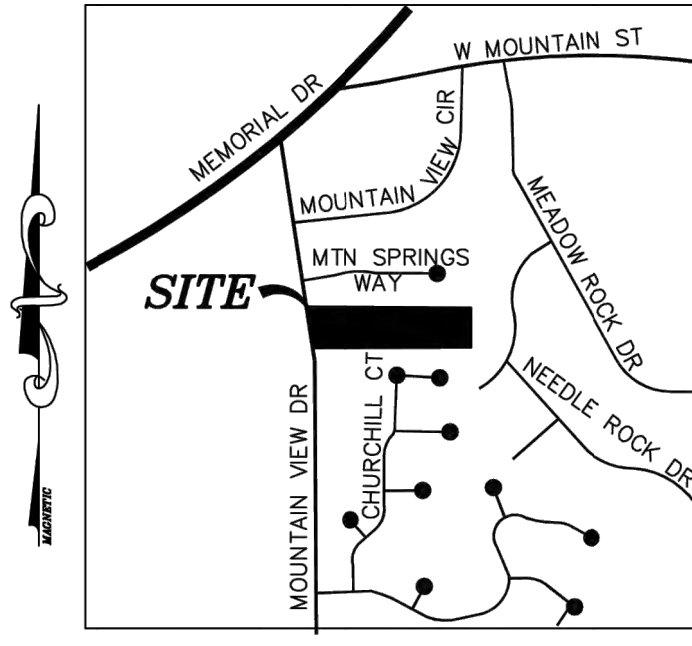
EL-AMAR ENGINEERING & CONSTRUCTION, INC.

883 MOUNTAIN VIEW DRIVE
LAND LOT 91
18th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: R-60
Z-22-1245928 (2022-1912)

TOTAL AREA:
118,122 SQ FT
2.71 ACRES

OWNER:
EL-AMAR ENGINEERING & CONSTRUCTION, INC.
455 SAILMAKER CIR.,
ALPHARETTA, GA 30022

DEVELOPER:
EL-AMAR ENGINEERING & CONSTRUCTION, INC.
455 SAILMAKER CIR.,
ALPHARETTA, GA 30022



SITE MAP (NTS)

PID# 18 091 03 006 - 883 MOUNTAIN VIEW DRIVE -
118,122 SQ. FT. - 2.71 ACRES

THIS BLOCK RESERVED FOR THE CLERK
OF THE SUPERIOR COURT.

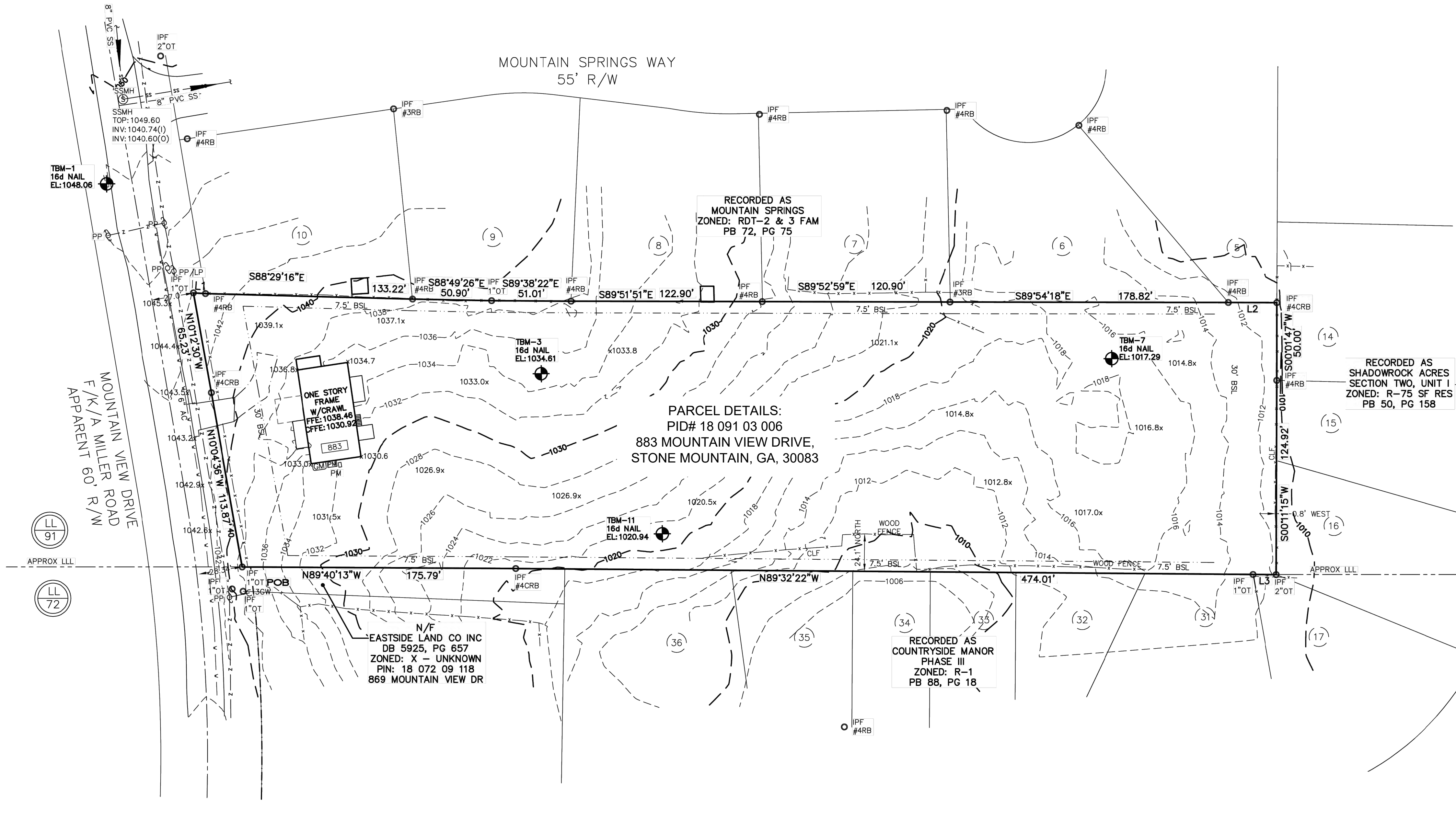
LEGEND:

| | | | |
|------|-------------------------------|------|--------------------------|
| IPS | IRON PIN SET | BSL | BUILDING SETBACK LINE |
| IPF | IRON PIN FOUND | HC | HANDI-CAP |
| OT | OPEN TOP PIN | ⊙ | BOLLARD |
| CT | CRIMP TOP PIN | CMF | CONCRETE MONUMENT FOUND |
| RB | RE-BAR | SSMH | SANITARY SEWER MAN HOLE |
| CRB | CAPPED RE-BAR | MHT | MAN HOLE TELEPHONE |
| CL | CENTERLINE | DWCB | CATCH BASIN |
| R/W | RIGHT-OF-WAY | JB | JUNCTION BOX |
| LLL | LAND LOT LINE | DI | DROP INLET |
| L | LINE | HW | HEAD WALL |
| R | RADIUS | CMP | CORRUGATED METAL PIPE |
| CONC | CONCRETE | CPP | CORRUGATED PLASTIC PIPE |
| C | CURVE | RCP | REINFORCED CONCRETE PIPE |
| PP | POWER POLE | SSE | SANITARY SEWER EASEMENT |
| GV | GAS VALVE | FH | FIRE HYDRANT |
| GM | GAS METER | DE | DRAINAGE EASEMENT |
| LP | LAMP POLE | WV | WATER VALVE |
| SS | SANITARY SEWER | PIV | POST INDICATOR VALVE |
| FC | FENCE CORNER | WM | WATER METER |
| X | FENCE | CO | SANITARY SEWER CLEANOUT |
| AE | ACCESS EASEMENT | POB | POINT OF BEGINNING |
| PROP | PROPOSED | POC | POINT OF COMMENCEMENT |
| NTS | NOT TO SCALE | NTS | NOT TO SCALE |
| AC | AIR-CONDITIONER | WCB | SINGLE WING CATCH BASIN |
| PB | POWER BOX | UE | UTILITY EASEMENT |
| CATV | CABLE TELEVISION JUNCTION BOX | PM | POWER METER |
| APP | ABANDONED POWER POLE | CLF | CHAIN-LINK FENCE |
| | | TB | TELEPHONE JUNCTION BOX |
| | | APP | ABANDONED POWER POLE |
| | | HCS | HANDI-CAP SIGN |

SURVEY NOTES:

- HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83)
- VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- ALL DEED BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURT'S OFFICE OF DEKALB COUNTY, GEORGIA. SUBJECT AND ADJACENT PROPERTY OWNER'S DEED REFERENCES ACCESSED VIA SUPERIOR COURT RECORD SOURCES AND APPLICABLE MUNICIPALITY GIS REFERENCES AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
- STRUCTURES VISIBLE WITHIN THE SUBJECT PROPERTY BOUNDARIES ON THE DATE OF SURVEY ARE SHOWN HEREON.
- LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
- DISTANCES SHOWN ON THE PLAT ARE HORIZONTAL GROUND DISTANCES.
- THIS PROPERTY MAY CONTAIN WETLANDS. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS ARE SUBJECT TO PENALTY OF LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
- THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP No. 13089C0091K; EFFECTIVE DATE: 12-08-2016.
- THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- DEED/PLAT DISCLAIMER: THIS PLAT MAY NOT CONFORM TO THE BEARINGS AND DISTANCES RECORDED ON THE DEED AND/OR PLAT OF RECORD DUE TO SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO, THE NATURE OF THE ADVANCES IN SURVEYING TECHNOLOGY SUCH AS ELECTRONIC MEASURING DEVICES, MORE PRECISE ANGULAR MEASUREMENTS AND THE ADVENT OF SATELLITE SURVEYING TECHNIQUES USING "GPS" AND "GLONASS" SATELLITE CONSTELLATIONS. SURVEYS USING SATELLITE OBSERVATIONS ARE CORRECTED TO THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM AND USE "GEOIDETIC" OR "GRID" NORTH AS OPPOSED TO "MAGNETIC" NORTH.
- INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
- RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
- ALL PROPERTY CORNERS FOR LOTS TO BE SET IN FIELD AS 1/2" (#4) REBAR WITH PINK CAPS MARKED "FLS CORNER LSF 631" UNLESS OTHERWISE STATED.
- THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
- BOUNDARY FIELD WORK PERFORMED 01-26-2022 BY FRONTLINE SURVEYING & MAPPING, INC. RE-VERIFIED 09-28-2023.
- TOPOGRAPHIC INFORMATION IS GROUND RUN, DATA GATHERED BY FRONTLINE SURVEYING & MAPPING, INC. ON 01-26-2022.
- EQUIPMENT USED: GEOMAX ROBOTIC ELECTRONIC TOTAL STATION & TRIMBLE 5800 GPS RECEIVER UTILIZING CHAMPION GPS/GPS NETWORK.
- ANGULAR ERROR: 3 SECONDS PER ANGLE.
- RAW FIELD PRECISION: 1:12,383.
- ADJUSTED BY LEAST SQUARES.
- PLAT CLOSURE: 1:259,935.

TOPOGRAPHIC NOTE:
TOPOGRAPHIC CONTOURS SHOWN WERE FIELD RUN 01-26-2022 BY FRONTLINE SURVEYING & MAPPING, INC.
OFF-SITE CONTOURS RETRIEVED FROM DEKALB COUNTY GIS WEBSITE 01-26-2022.



ENCROACHMENT STATEMENT:

THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PREMISES, AND NO ENCROACHMENTS ONTO SAID PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES EXCEPT AS NOTED BELOW.

- POSSIBLE ENCROACHMENTS INCLUDE:
- SHED IN THE NORTHERLY PORTION OF THE PROPERTY.
 - CHAIN-LINK FENCE ALONG THE EASTERLY SECTION OF THE PROPERTY.
 - WOODEN AND CHAIN-LINK FENCE ALONG THE SOUTHERLY SECTION OF THE PROPERTY.

UTILITY STATEMENT:

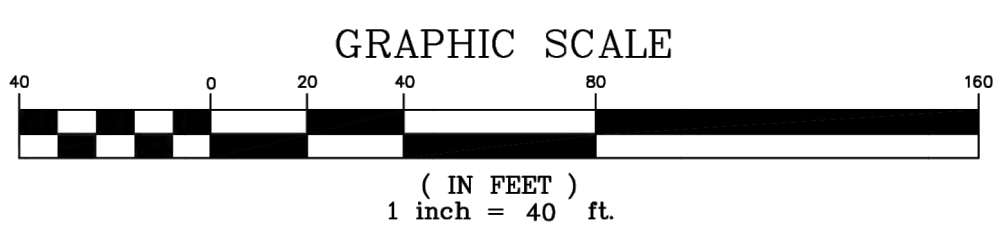
- WATER AND SEWER SERVICE PROVIDED BY DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT.
- ELECTRIC SERVICE IS ABOVE-GROUND.

WETLANDS NOTE:

- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS' REQUIREMENTS REGARDING WETLANDS.

LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 7.78 | S86°27'00"E |
| L2 | 31.23 | S89°46'38"E |
| L3 | 14.99 | N89°36'53"W |



SURVEYOR'S CERTIFICATION:
AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

FOR THE FIRM
FRONTLINE SURVEYING & MAPPING, INC. LSF#000631

By: 01-25-24
Thomas E. Peay, Jr., Registered Ge. Land Surveyor #2402 Date
Frontline Surveying & Mapping, Inc.
3595 Canton Rd.
Suite 312, PMB-272
Marietta, Ga. 30066

EXISTING CONDITIONS

MOUNTAIN TERRACE
SUBDIVISION
DEKALB COUNTY, GA

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
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| | | |
| | | |

PROJECT NO. 23070
DESIGNED BY: MG
CHECKED BY: MG
DATE: 12/13/23

SHEET
P3



CIVIL ACE ENGINEERING
 Engineering | Planning | Traffic | Surveying
 419 E Crossville Rd, Suite 103
 Roswell, GA 30075
 (470) 448-4146

PROPOSED CONDITIONS

MOUNTAIN TERRACE
 SUBDIVISION
 DEKALB COUNTY, GA

| NO. | DATE | REVISIONS |
|-----|------|-----------|
| | | |
| | | |
| | | |
| | | |
| | | |

PROJECT NO. 23070
 DESIGNED BY: MG
 CHECKED BY: MG
 DATE: 12/13/23
SHEET P4

CERTIFICATE OF CONFORMITY:

I, VINCENT M GUOBAITIS, THE ENGINEER/SURVEYOR FOR THE SUBDIVISION KNOWN AS MOUNTAIN TERRACE, LOCATED IN LAND LOT 91 OF THE 18TH DISTRICT, HEREBY CERTIFY THAT NO LOTS PLATTED WITHIN THE SUBDIVISION ARE NON-CONFORMING OR WILL RESULT IN ANY NON-CONFORMING LOTS.

Vincent M. Guobaitis
 SIGNATURE

VINCENT M GUOBAITIS
 NAME

419 E CROSSVILLE RD, SUITE 103
 ADDRESS

ROSWELL GA 30075
 CITY STATE ZIP

STORMWATER MANAGEMENT NOTES:

- PROPOSED WORK IN THE ADJOINING PROPERTY TO THE SOUTH AND THE STORMWATER DISCHARGE IS IN ANOTHER JURISDICTION. CONSULTATION WITH THE CITY, AND THEIR CONSENT IS REQUIRED.
- DRAINAGE IMPROVEMENTS SHALL ACCOMMODATE POTENTIAL RUNOFF FROM THE ENTIRE UPSTREAM DRAINAGE AREA AND SHALL BE DESIGNED TO PREVENT INCREASES IN DOWNSTREAM FLOODING AS REQUIRED PER THE COUNTY STORMWATER MANAGEMENT REQUIREMENTS. STORMWATER QUALITY MANAGEMENT FACILITIES SHALL BE ADEQUATE AS REQUIRED BY THE DEKALB COUNTY CODES. DEKALB COUNTY MAY REQUIRE THE USE OF CONTROL METHODS SUCH AS RETENTION OR DETENTION, AND OR THE CONSTRUCTION OF OFFSITE DRAINAGE IMPROVEMENTS TO MITIGATE THE IMPACTS OF THE PROPOSED DEVELOPMENTS

PROPERTY ZONING NOTES:

REZONING CASE: 022-1912
 ZONING: R-60 (RESIDENTIAL SMALL LOT-60)
 ZONING MINIMUM DIMENSIONAL REQUIREMENTS:
 LOT AREA: 6,000 SF
 LOT FRONTAGE WIDTH: 60'
 LOT WIDTH AT BLDG LINE: 60'
 LOT WIDTH AT CUL-DE-SAC: 35'
 LOT COVERAGE: 35%

SETBACKS:

FRONT: 20 FT
 BACK: 30 FT
 SIDES: 7.5 FT

PROPOSED ZONING DIMENSIONS:

| LOT | LOT AREA (SF) | LOT WIDTH FRONT (FT) | LOT WIDTH BLDG (FT) | MAX IMPERVIOUS AREA (SF) | LOT COVERAGE |
|-----|---------------|----------------------|---------------------|--------------------------|--------------|
| 1 | 6,082 | 66.48 | 63.15 | 2,129 | 35% |
| 2 | 6,345 | 60.00 | 60.00 | 2,221 | 35% |
| 3 | 6,366 | 60.00 | 60.00 | 2,228 | 35% |
| 4 | 6,392 | 60.00 | 60.00 | 2,237 | 35% |
| 5 | 6,420 | 60.00 | 60.00 | 2,247 | 35% |
| 6 | 6,556 | 61.00 | 61.00 | 2,295 | 35% |
| 7 | 6,620 | 64.52 | 62.00 | 2,317 | 35% |
| 8 | 6,140 | 63.01 | 60.00 | 2,149 | 35% |
| 9 | 7,733 | 60.12 | 60.00 | 2,707 | 35% |
| HOA | 19,260 | - | - | - | - |

PROPERTY INFORMATION:

PARCEL ID: 18-091-03-006
 LOT SIZE: 2.71 AC OR 118,122 SF
 LAND LOT/DISTRICT: 91 / 18TH
 NUMBER OF LOTS: 9 SINGLE-FAMILY DETACHED (SFD)
 POINT OF BEGINNING (POB): BEGINNING AT A POINT (IRON PIN FOUND, 1 INCH OPEN-TOP) LOCATED WHERE THE EASTERLY RIGHT-OF-WAY OF MOUNTAIN VIEW DRIVE (F/K/A MILLER ROAD) (60' R/W) INTERSECTS THE SOUTHERLY LAND LOT LINE OF LAND LOT 91 (ALSO BEING THE NORTHERLY LINE OF LAND LOT 72), SAID POINT BEING THE TRUE POINT OF BEGINNING.

DEVELOPER:

EL-AMAR ENGINEERING AND CONSTRUCTION, INC
 455 SAILMAKER CIR,
 ALPHARETTA, GA 30022
 (678) 694-1543

SUBDIVISION NOTES:

- THE PROPOSED SUBDIVISION WILL BE SUBJECT TO PRIVATE COVENANTS INCLUDING A HOMEOWNER'S ASSOCIATION.
- ELECTRICAL SERVICE WILL BE PROVIDED BELOW GROUND.
- WATER AND SEWER PROVIDED BY DEKALB COUNTY.
- ELECTRICAL TO BE PROVIDED UNDERGROUND.
- STREETS TO BE PUBLIC.

DEKALB COUNTY NOTES:

- THE WATER SUPPLY FOR THE PROPOSED DEVELOPMENT SHALL BE TESTED IN A MANNER THAT WILL VERIFY THAT IT IS CAPABLE OF PROVIDING THE REQUIRED FIRE FLOW. THE FIRE CODE OFFICIAL SHALL BE NOTIFIED PRIOR TO THE WATER SUPPLY TEST. WATER SUPPLY TESTS SHALL BE WITNESSED BY THE FIRE CODE OFFICIAL OR APPROVED DOCUMENTATION OF THE TEST SHALL BE PROVIDED TO THE FIRE CODE OFFICIAL PRIOR TO FINAL APPROVAL OF THE WATER SUPPLY SYSTEM. (2019 NFPA 24 SECTION 5.1.2 AND 2018 IFC 507.4)
- THE FIRE-FLOW CALCULATION AREA SHALL BE THE TOTAL FLOOR AREA OF ALL FLOOR LEVELS WITHIN THE EXTERIOR WALLS, AND UNDER THE HORIZONTAL PROJECTIONS OF THE ROOF OF A BUILDING, EXCEPT AS MODIFIED IN SECTION B104.3. 2018 IFC SECTIONS B104.12 (SEE ALSO SECTION B105).

DEKALB COUNTY SITE DISTANCE CERTIFICATION:

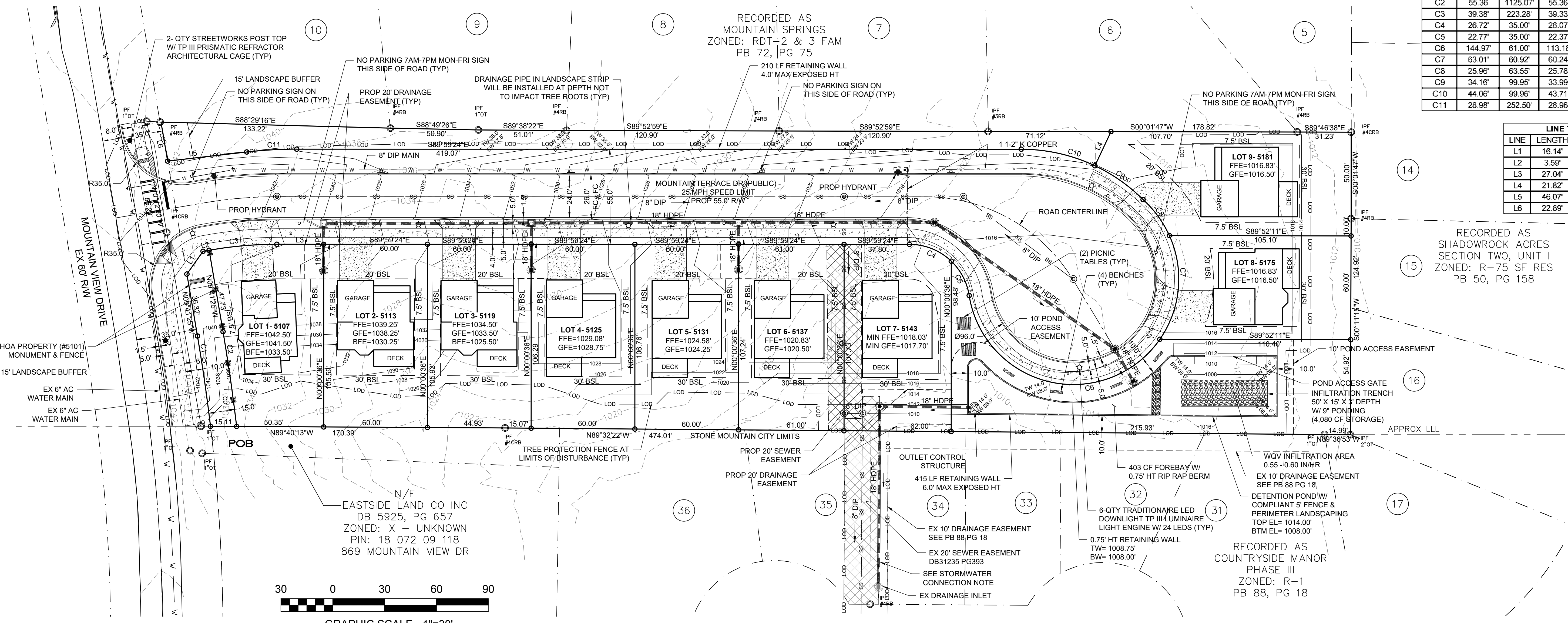
THE SIGHT DISTANCE FOR THIS PROJECT WILL BE DESIGNED WITH ADEQUATE DISTANCE. THE REGULATED SPEED LIMIT ON THE APPROACHING THOROUGHFARE IS 25 MPH. THE SIGHT DISTANCE PROVIDES VISIBILITY OF 335 FEET TO THE LEFT, AND 390 FEET TO THE RIGHT. THE SIGHT DISTANCE SHALL BE MEASURED FROM A POINT OF 15 FEET FROM TRAVEL LANE AND AT AN EYE LEVEL OF 3.5 FEET AND LOOKING AT AN OBJECT 3.5 FEET ABOVE THE CENTERLINE.

CURVE TABLE

| CURVE | LENGTH | RADIUS | CHORD | DIRECTION |
|-------|---------|----------|---------|-------------|
| C1 | 52.73' | 1035.59' | 52.72' | N08°13'54"W |
| C2 | 55.36' | 1125.07' | 55.36' | N08°10'51"W |
| C3 | 39.38' | 223.28' | 39.33' | N84°56'57"E |
| C4 | 26.72' | 35.00' | 26.07' | S58°07'16"E |
| C5 | 22.77' | 35.00' | 22.37' | S27°03'45"E |
| C6 | 144.97' | 61.00' | 113.18' | S77°03'45"E |
| C7 | 63.01' | 60.92' | 60.24' | N05°14'03"E |
| C8 | 25.96' | 63.55' | 25.78' | N36°12'39"W |
| C9 | 34.16' | 99.95' | 33.99' | N54°12'39"W |
| C10 | 44.06' | 99.96' | 43.71' | S77°21'52"E |
| C11 | 28.98' | 252.50' | 28.96' | S86°43'19"E |

LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 16.14' | N35°18'35"E |
| L2 | 3.59' | N80°18'35"E |
| L3 | 27.04' | S89°59'24"E |
| L4 | 21.82' | N25°11'35"E |
| L5 | 46.07' | N83°26'02"E |
| L6 | 22.89' | N09°41'25"W |



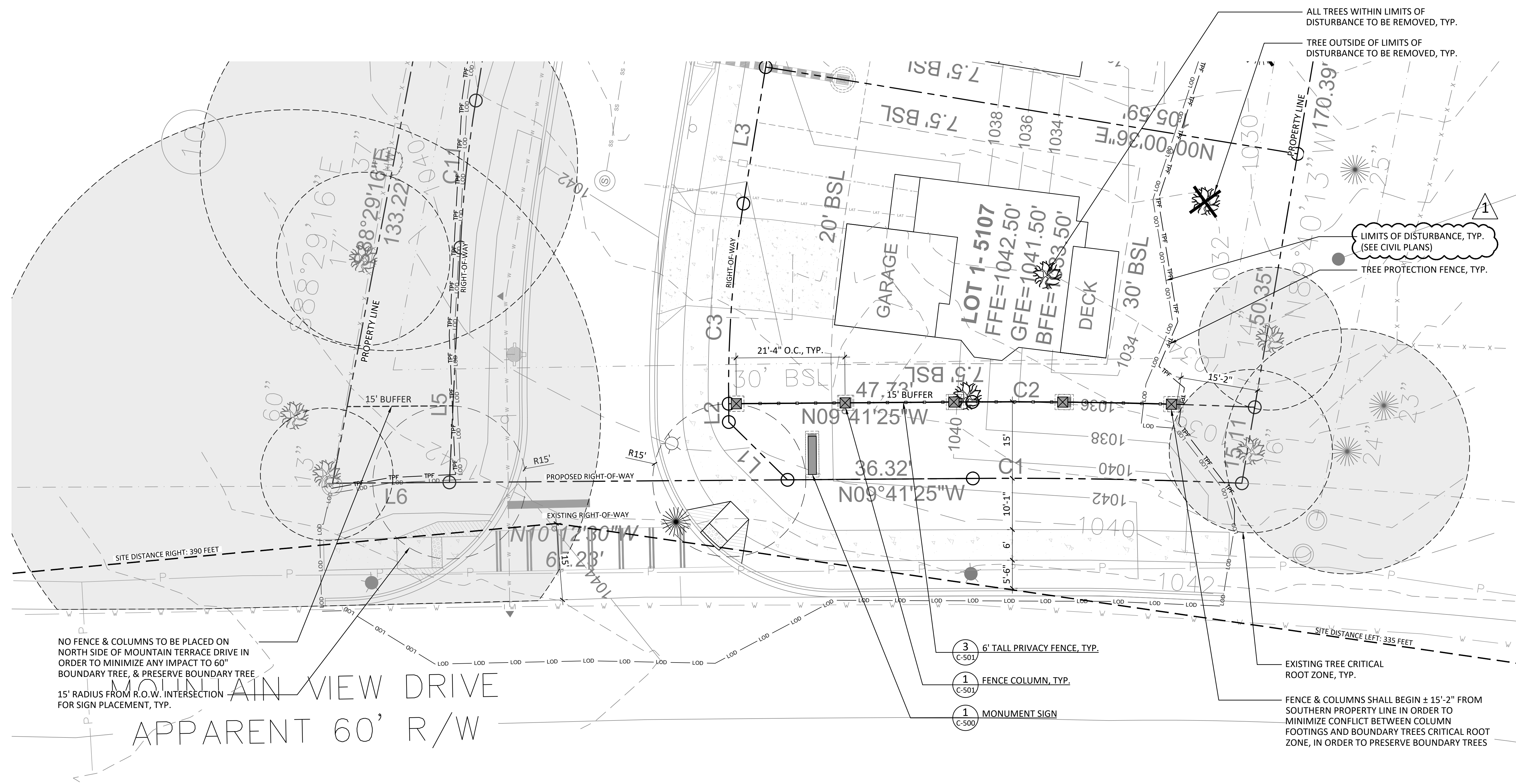
883 Mountain View Drive
DeKalb County, GA
Elamar Construction
4080 McGinnis Ferry Road, Ste. 1203
Alpharetta, GA 30005

Revisions:

| NO. | DATE | DESCRIPTION |
|-----|-----------|--------------------------|
| 1 | 9/09/2024 | County Comments |
| 2 | 9/20/2024 | Detention Pond Plantings |
| | | |
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Sheet Title:
Frontage Enlargement Plan

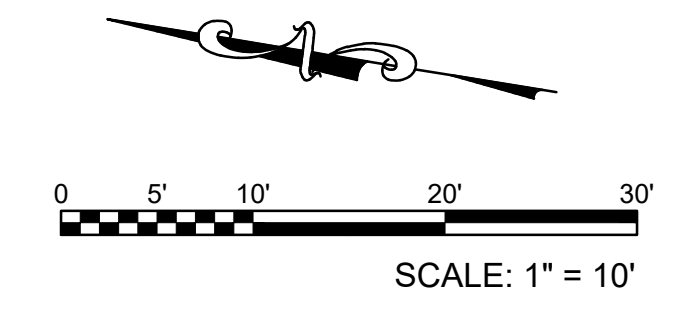
Sheet No:
C-400



NO FENCE & COLUMNS TO BE PLACED ON NORTH SIDE OF MOUNTAIN TERRACE DRIVE IN ORDER TO MINIMIZE ANY IMPACT TO 60" BOUNDARY TREE, & PRESERVE BOUNDARY TREE
15' RADIUS FROM R.O.W. INTERSECTION FOR SIGN PLACEMENT, TYP.

MOUNTAIN VIEW DRIVE
APPARENT 60' R/W

15' BUFFER PLANTING NOTE:
15' BUFFER SHALL BE PLANTED TO MEET THE REQUIREMENTS OF SECTION 5.4.5C.1., 2., & 3. SEE SHEET L-101 FOR BUFFER PLANTINGS.

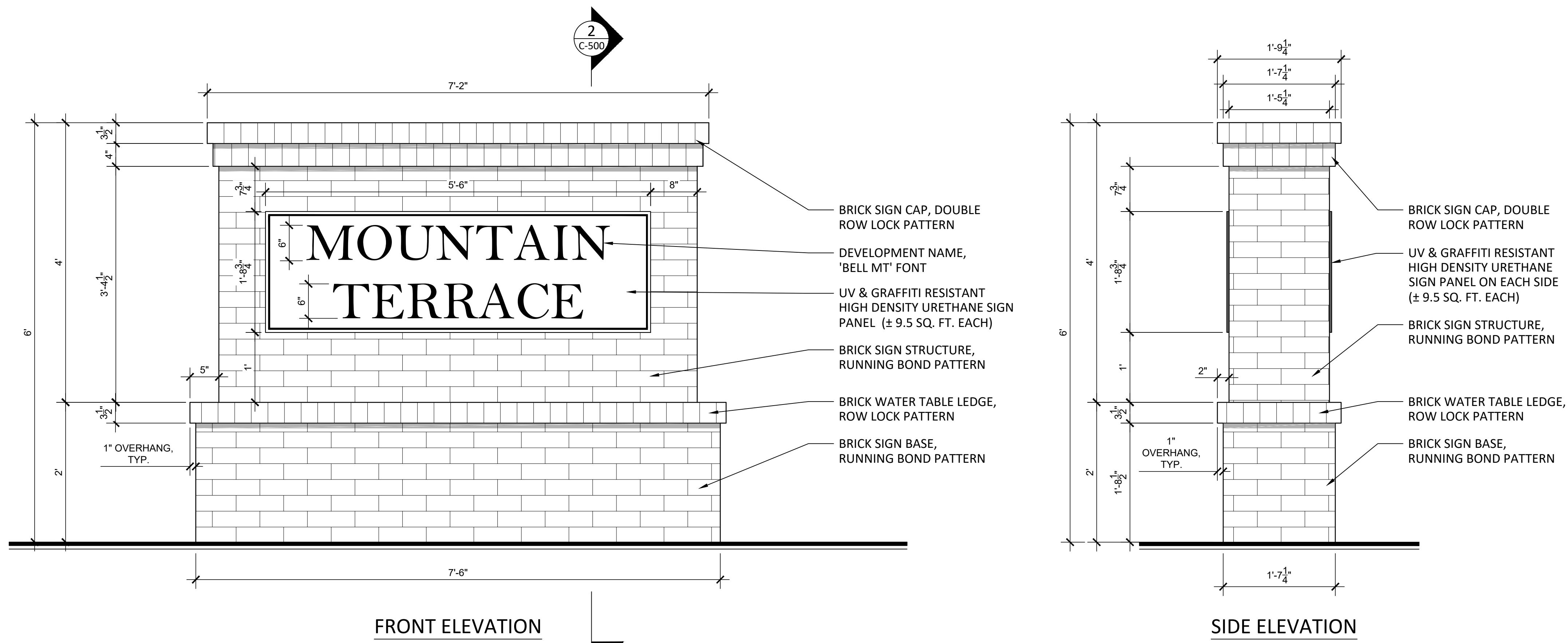


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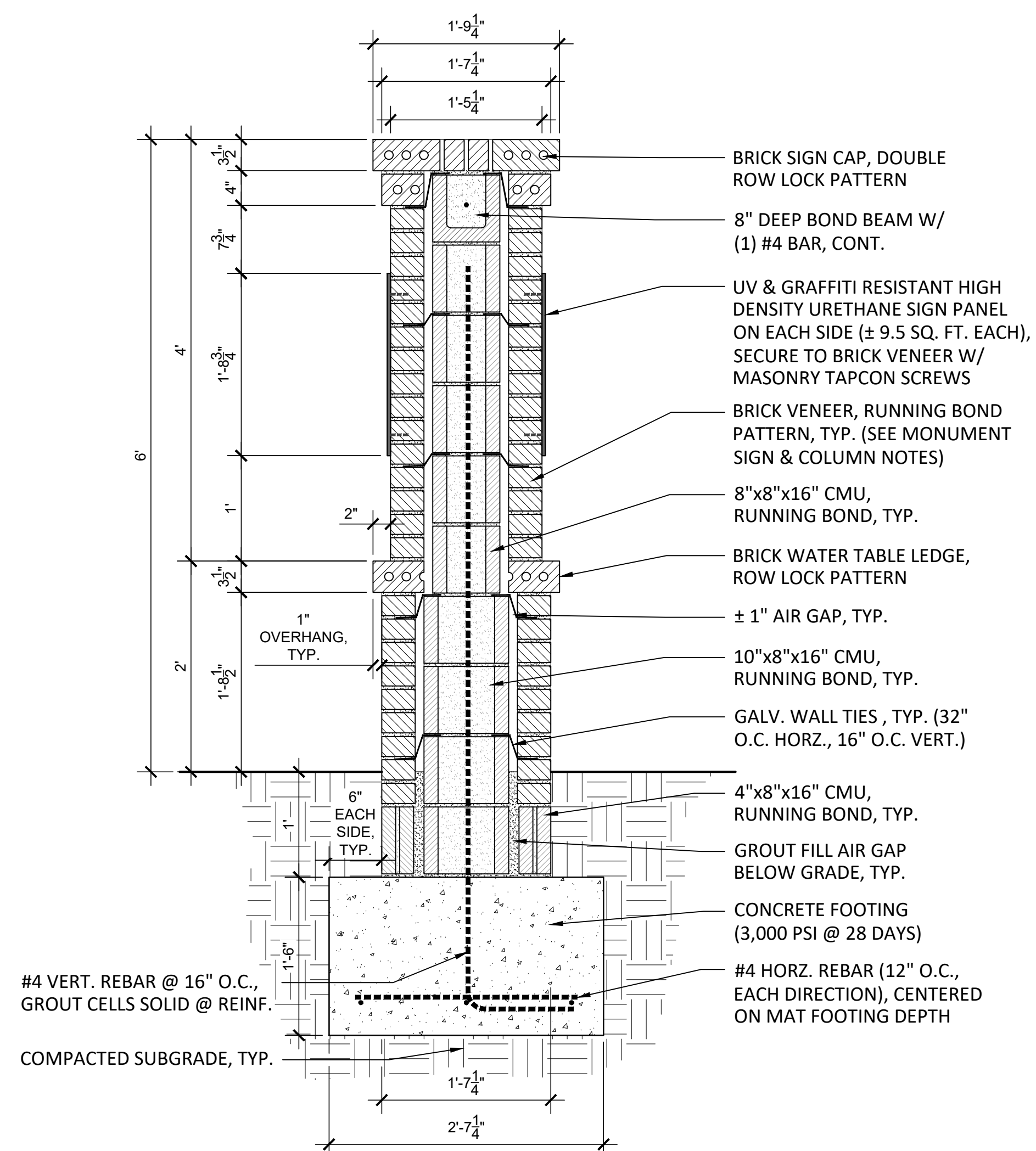


Know what's below.
Call before you dig.

2
C-500



1 MONUMENT SIGN - ELEVATION
SCALE: 1" = 1'-0"



2 MONUMENT SIGN - SECTION
SCALE: 1" = 1'-0"

- MONUMENT SIGN & COLUMN NOTES:**
- MONUMENT SIGN & FENCE COLUMNS SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - MASONRY:
 - BRICK VENEER SHALL BE STANDARD SIZE OLD EDISTO BY NORTH GEORGIA BRICK, OR APPROVED EQUAL.
www.ngabrick.com
5090 Hammond Ind. Drive Cumming, GA 30041
(678) 455-2251
 - MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF ACI 530.1, "SPECIFICATION FOR MASONRY STRUCTURES" EXCEPT AS NOTED ON THE DRAWINGS.
 - ALL MASONRY SHALL HAVE STANDARD HORIZONTAL REINFORCING PLACED @16" O.C. VERTICAL SPACING UNLESS NOTED OTHERWISE.
 - MASONRY LAP SPLICE AS DETERMINED BY IBC 2018 SECTION 2107.2.3
 - CONCRETE MASONRY UNITS (CMU) SHALL BE 4"x8"x16", 8"x8"x16", & 10"x8"x16" NOMINAL DIMENSIONS, U.N.O., WITH 1,900 PSI COMPRESSIVE STRENGTH, STACKED IN RUNNING BOND.
 - MORTAR FOR CMU WALLS SHALL BE TYPE "S".
 - BRICK VENEER SHALL BE SECURED W/GALVANIZED WALL TIES. MAX. HORIZONTAL SPACING = 32"; MAX. VERTICAL SPACING = 16"; MIN. 5/8" GROUT COVER TO OUTSIDE FACE.
 - MORTAR FOR BRICK VENEER SHALL BE TYPE "S", IVORY COLOR. TOOL ALL JOINTS CONCAVE.
 - PROVIDE 2" MIN. COVER OVER ALL STEEL REINFORCEMENT, U.N.O.
 - MINIMUM VERTICAL REINFORCING TO BE #5 @ 48" O.C. UNLESS NOTED OTHERWISE. PROVIDE ONE #5 BAR VERTICAL (FULL WALL HEIGHT) AT EACH CORNER AND TWO #5 BARS VERTICAL (FROM FOOTING TO BEARING) IN FIRST CELL WITHIN 16" OF OPENINGS, WITHIN 8" OF EACH SIDE OF A CONTROL JOINT/EXPANSION JOINT. AT ALL VERTICAL MASONRY REBARS, LAP SAME SIZE HOOKED DOWELS INTO FOUNDATION AND FILL CELLS CONTAINING REBARS SOLID WITH 3000 PSI GROUT.
 - SUBMITTALS:
 - CONTRACTOR SHALL SUBMIT SAMPLES OR BRICK VENEER AND MORTAR COLOR FOR APPROVAL PRIOR TO CONSTRUCTION.

ROOT DESIGN STUDIO
landscape architecture

2300 Henderson Mill Road
Suite 412
Atlanta, Georgia 30345
(404) 895-2253
www.RootDesignStudio.com

Seal:

Date: 07/15/2024
Project No: 2023-073
Drawn By: PS
Checked By: AG

883 Mountain View Drive
DeKalb County, GA

Elamar Construction
4080 McGinnis Ferry Road, Ste. 1203
Alpharetta, GA 30005

Revisions:

| NO. | DATE | DESCRIPTION |
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Sheet Title:
Construction Details

Sheet No:
C-500

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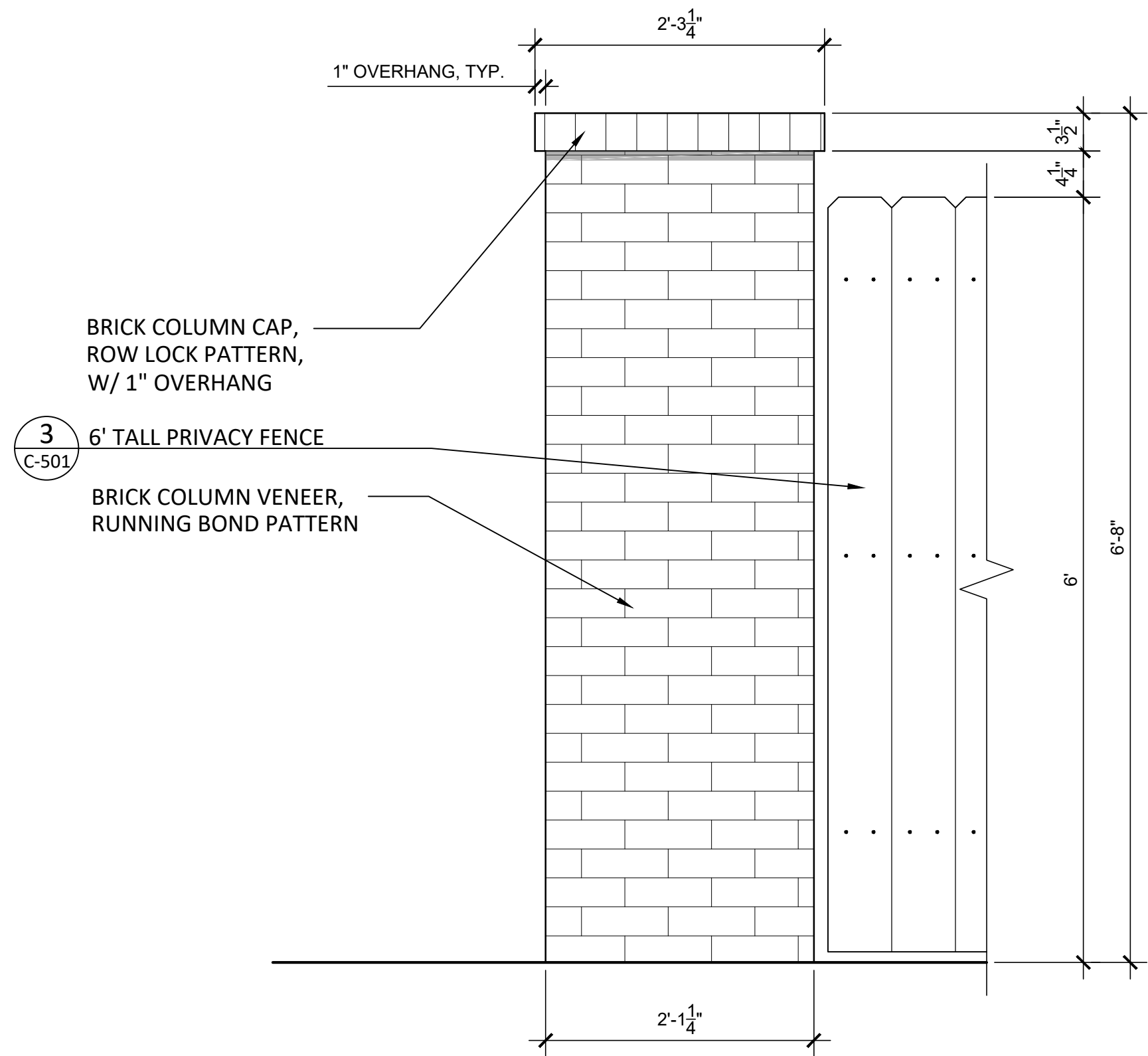
7/15/24

Date: 07/15/2024

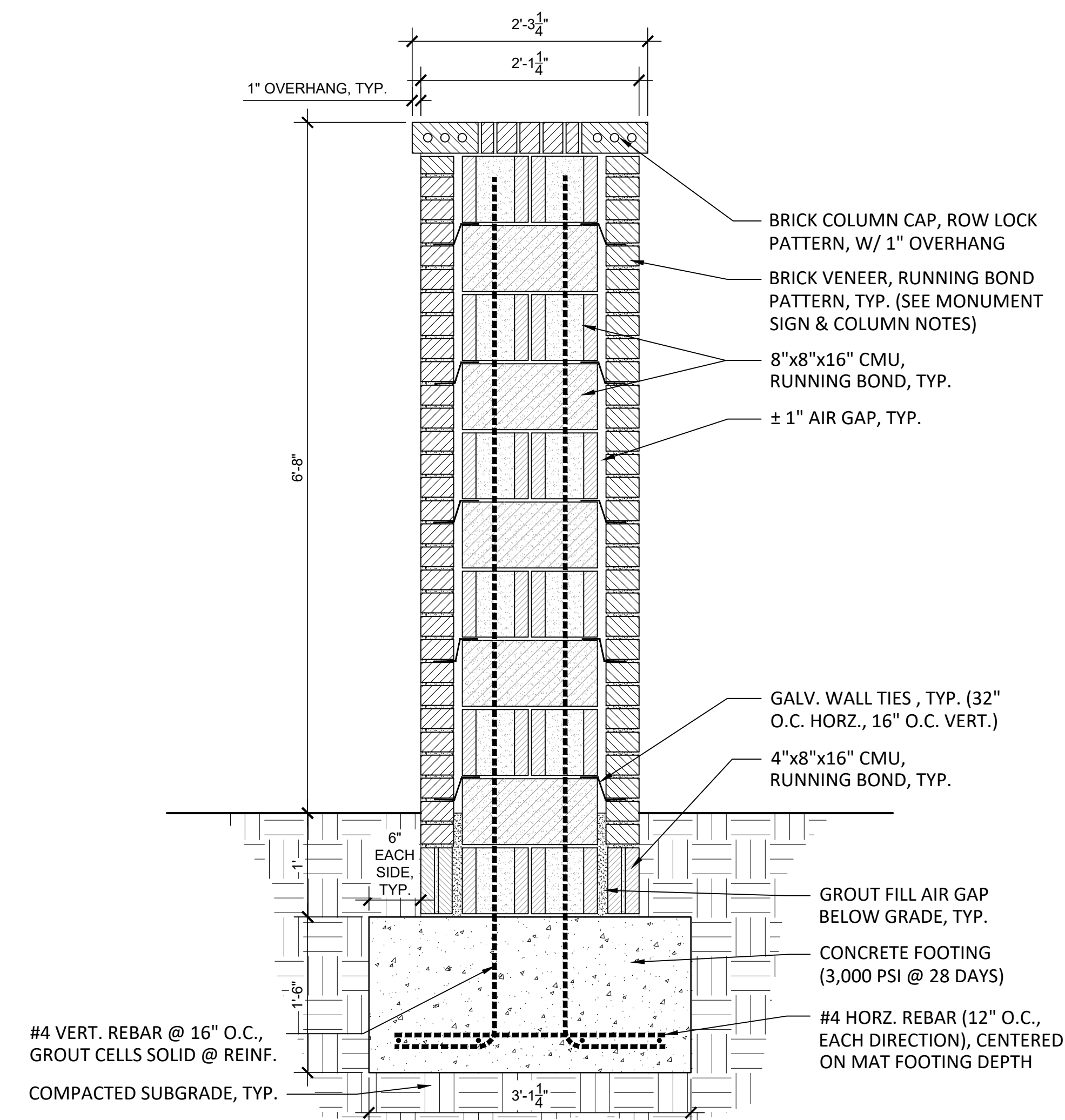
Project No: 2023-073

Drawn By: PS

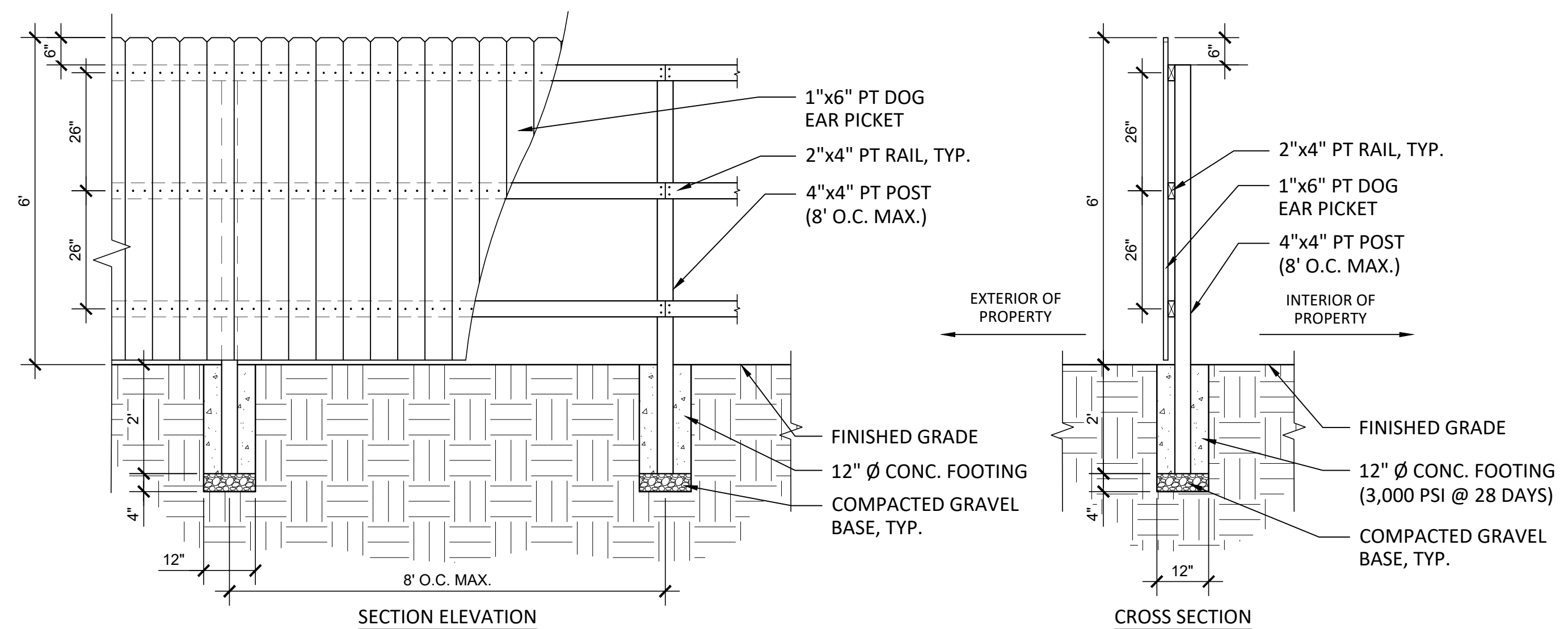
Checked By: AG



1 FENCE COLUMN - ELEVATION
SCALE: 1" = 1'-0"



2 FENCE COLUMN - SECTION
SCALE: 1" = 1'-0"



3 6' TALL PRIVACY FENCE
SCALE: 1/2" = 1'-0"

- FENCING NOTES:**
- CONTRACTOR SHALL STAKE OUT FENCE LAYOUT FOR OWNER'S APPROVAL PRIOR TO CONSTRUCTION.
 - ALL LUMBER / TIMBER SHALL BE SOUTHERN YELLOW PINE NUMBER 2.
 - ALL LUMBER / TIMBER SHALL BE OF SOUND STOCK, DELIVERED DRY, AND SHALL BE FULLY PROTECTED AT ALL TIMES FROM INJURY, DAMP, SPLIT, BROKEN, OR OTHERWISE DAMAGED PIECES WILL NOT BE ALLOWED IN THE WORK.
 - LUMBER / TIMBER SHALL BE TREATED WITH PRESERVATIVES TO THE FOLLOWING REQUIREMENTS IN ACCORDANCE WITH AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) STANDARD U1 OR ICC-ES EVALUATION REPORTS:
 - 4"x4" POSTS: UC4B, 0.40 PCF ACQ
 - 2"x4" RAILS: UC3B, 0.15 PCF ACQ
 - 1"x6" PICKETS: UC3B, 0.15 PCF ACQ
 - ALL TREATMENT SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE AMERICAN WOOD PROTECTION ASSOCIATION FOR TREATING WOOD. APPLY A HEAVY COAT OF THE SAME PRESERVATIVE USED IN TREATING TO ALL SURFACES CUT AFTER TREATMENT.
 - CONNECTING HARDWARE SHALL BE AS FOLLOWS:
 - 2"x4" RAILS TO 4"x4" POSTS: (2) 3 1/2" GALVANIZED #8 RING SHANK NAIL AT EACH CONNECTION.
 - 1"x6" PICKETS TO 2"x4" RAILS: (2) 1 1/2" GALVANIZED #8 RING SHANK NAIL AT EACH CONNECTION.
 - ALL FENCE LUMBER SHALL BE STAINED W/ SEMI-TRANSPARENT WOOD STAIN (BURNT HICKORY EXTERIOR STAIN BY READY SEAL, OR APPROVED EQUAL).
 - CONTRACTOR SHALL SUPPLY SAMPLE OF STAINED FENCE LUMBER FOR OWNER APPROVAL PRIOR TO CONSTRUCTION.
 - ALL DEMOLITION MATERIALS AND OFF-CUTS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.

883 Mountain View Drive
DeKalb County, GA

Elamar Construction
4080 McGinnis Ferry Road, Ste. 1203
Alpharetta, GA 30005

Revisions:

| NO. | DATE | DESCRIPTION |
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Sheet Title:
Construction
Details

Sheet No:
C-501

RELEASED FOR CONSTRUCTION

TREE PLAN CALCULATIONS:

Overstory Percent Calculation

| Trees | Quantity | Overstory | Percent |
|---|-----------|-----------|--------------|
| <i>Carpinus caroliniana</i> | 0 | 0 | 0.0% |
| <i>Cercis canadensis 'Merlot'</i> | 5 | 0 | 0.0% |
| <i>Ilex x attenuata 'Fosteri'</i> | 3 | 0 | 0.0% |
| <i>Liriodendron tulipifera</i> | 0 | 0 | 0.0% |
| <i>Magnolia grandiflora 'Little Gem'</i> | 3 | 0 | 0.0% |
| <i>Magnolia virginiana 'Jim Wilson'</i> | 2 | 0 | 0.0% |
| <i>Quercus nuttallii</i> | 8 | 8 | 18.2% |
| <i>Taxodium distichum 'Shawnee Brave'</i> | 9 | 9 | 20.5% |
| <i>Thuja occidentalis 'Smaragd'</i> | 5 | 0 | 0.0% |
| <i>Ulmus alata 'UAMTF'</i> | 9 | 9 | 20.5% |
| TOTAL | 44 | 26 | 59.1% |

At least 50% of replacement trees must be overstory trees (per section 14-39 (g) (1) the Dekalb County Tree Protection Ordinance).

Species Percent Calculation

| Trees | Quantity | Percent |
|---|-----------|---------------|
| <i>Carpinus caroliniana</i> | 0 | 0.0% |
| <i>Cercis canadensis 'Merlot'</i> | 5 | 11.4% |
| <i>Ilex x attenuata 'Fosteri'</i> | 3 | 6.8% |
| <i>Liriodendron tulipifera</i> | 0 | 0.0% |
| <i>Magnolia grandiflora 'Little Gem'</i> | 3 | 6.8% |
| <i>Magnolia virginiana 'Jim Wilson'</i> | 2 | 4.5% |
| <i>Quercus nuttallii</i> | 8 | 18.2% |
| <i>Taxodium distichum 'Shawnee Brave'</i> | 9 | 20.5% |
| <i>Thuja occidentalis 'Smaragd'</i> | 5 | 11.4% |
| <i>Ulmus alata 'UAMTF'</i> | 9 | 20.5% |
| TOTAL | 44 | 100.0% |

No more than 25% of replacement trees may be any single species (per section 14-39 (g) (1) the Dekalb County Tree Protection Ordinance).

Evergreen Percent Calculation

| Trees | Quantity | Evergreen | Percent |
|---|-----------|-----------|--------------|
| <i>Cercis canadensis 'Merlot'</i> | 5 | 0 | 0.0% |
| <i>Ilex x attenuata 'Fosteri'</i> | 3 | 3 | 6.8% |
| <i>Magnolia grandiflora 'Little Gem'</i> | 3 | 3 | 6.8% |
| <i>Magnolia virginiana 'Jim Wilson'</i> | 2 | 0 | 0.0% |
| <i>Quercus nuttallii</i> | 8 | 0 | 0.0% |
| <i>Taxodium distichum 'Shawnee Brave'</i> | 9 | 0 | 0.0% |
| <i>Thuja occidentalis 'Smaragd'</i> | 5 | 5 | 11.4% |
| <i>Ulmus alata 'UAMTF'</i> | 9 | 0 | 0.0% |
| TOTAL | 44 | 11 | 25.0% |

No more than 25% of replacement trees may be of Evergreen species (per section 14-39 (g) (1) the Dekalb County Tree Protection Ordinance).

Mountain Terrace Drive Streetscape Calculations

| | | | |
|---|---|------------|--------------|
| Total Length of 6' Landscape Strip along Mountain Terrace Dr. | = | 713 | LF |
| Minus Driveway Apron Width | = | 213 | LF |
| Equals Net Length of Landscape Strip | = | 500 | LF |
| Required Number of Street Trees (1 Street Tree per 30 Linear Feet of Landscape Strip) | = | 17 | Trees |
| Proposed Number Street Trees shown on Plans | = | 17 | Trees |

Note: Requirements shown are from section 5.4.3 (A) 1 of the Code of Ordinances of DeKalb County, GA.

Mountain View Drive Streetscape Calculations

| | | | |
|---|---|-----------|--------------|
| Total Length of 6' Landscape Strip along Mountain View Dr. | = | 180 | LF |
| Minus Site Distance Line Width | = | 117 | LF |
| Equals Net Length of Landscape Strip | = | 63 | LF |
| Required Number of Street Trees (1 Street Tree per 30 Linear Feet of Landscape Strip) | = | 2 | Trees |
| Proposed Number Street Trees shown on Plans | = | 2 | Trees |

Note:
1) Requirements shown are from section 5.4.3 (A) 1 of the Code of Ordinances of DeKalb County, GA.
2) Understory trees to be used as street trees along Mountain View Drive to minimize potential conflicts with overhead power lines.

Plant Schedule

| Quantity | Botanical Name | Common Name | Size | Spacing | Remarks | Replacement Tree Density Units | Specimen Recompense Inches |
|---|--|----------------------------|-----------------------|----------|--------------------------------|--------------------------------|----------------------------|
| MOUNTAIN TERRACE DRIVE STREET TREES | | | | | | | |
| Canopy Trees | | | | | | | |
| 8 | <i>Quercus nuttallii</i> | Nuttall Oak | 4" Cal. | AS SHOWN | 1, 3, 4, 5, 6, 10, 11 | 5.6 | 32 |
| 9 | <i>Ulmus alata 'UAMTF'</i> | Kalysta Winged Elm | 4" Cal. | AS SHOWN | 1, 3, 4, 5, 6, 10, 11 | 6.3 | 36 |
| MOUNTAIN VIEW DRIVE STREET TREES | | | | | | | |
| Understory Trees | | | | | | | |
| 2 | <i>Cercis canadensis 'Merlot'</i> | Merlot Redbud | 2" Cal. | AS SHOWN | 1, 3, 4, 5, 6, 10, 11 | 0.8 | 4 |
| 15' LANDSCAPE BUFFER TREES | | | | | | | |
| Evergreen Trees | | | | | | | |
| 3 | <i>Ilex x attenuata 'Fosteri'</i> | Foster's Holly | 2" Cal. (6" Ht. Min.) | AS SHOWN | 1, 3, 4, 5, 6, 7, 10, 11 or 12 | 0.6 | 6 |
| 3 | <i>Magnolia grandiflora 'Little Gem'</i> | Little Gem Magnolia | 2" Cal. (6" Ht. Min.) | AS SHOWN | 1, 3, 4, 5, 6, 7, 10, 11 or 12 | 0.6 | 6 |
| 2 | <i>Magnolia virginiana 'Jim Wilson'</i> | Moonglow Sweetbay Magnolia | 2" Cal. (6" Ht. Min.) | AS SHOWN | 2, 4, 5, 6, 8, 10, 11 or 12 | 0.4 | 4 |
| 5 | <i>Thuja occidentalis 'Smaragd'</i> | Emerald Arborvitae | 2" Cal. (6" Ht. Min.) | AS SHOWN | 1, 3, 4, 5, 6, 7, 10, 11 or 12 | 1 | 10 |
| ADDITIONAL SPECIMEN RECOMPENSE TREES | | | | | | | |
| Canopy Trees | | | | | | | |
| 9 | <i>Taxodium distichum 'Shawnee Brave'</i> | Shawnee Brave Bald Cypress | 4" Cal. | AS SHOWN | 1, 3, 4, 5, 6, 10, 11 | 6.3 | 36 |
| Understory Trees | | | | | | | |
| 3 | <i>Cercis canadensis 'Merlot'</i> | Merlot Redbud | 4" Cal. | AS SHOWN | 1, 3, 4, 5, 6, 10, 11 | 2.1 | 12 |
| DETENTION POND SCREENING SHRUBS | | | | | | | |
| Evergreen Shrubs | | | | | | | |
| 21 | <i>Ilex cornuta 'Needlepoint'</i> | Needle Point Holly | 3'-5' Ht. | 4' O.C. | 4, 5, 6, 10, 12 | | |
| 24 | <i>Ilex vomitoria 'Nana'</i> | Dwarf Yaupon Holly | 3'-5' Ht. | 4' O.C. | 4, 5, 6, 10, 12 | | |
| 24 | <i>Ilicium parviflorum</i> | Hardy Anise | 3'-5' Ht. | 4' O.C. | 4, 5, 6, 10, 12 | | |
| 16 | <i>Loropetalum chinensis 'Shang-hi'</i> | Purple Diamond Loropetalum | 3'-5' Ht. | 4' O.C. | 4, 5, 6, 10, 12 | | |
| 22 | <i>Viburnum davidii x tinus 'Spig-3-024'</i> | Moonlit Lace Viburnum | 3'-5' Ht. | 4' O.C. | 4, 5, 6, 10, 12 | | |
| 44 | Total Trees | | | | | Totals | 23.7 |

Notes:
1. Tree selections shown are from Appendix A of the Dekalb County Tree Protection Ordinance.
2. At least 50% of replacement trees must be overstory trees.
3. No more than 25% of replacement trees may be a single species.
4. No more than 25% of replacement trees may be evergreen species.

ARBORIST REPORT:

SPECIMEN TREE REPORT
DEKALB COUNTY

Client

Root Design Studio

Address

883 Mountain View Rd



Project

23015

Alex Phillips
ISA Certified Arborist MA-4868A
Tree Risk Assessment Qualified
American Society of Landscape Architects

Survey Date

11/10/2023



883 Mountain View

Specimen Tree Inventory

Some trees on a site warrant special consideration and encouragement for preservation. Specifications for these trees are established under the Dekalb County Tree Preservation and Replacement Ordinance. The intent of these specifications is to provide the necessary information to facilitate project design, plan review and enforcement processes. The purpose is to make Dekalb County a more attractive place to live, provide a healthy living environment, and better control of stormwater runoff, noise, glare and soil erosion. Dekalb County Specimen tree specifications are organized by size:
Deciduous Hardwood trees over 30" DBH
Conifer Softwood trees over 30" DBH
Flowering Understory trees over 10" DBH
And condition:
Life expectancy greater than 15 years
Relatively sound and solid trunk with no visible decay
No more than one major and several minor dead limbs (hardwoods)
No major insect or pathological problems

Site Location

The site is located in a developed area of the county. It is a large single family lot with a vacant dwelling near the frontage. The stand is composed of Poplars, Sweetgums, Pines and Oaks. There are a few specimen trees on site but most trees are younger and smaller than specimen size. There are no understory specimens.

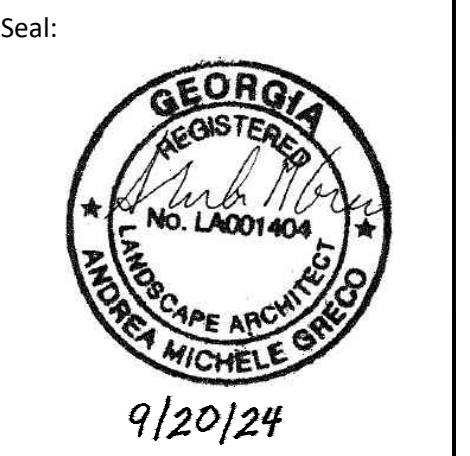
Definitions

Tree Number: Trees are tagged with an aluminum disk that shows a unique number to identify the tree.
Species: Trees are listed by a regional common name and botanical name.
Diameter at Breast Height (DBH): The diameter of a trunk at 4.5' above ground level. Measured in inches.
Condition:
Good: A specimen tree with healthy productive tip growth. A sound trunk with no visible damage or decay. No major limb loss and healthy branch unions. No visible insect or disease infestations. Life expectancy of more than 15 years.
Fair: A specimen tree with healthy but not vigorous tip growth. Less than 30% of crown is dead. No major dead limbs and no major trunk cavities or damage. Branch unions show some signs of stress. Tree is expected to live longer than 10 years.
Poor: More than 30% of the crown is dead or has significant tip die back. More than one major limb is dead and are large trunk cavities with visible decay. Severe insect or disease



883 Mountain View

damage leading to immediate death. Roots are visible and show signs of decay and rot. Life expectancy is less than 5 years.
Dead: Tree has no bud or leaf production. All limbs are barren and rot is visible.
Invasive: Tree species whose native range is not within the Piedmont classification.
Hazardous: Severe or uncorrectable damage that will lead to a loss of property or life if there is tree failure.



Date: 07/15/2024
Project No: 2023-073
Drawn By: PS
Checked By: AG

883 Mountain View Drive
DeKalb County, GA
Elamar Construction
4080 McGinnis Ferry Road, Ste. 1203
Alpharetta, GA 30005

883 Mountain View

Specimen Tree Report

| Tree # | DBH | Species | Condition | Comments |
|--------|-----|---|-----------|---|
| 2914 | 37" | <i>Quercus nigra</i> Water Oak | Poor | Poor 1: Large vertical crack along trunk. Pic 1 |
| 2915 | 45" | <i>Quercus nigra</i> Water Oak | Good | Tree is in good health. |
| 2916 | 37" | <i>Pinus taeda</i> Loblolly Pine | Poor | Poor 2: 15 degree lean with heave. Pic 2 |
| 2917 | 41" | <i>Quercus falcata</i> S Red Oak | Poor | Poor 3: 15 degree lean. Pic 3 |
| 2918 | 30" | <i>Quercus falcata</i> S Red Oak | Fair | Fair 1: 7 degree lean. Pic 4 |
| 2919 | 30" | <i>Liquidambar styraciflua</i> Sweetgum | Good | Tree is in good health. |

Specimen Tree Summary: 6
Excellent Condition: 0
Good Condition: 2
Fair Condition: 1
Poor Condition: 3



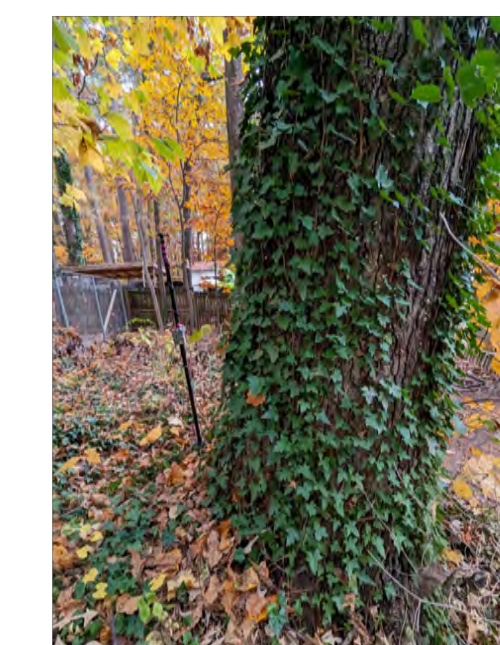
883 Mountain View



Pic 1- Large vertical crack along trunk. Poor 1



Pic 2- 15 degree lean with heave. Poor 2



Pic 3- 15 degree lean Poor 3



Pic 4- 7 degree lean. Fair 1



| NO. | DATE | DESCRIPTION |
|-----|-----------|--------------------------|
| 1 | 9/09/2024 | County Comments |
| 2 | 9/20/2024 | Detention Pond Plantings |

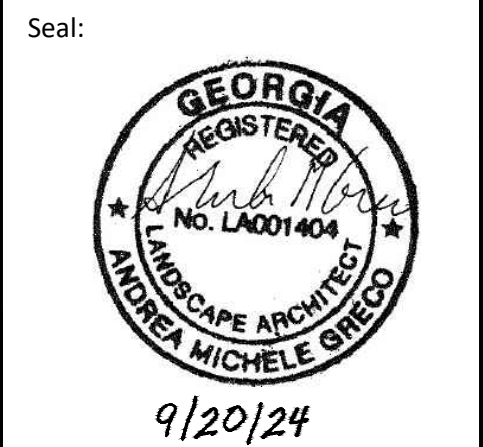
Sheet Title:
Tree Protection Calculations & Arborist Report

Sheet No:
L-002

RELEASED FOR CONSTRUCTION



2300 Henderson Mill Road
Suite 412
Atlanta, Georgia 30345
(404) 895-2253
www.RootStudio.com



Date: 07/15/2024
Project No: 2023-073
Drawn By: PS
Checked By: AG

883 Mountain View Drive
DeKalb County, GA

Elamar Construction
4080 McGinnis Ferry Road, Ste. 1203
Alpharetta, GA 30005

Revisions:

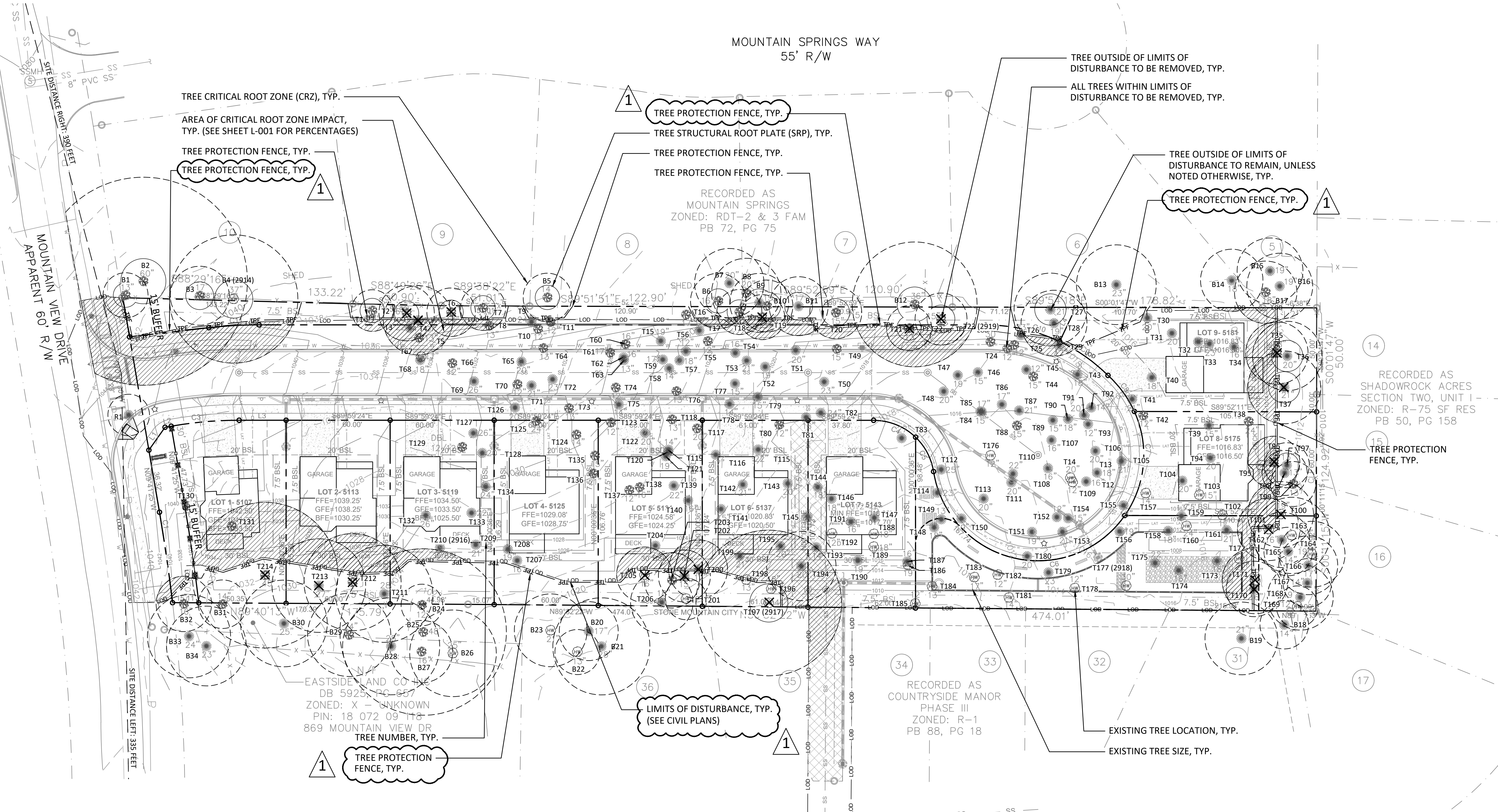
| NO. | DATE | DESCRIPTION |
|-----|-----------|--------------------------|
| 1 | 9/09/2024 | County Comments |
| 2 | 9/20/2024 | Detention Pond Plantings |
| | | |
| | | |
| | | |

Sheet Title:
Tree Protection Plan

Sheet No:
L-100

MOUNTAIN SPRINGS WAY
55' R/W

MOUNTAIN VIEW DRIVE
APPARENT 60' R/W



TREE CRITICAL ROOT ZONE (CRZ), TYP.
AREA OF CRITICAL ROOT ZONE IMPACT, TYP. (SEE SHEET L-001 FOR PERCENTAGES)
TREE PROTECTION FENCE, TYP.
TREE PROTECTION FENCE, TYP.

TREE PROTECTION FENCE, TYP.
TREE STRUCTURAL ROOT PLATE (SRP), TYP.
TREE PROTECTION FENCE, TYP.
TREE PROTECTION FENCE, TYP.

TREE OUTSIDE OF LIMITS OF DISTURBANCE TO BE REMOVED, TYP.
ALL TREES WITHIN LIMITS OF DISTURBANCE TO BE REMOVED, TYP.

TREE OUTSIDE OF LIMITS OF DISTURBANCE TO REMAIN, UNLESS NOTED OTHERWISE, TYP.
TREE PROTECTION FENCE, TYP.

RECORDED AS
MOUNTAIN SPRINGS
ZONED: RDT-2 & 3 FAM
PB 72, PG 75

RECORDED AS
SHADOWROCK ACRES
SECTION TWO, UNIT I
ZONED: R-75 SF RES
PB 50, PG 158

EASTSIDE LAND CO INC
DB 5925, PG 657
ZONED: X - UNKNOWN
PIN: 18 072 09 118
869 MOUNTAIN VIEW DR
TREE NUMBER, TYP.

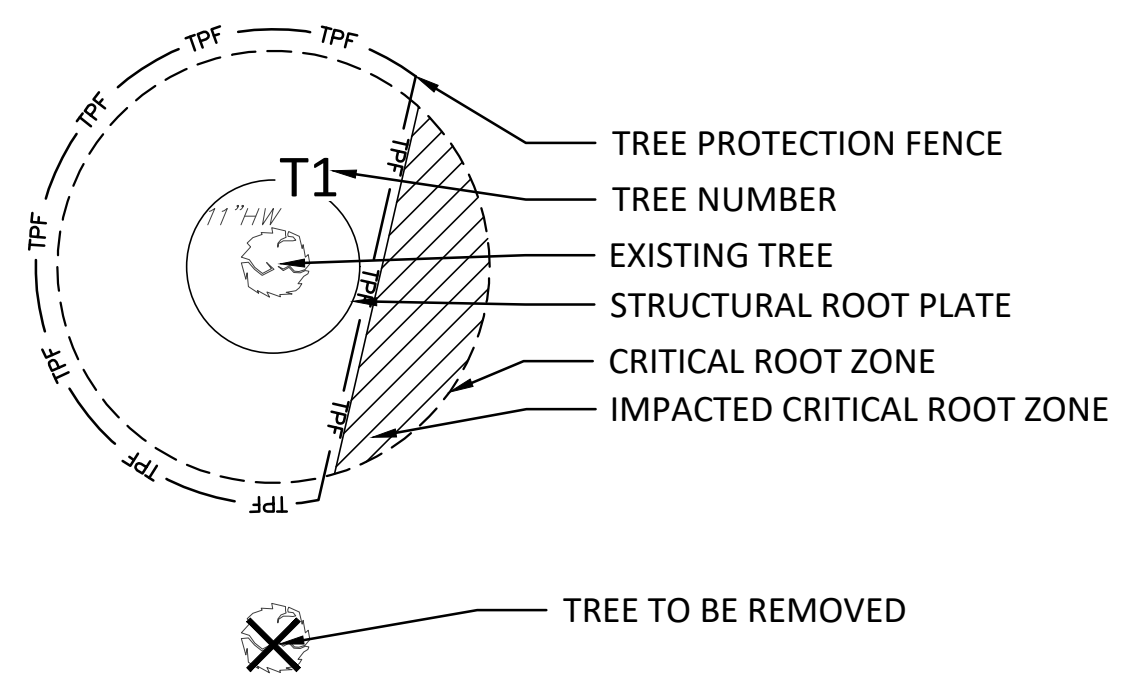
RECORDED AS
COUNTRYSIDE MANOR
PHASE III
ZONED: R-1
PB 88, PG 18

LIMITS OF DISTURBANCE, TYP.
(SEE CIVIL PLANS)

EXISTING TREE LOCATION, TYP.
EXISTING TREE SIZE, TYP.

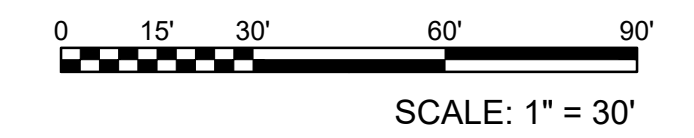
TREE PROTECTION FENCE, TYP.

TREE PLAN LEGEND



TREE PLAN NOTES

1. ALL TREES WITHIN THE LIMITS OF DISTURBANCE TO BE REMOVED, (UNLESS OTHERWISE NOTED).
2. ALL DISTURBED AREAS SHALL BE COVERED WITH SEED AND STRAW PER EROSION CONTROL PLANS, (UNLESS OTHERWISE NOTED).
3. ALL NEWLY PLANTED TREES SHALL HAVE A SIX-FOOT DIAMETER PINE STRAW MULCH RING, (UNLESS OTHERWISE NOTED).
4. SEE SHEETS L-000, L-001, & L-002 FOR ADDITIONAL INFORMATION.
5. ALL SHRUBS SHALL BE PLANTED IN A BED WITH THREE INCHES OF PINE STRAW.



RELEASED FOR CONSTRUCTION

Seal:



9/20/24

Date: 07/15/2024

Project No: 2023-073

Drawn By: PS

Checked By: AG

883 Mountain View Drive
DeKalb County, GA

Elamar Construction
4080 McGinnis Ferry Road, Ste. 1203
Alpharetta, GA 30005

Revisions:

| NO. | DATE | DESCRIPTION |
|-----|-----------|--------------------------|
| 1 | 9/09/2024 | County Comments |
| 2 | 9/20/2024 | Detention Pond Plantings |
| | | |
| | | |
| | | |

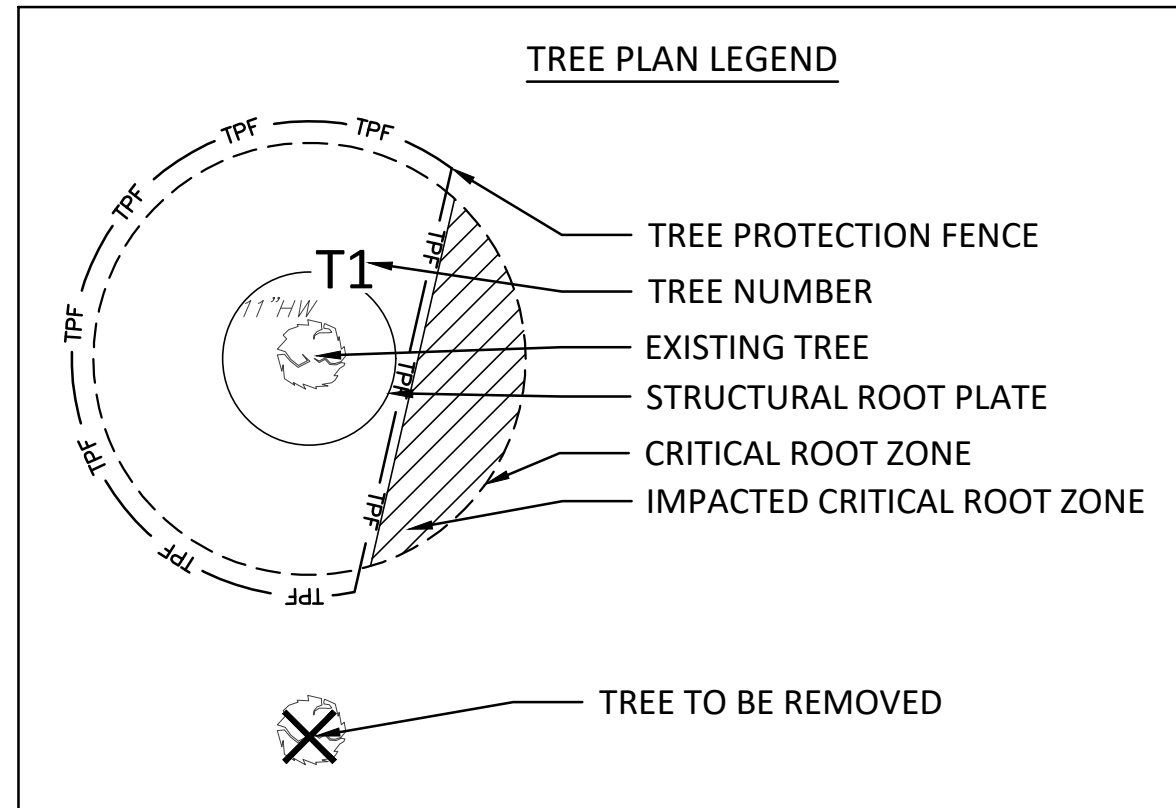
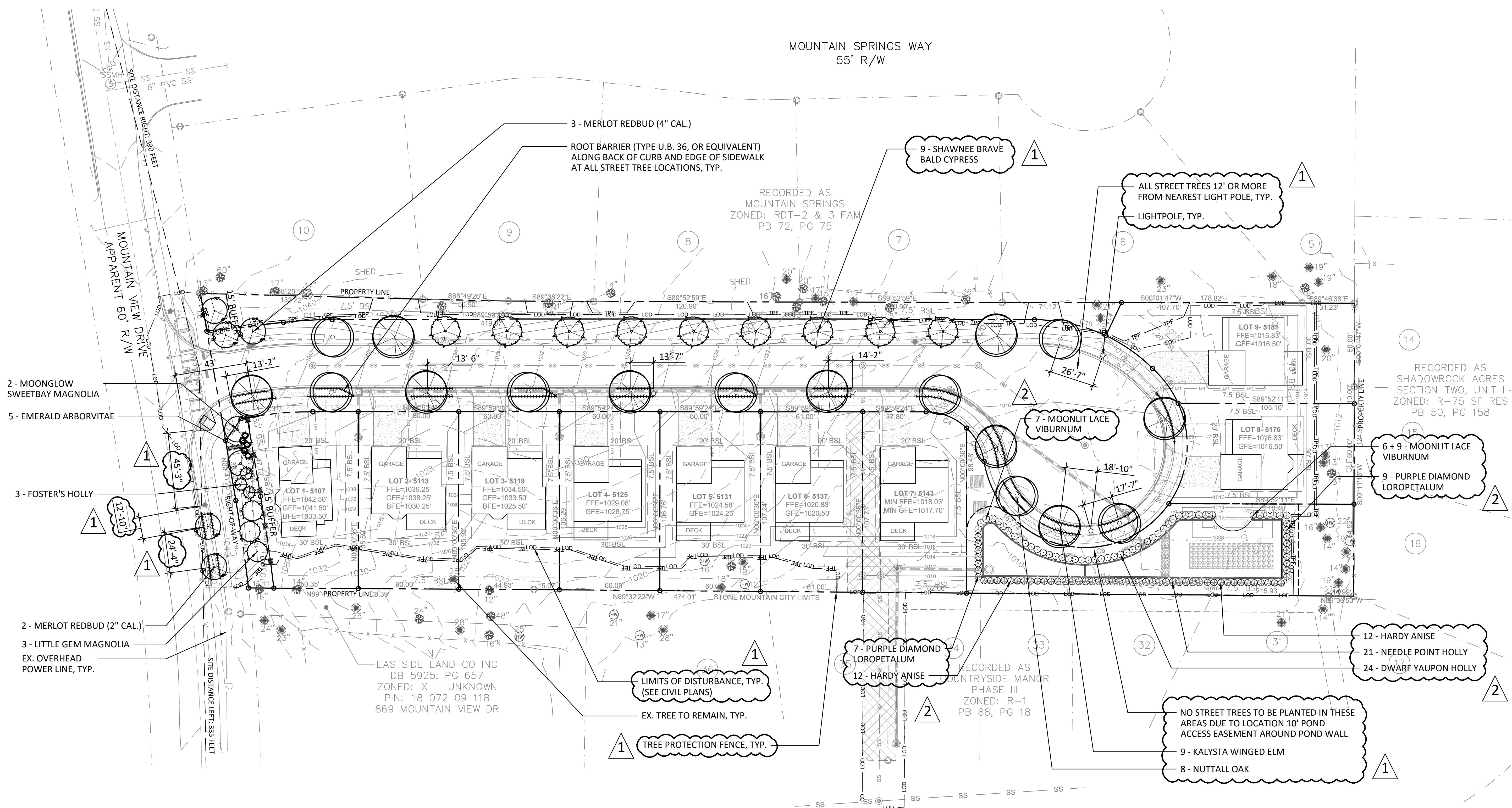
Sheet Title:

Tree Replacement Plan

Sheet No:

L-101

MOUNTAIN SPRINGS WAY
55' R/W



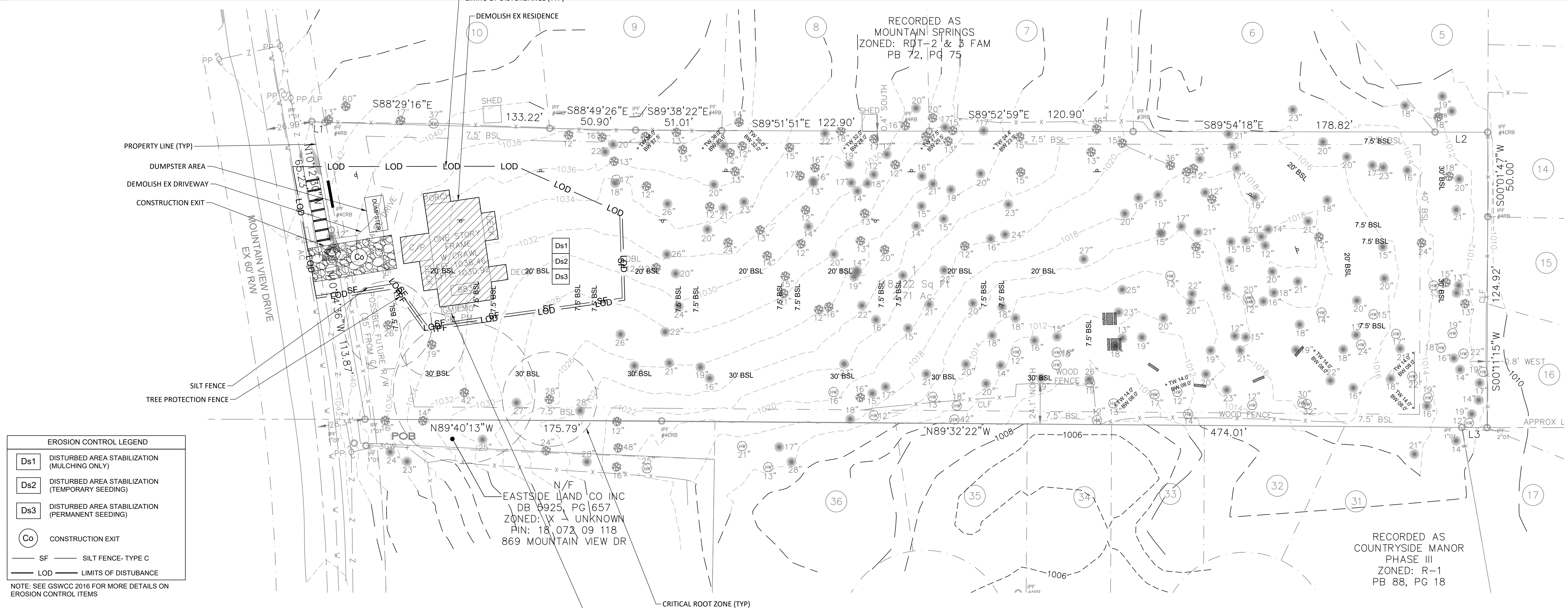
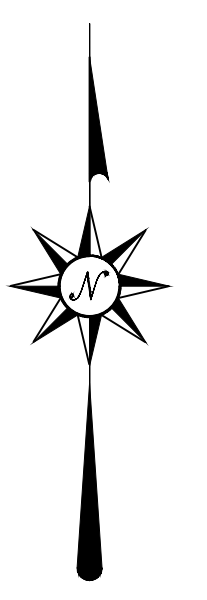
- TREE PLAN NOTES**
- ALL TREES WITHIN THE LIMITS OF DISTURBANCE TO BE REMOVED, (UNLESS OTHERWISE NOTED).
 - ALL DISTURBED AREAS SHALL BE COVERED WITH SEED AND STRAW PER EROSION CONTROL PLANS, (UNLESS OTHERWISE NOTED).
 - ALL NEWLY PLANTED TREES SHALL HAVE A SIX-FOOT DIAMETER PINE STRAW MULCH RING, (UNLESS OTHERWISE NOTED).
 - SEE SHEETS L-000, L-001, & L-002 FOR ADDITIONAL INFORMATION.
 - ALL SHRUBS SHALL BE PLANTED IN A BED WITH THREE INCHES OF PINE STRAW.

- STREET TREE LOCATION NOTE**
- PER CIVIL PLANS, UNDERGROUND UTILITIES WITHIN LANDSCAPE STRIP ARE DEEP ENOUGH TO AVOID CONFLICT WITH TREE PLANTINGS. REFER TO CIVIL PLANS FOR PROPER UTILITY DEPTH.
 - STREET TREES SHALL NOT BE PLANTED CLOSER THAN 20 FEET FROM THE CURB LINE OF INTERSECTING STREETS AND NOT CLOSER THAN 10' FROM INTERSECTING LINES OF PRIVATE DRIVES.
 - STREET TREES SHALL NOT BE PLANTED CLOSER THAN 12' FROM LIGHT STANDARDS.
 - STREET TREES SHALL NOT BE PLANTED CLOSER THAN 2.5' FROM THE BACK OF CURB.



RELEASED FOR CONSTRUCTION

Table with columns: DATE, REVISIONS, NO., PROJECT NO. 23070, DESIGNED BY: MG, CHECKED BY: MG, DATE: 06-07-2024, SHEET D1.0



EROSION CONTROL LEGEND table with symbols for Ds1, Ds2, Ds3, Co, SF, LOD.

NOTE: SEE GSWCC 2016 FOR MORE DETAILS ON EROSION CONTROL ITEMS

PROJECT DESCRIPTION: DEMOLISH EXISTING RESIDENCE AND STUB ALL UTILITY CONNECTIONS AT 875/883 MOUNTAIN VIEW DR IN DEKALB COUNTY UNINCORPORATED.

WETLAND NOTE AND FLOOD NOTE: THERE ARE NO WETLANDS OR STATE WATERS LOCATED ON OR WITHIN 200 FT OF THIS SITE.

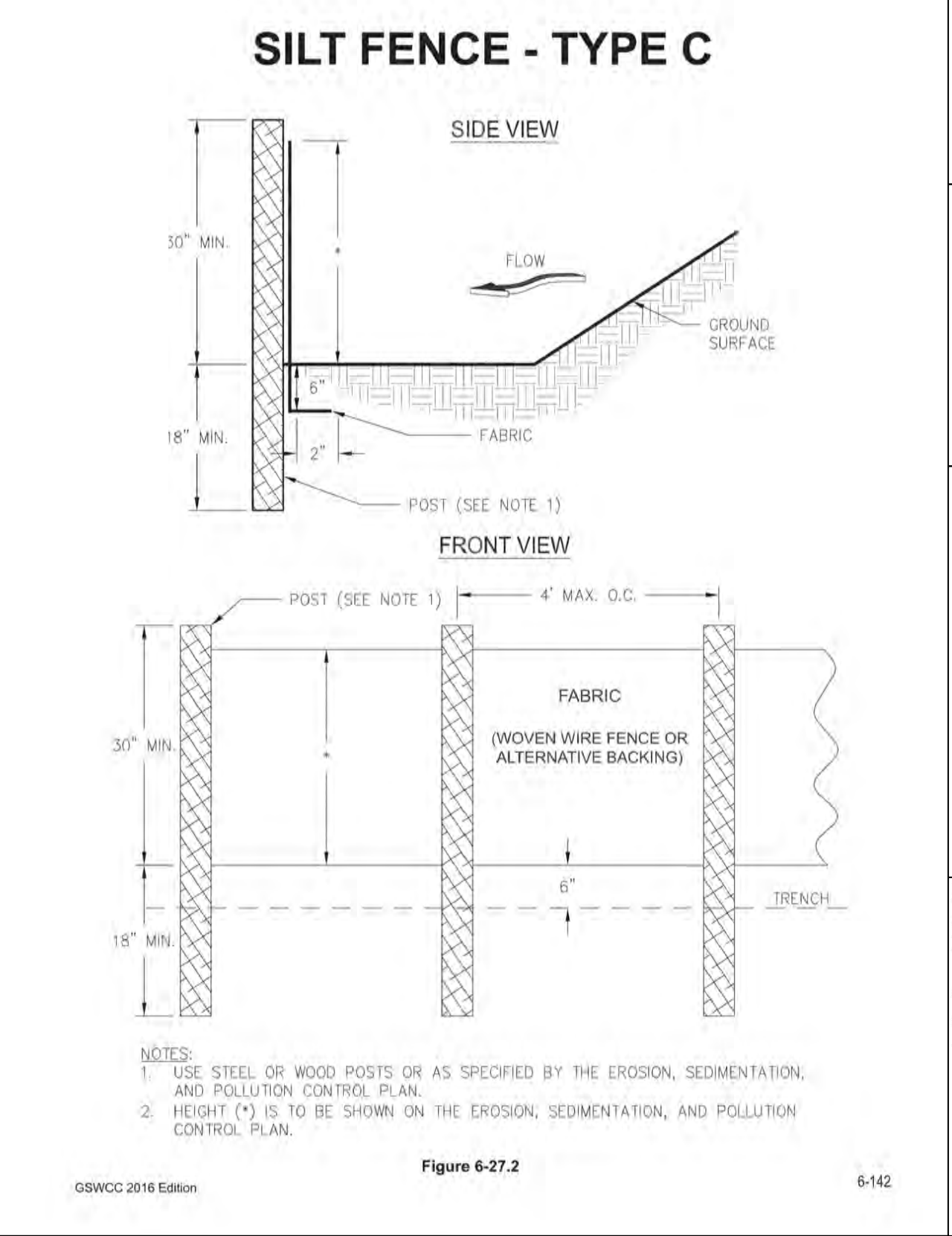
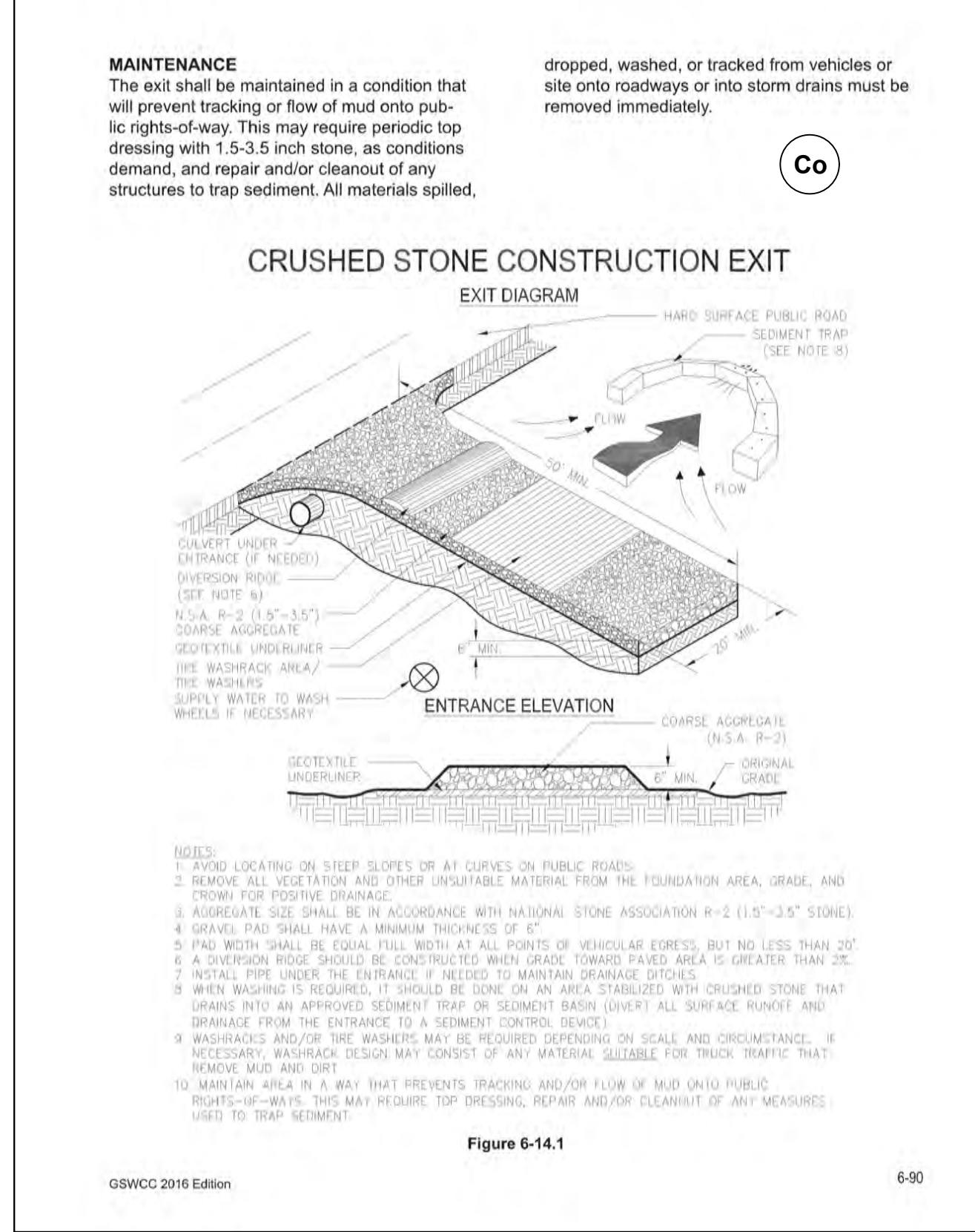
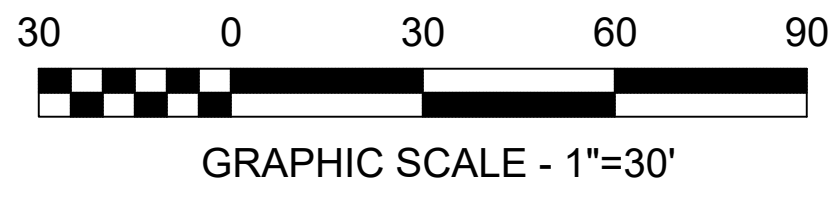
PROPERTY NOTES: ZONING: R-60 (CASE 022-1912) PROPERTY ID: 18 091 03 048 (875) & 18 091 03 006 (883)

PROPERTY OWNER: EL-AMAR ENGINEERING AND CONSTRUCTION, INC 455 SAILMAKER CIR, ALPHARETTA, GA 30022 (678) 694-1543

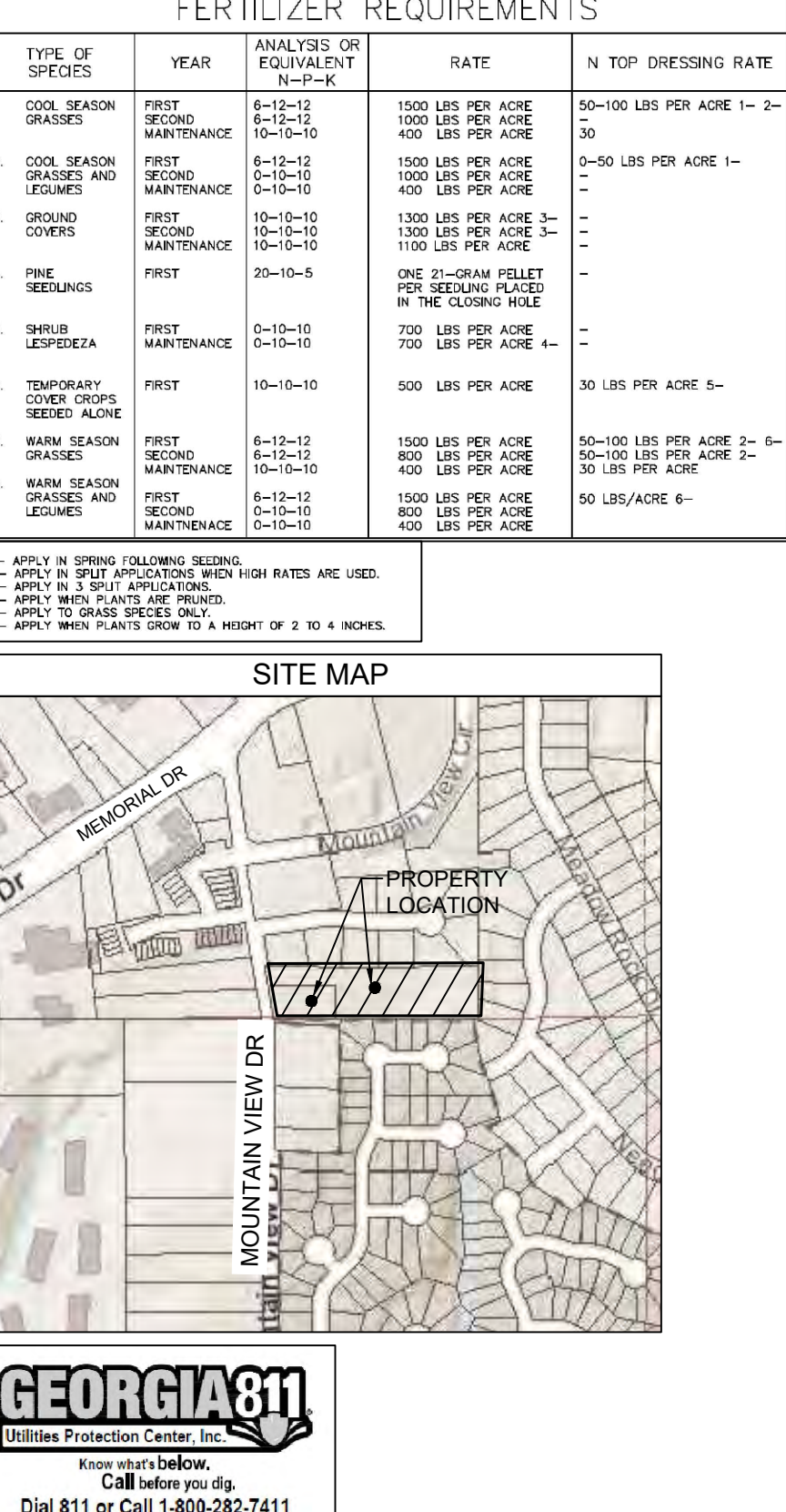
24 HOUR CONTACT: YASSIN MOGHAZY 678-694-1543 YASSINM@ELAMARCONSTRUCTION.COM

- DEMOLITION NOTES: 1. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION

LINE TABLE with columns: LINE, LENGTH, BEARING. Includes lines L1, L2, L3.



Tables for erosion control: Ds1 MULCHING ONLY, Ds2 TEMPORARY GRASSING, Ds3 PERMANENT GRASSING. Includes grassing schedules and fertilizer requirements.





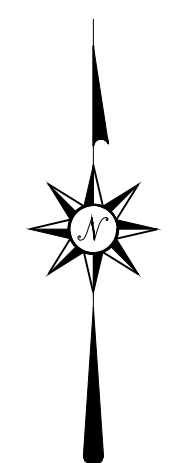
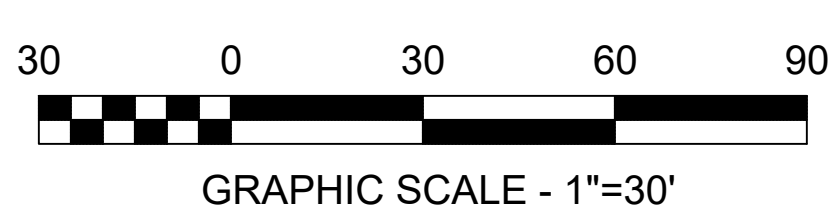
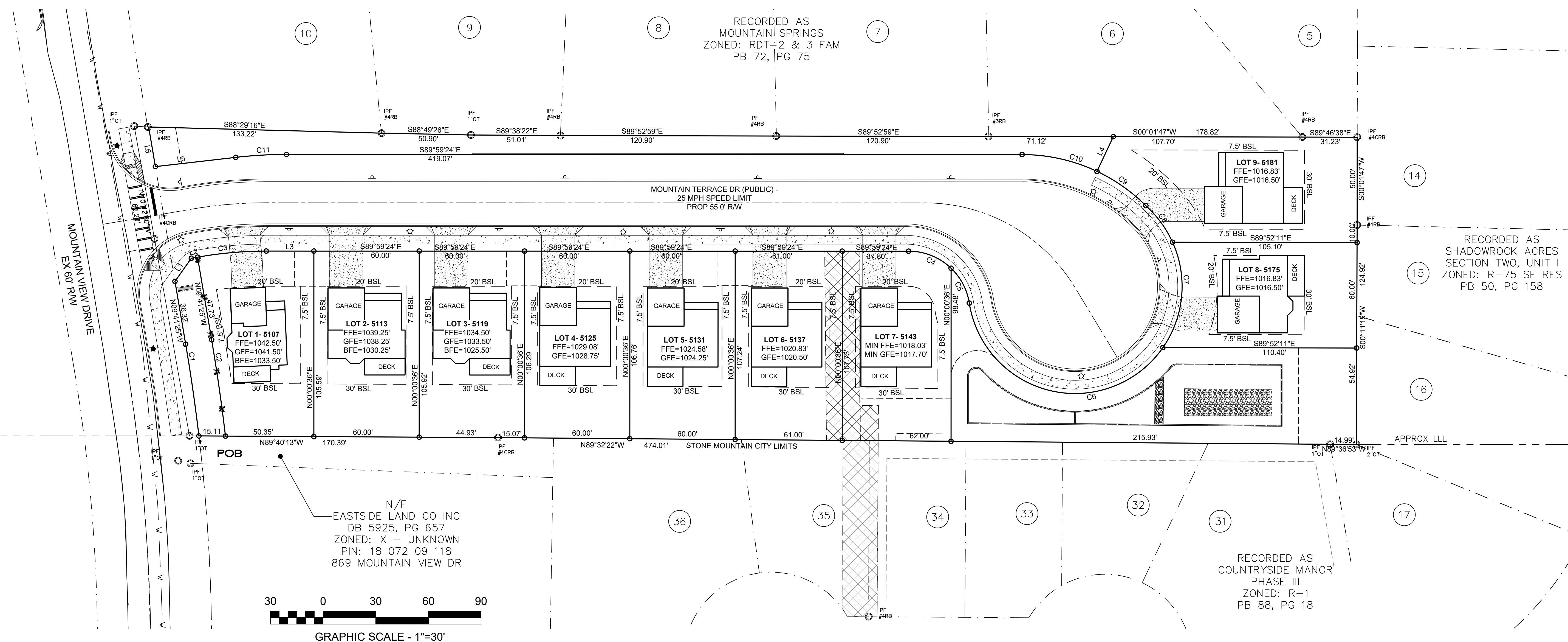
CIVIL ACE ENGINEERING
 Engineering | Planning | Traffic | Surveying
 419 E Crossville Rd, Suite 103
 Roswell, GA 30075
 (470) 448-4146

ADDRESS CHART:

| Lot Number | Address Number | Street Name | Suffix | City | State | Zip | Zip+4 |
|------------|----------------|------------------|--------|----------------|-------|-------|-------|
| HOA | 5101 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |
| 1 | 5107 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |
| 2 | 5113 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |
| 3 | 5119 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |
| 4 | 5125 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |
| 5 | 5131 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |
| 6 | 5137 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |
| 7 | 5143 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |
| 8 | 5175 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |
| 9 | 5181 | Mountain Terrace | Dr | Stone Mountain | GA | 30083 | 3549 |

| CURVE | LENGTH | RADIUS | CHORD | DIRECTION |
|-------|---------|----------|---------|-------------|
| C1 | 52.73' | 1035.59' | 52.72' | N08°13'54"W |
| C2 | 55.36' | 1125.07' | 55.36' | N08°10'51"W |
| C3 | 39.38' | 223.28' | 39.33' | N84°56'57"E |
| C4 | 26.72' | 35.00' | 26.07' | S68°07'16"E |
| C5 | 22.77' | 35.00' | 22.37' | S27°36'56"E |
| C6 | 144.97' | 61.00' | 113.18' | S77°03'45"E |
| C7 | 63.01' | 60.92' | 60.24' | N05°14'03"E |
| C8 | 25.96' | 63.55' | 25.78' | N36°12'39"W |
| C9 | 34.16' | 99.95' | 33.99' | N54°57'39"W |
| C10 | 44.06' | 99.96' | 43.71' | S77°21'52"E |
| C11 | 28.98' | 252.50' | 28.96' | S86°43'19"E |

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 16.14' | N35°18'35"E |
| L2 | 3.59' | N80°18'35"E |
| L3 | 27.04' | S89°59'24"E |
| L4 | 21.82' | N25°11'35"E |
| L5 | 46.07' | N83°26'02"E |
| L6 | 22.89' | N09°41'25"W |



GIS

**MOUNTAIN TERRACE
 SUBDIVISION**
 DEKALB COUNTY, GA

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

PROJECT NO. 23070
 DESIGNED BY: MG
 CHECKED BY: MG
 DATE: 10/21/24

SHEET
G1

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

SKETCH PLAT APPLICATION

Application Fee: \$300 plus \$10 per lot created.

Only digital copies will be accepted.

Contact plansustain@dekalbcountyga.gov for any questions regarding submittal requirements.

Project Name Mountain Terrace Subdivision

Project Address 883 Mountain View Dr, Stone Mountain, GA 30083

Parcel ID Number(s) 18-091-03-006

Proposed Use 9 Single Family: R-60

Date(s) of Pre-Application Meeting(s) 12/14/2023

Site Acreage 2.71 Acre(s) No. of Lots 9 No. of Units 9

Public Sewer (Y/N?) Y Septic (Y/N?) N

Property Owner El-Amar Engineering & Construction, Inc Phone 678-694-1543

Address 4080 McGinnis Ferry Rd, Ste 1203

City Alpharetta State GA Zip 30005

Agent Authorized to Receive All Notifications Vincent M Guobaitis

Address 419 E Crossville Rd, Suite 103 Phone 470-926-0905

City 4080 McGinnis Ferry Rd, Ste 1203 State GA Zip 30075

Developer El-Amar Engineering & Construction, Inc Phone 678-694-1543

Address 4080 McGinnis Ferry Rd, Ste 1203

City Alpharetta State GA Zip 30005

Engineer/Architect Civil Ace Engineering Phone 470-926-0905

Address 419 E Crossville Rd, Suite 103


City Roswell State GA Zip 30075

Applicant Vincent M Guobaitis

Company Name Civil Ace Engineering Phone 470-926-0905

Address 419 E Crossville Rd, Suite 103

City Roswell State GA Zip 30075

SIGNATURE OF APPLICANT  Date 02/13/2024

CERTIFICATE OF CONFORMITY

Only digital copies will be accepted.

Contact plansustain@dekalbcountyga.gov for any questions regarding submittal requirements.

I, Vincent M Guobaitis, the engineer/surveyor
for the subdivision known as Mountain Terrace,
located in Land Lot 91 of the 18 District, hereby
certify that no lots platted within the subdivision are non-conforming or will result in
any non-conforming lots.



Signature

Vincent M Guobaitis

Name (Please Print)

419 E Crossville Rd, Suite 103

Address

Roswell

City

GA

State

30075

Zip



DeKalb County
GEORGIA

Government Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

SKETCH PLAT APPLICATION AUTHORIZATION

Only digital copies will be accepted.

Contact plansustain@dekalbcountyga.gov for any questions regarding submittal requirements.

To whom it may concern:

I/We, Mohamed Elsaid of El Amar Engineering and Construction Inc

being owner(s) of the property described below or attached, hereby delegate authority to:

Vincent M Guobaitis - Civil Ace Engineering

to file an application in my/our behalf.

List of all Parcel ID Number(s): 18-091-03-006

Kajal Savaliya
Notary Public

Mohamed Elsaid [Signature]
Owner

Notary Public

Owner

Notary Public

Owner

Notary Public

Owner

Notary Public

Owner

All applications for Sketch Plats must be submitted by the owner of the affected property or the authorized agent of the owner. Such authorization shall be notarized and attached to the application.

Kajal Savaliya
2/12/2024



Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

SKETCH PLAT REVIEW CHECKLIST

Date: 02/13/2024

Project Name: Mountain Terrace Subdivision

Zoning District: R-60

Map Reference or Parcel Numbers: 1809103006

Associated Rezoning or Other Application Numbers:
022-1912

SKETCH PLAT SUBMITAL REQUIREMENTS

[14-87 - Conference with County Officials](#)

Before filing the sketch plat for a subdivision for review and approval, the applicant shall meet with the planning [staff] to discuss the procedure for approval of a subdivision plat and the requirements as to general layout of streets, reservations of open space, street improvements, drainage, sewerage, fire protection, and similar matters, as well as the availability of existing services, including schools. The planning [staff] may advise the applicant, when appropriate, to discuss the proposed subdivision with those officials who must eventually approve those aspects of the subdivision plat coming within their jurisdiction. This conference will allow early evaluation of the applicant's intentions and coordination with the comprehensive plan and the zoning ordinance. This conference will also allow county officials to discuss with the applicant the necessary regulations that will properly accomplish the project.

Please contact plansustain@dekalbcountyga.gov or awchappell@dekalbcountyga.gov with questions.

14-89 - Required information

The following **existing conditions** shall be shown on a sketch plat:

X (1) *Boundary lines*. Perimeter boundary of the overall tract, bearings and distances, referred the legal point of beginning;

X (2) *Streets on or adjacent to tract*. Name, right-of-way width, and location of streets on and adjacent to the tract, and any existing railroad, sidewalk, trail, or bike lane;

X (3) *Contour data*. Topographic contour data at no more than two-foot elevation intervals. The source of this data shall be written on the plat. Existing contour data from the DeKalb County Geographic Information System Department may be used where available;

X (4) *Tree survey*. A tree survey in compliance with [section 14-39](#) or tree sample calculations where allowed by the county arborist which may be submitted as a separate plan;

NA (5) *Historic resources*. Any building, structure, site or district identified as historic by the DeKalb County Historic Preservation Commission, the DeKalb County Historic Resources Survey, the comprehensive plan, by listing on the Georgia or National Register of Historic Places, or by listing as a National Historic Landmark.

X (6) *Natural features on tract*. Other conditions on the tract such as stream buffers, state waters, cemeteries, wetlands, existing structures, intermediate regional floodplain boundary (where available), rock outcroppings, and archeological resources;

X (7) *Soils*. Location of soils as shown on Soil Survey of DeKalb County, Georgia by the United States Department of Agriculture;

X (8) *Geographical data*. Numerical and graphic scales, north arrow, land lot and district numbers and lines, city and county names and limit lines;

NA (9) *Prior subdivisions*. Name and reference of any formerly recorded subdivision crossing any of the land shown on the plat;

X (10) *Zoning district*. Show zoning district, case number and conditions of zoning; **For zoning conditions associated with any rezoning of the subject property, include conditions and submitted site plan with the rezoning on a separate sheet.**

NA (11) *Permits*. Show any special administrative permit number, special land use permit number, or board of appeals case number and conditions;

NA (12) *Variances*. Show any variance approvals;

NA (13) *Septic tanks*. Show existing septic tank and drain field location or note absence;

NA (14) *Sewers*. Show size and location of sanitary sewer main(s) available;

NA (15) *Sewer easements*. Show a sanitary sewer easement with a minimum width of fifteen (15) feet of for all county maintained lines not within county right-of-way, unless otherwise required by water and sewer department;

DEPARTMENT OF PLANNING & SUSTAINABILITY

X (16) *Water mains*. Show size and location of water main(s) and fire hydrants;

NA (17) *Water main easements*. Show a water main easement with a minimum width of fifteen (15) feet for all county maintained lines not within right-of-way;

NA (18) *IRF*. Show on plan whether FEMA or county benchmark used to establish IRF also identify location of Benchmark;

NA (19) *Wetlands*. Provide wetlands determination from U.S. Army corps of engineers;

NA (20) *Receiving waters*. Provide distance to and name of receiving waters;

NA (21) *Certificate of conformity*. Certification by the applicant that no lots platted are non-conforming or will result in any non-conforming lots.

NA (22) *Bury pits*. Show location of any existing inert waste bury pits.

X (23) *Seal*. All sheets of plats must be sealed by a professional engineer, architect, surveyor, or landscape architect currently registered in the state of Georgia;

14-90 - Depiction of proposed physical layout

The following **proposed features** shall be shown on the sketch plat:

X (1) *Title*. The title under which the proposed subdivision is to be recorded, if known, with the name of the property owner(s) and designers and the date of the plat;

X (2) *Street names*. The name of all proposed streets.

X (3) *Rights-of-way*. Street rights-of-way and widths indicated, including any necessary right-of-way required for improvements as shown on the thoroughfare plan;

X (4) *Sidewalks*. All proposed sidewalk and bike lane locations; **Show width of proposed improvements, including landscape strips.**

X (5) *Lots*. Lot lines, lot numbers, block letters, and the total number of proposed lots within the development;

NA (6) *Dedications*. Sites, if any, to be dedicated or reserved for common areas, public parks, open space, schools, playgrounds, multi-use trails, or other public uses, together with the purpose and the conditions or limitations of these dedications, if any;

X (7) *Yards*. Minimum building setback lines as required under the yard requirements of zoning ordinance. **Setback lines shall be provided for ALL proposed lots.**

X (8) *Zoning conditions*. All conditions of zoning and proposed deed restrictions shall be recited on the sketch plat; **For zoning conditions associated with any rezoning of the subject property, include conditions and submitted site plan with the rezoning on a separate sheet.**

X (9) *Corner lots*. Show that corner lots shall have an extra width of not less than fifteen (15) feet more than required for interior lots for the zoning district within which they are located;

- NA (10) *Transitional buffers*. Show transitional buffers, if any and any required screening fencing;
- X (11) *BMPs*. Show conceptual location of storm water management and water quality BMP facilities on sketch plat;
- X (12) *IRF*. Show proposed IRF contour, spot elevation (if available) and source;
- X (13) *Covenants*. Indicate whether the proposed subdivision will be subject to private covenants and whether a homeowner's association will be established;
- X (14) *Sewer easements*. Show a sanitary sewer easement with a minimum width of fifteen (15) feet for all county maintained lines not within county right-of-way;
- NA (15) *Water main easements*. Show a water main easement with a minimum width of fifteen (15) feet for all county maintained lines not within right-of-way;
- X (16) *Fire hydrants*. Show new fire hydrant(s) and eight-inch fireline(s); and
- X (17) *Fencing*. Show any required fencing around detention ponds, if required.
- X (18) *Electrical service*. Show whether electrical service will be above ground or underground.

14-91 - Additional information to be filed with the sketch plat

- X (1) *Owner consent*. The property owner must consent in writing to the proposed development in a consent affidavit provided by the planning director with the application;
- X (2) *Taxes*. Provide statement from tax commissioner certifying that all ad valorem taxes on the property have been paid;
- X (3) *Location*. A small map of DeKalb County depicting the subdivision location within the county;
- X (4) *Vicinity map*. Vicinity map at a scale of four hundred (400) feet to one (1) inch showing the location of the tract with reference to surrounding properties, streets, municipal boundaries, and streams within five hundred (500) feet of the tract show zoning districts of adjoining property;
- X (5) *Adjacent properties*. Names of adjoining property owners and the zoning classification of adjacent properties. **Include Zoning of adjacent properties.**
- X (6) *Engineer*. Name, address and phone of developer and engineer on plat.

X **14-92 - Scale**

Sketch plats shall be prepared at an appropriate scale of not more than one hundred (100) feet to one (1) inch. Maximum sheet size shall be twenty-four (24) inches by thirty-six (36) inches.

X **14-96 (c)**

After review of the sketch plat and related comments, and where, in the judgment of the planning commission, the sketch plat conforms to all of the requirements of this chapter and Chapter 27 of this Code, all conditions of zoning, and any other applicable county regulations or law, the planning commission chairman shall approve said sketch plat. The following wording for approval shall be shown on the sketch plat:

This sketch plat has been submitted to and approved by the planning commission of DeKalb County, on this _____ day of _____.
 By: _____ (By Dir.)
 Planning Commission Chairman
 DeKalb County, Georgia

DEPARTMENT OF PLANNING & SUSTAINABILITY

PLEASE ACKNOWLEDGE THAT THE FOLLOWING ITEMS HAVE BEEN ADDRESSED: See individual code sections for details on requirements

- 14-166. - [Adequate public facilities](#)
- 14-167. - Conservation of natural resources.
- 14-181. - Generally.
- 14-182. - Arrangement where not shown on thoroughfare plan.
- 14-183. - Minor streets/minor arterials.
- 14-184. - Thoroughfare plan.
- 14-185. - Subdivisions bordering on or containing arterial streets, railroad right-of-way or limited-access highway right-of-way.
- 14-186. - Reserve strips.
- 14-187: Street intersection spacing.
- 14-188: Intersections – right angle.
- 14-189: Property line to be curved or mitered.
- 14-190: Street classification and right-of-way width.
- 14-191: Improvements, right-of-way dedication.
- 14-191 (e): Board of Commissioners waiver of right-of-way, road improvements.
- 14-192: Half streets.
- 14-193: Temporary dead-end streets.
- 14-194: Permanent dead-end street; cul-de-sac required.
 - (a) Cul-de-sac required.
 - (b) Minimum radius; provide a landscaped island.
- 14-195: Alleys.
- 14-196: Street grades.
- 14-197: Minimal horizontal curve radius.
- 14-198: Minimum sight distance.
- 14-199: Design of intersections.
- 14-200: Access management.
- 14-200 (e): Number of access points.
- 14-200 (j): Deceleration

- X 14-201: Planting Strips
- X 14-217: Permission for easement dedication required.
- X 14-218: Floodplain easements – on-site.
- X 14-219: Drainage easements – off-site.
- X 14-220: Pedestrian and bicycle easements and paths.
- X 14-236: Length, width, and shape of blocks.
- X 14-237: Desirable maximum and minimum block length.
- X 14-238: Mid-block easements and pedestrian paths.
- X 14-256: Lot compliance with zoning ordinance.
- X 14-257: Corner lots.
- X 14-258: Frontage.
- X 14-259: Through lots and reverse frontage lots prohibited.
- X 14-260: Side lot lines
- X 14-275: Open space required; purposes.
- X 14-276: Restrictions on open space.
- X 14-277: Dedication of parks, open space, recreation areas, and conservation easements.
- X 14-286: Reservation of sites for civic use.
- X 14-351(e): Dry sewer waiver.
- X 14-356: Comments, recommendations to be marked on preliminary plat.
- X 14-379(d): Contour intervals.
- X 14-383: Sidewalks and bicycle lanes.
- X 14-384: Parking on public right-of-way.
- X 14-385: Underground utilities.
- X 14-386: Street lights.
- X 14-396: Septic tank data.
- X 14-397: Contour intervals.
- X 14-398: Soil analysis.
- X 14-399: Analysis.
- X 14-404: Board of Health recommendations.
- X 14-405: Impoundment permit.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ADDITIONAL REQUIRED PLAT REVIEW ITEMS

- Show developer's name, address, and phone number.
- Show number of lots / units in development.
- Who will provide water service?
- Who will provide sewer service?
- Add note: Recorded off-site sewer easement required prior to issuance of development permit.
- Add note: A 75' tributary buffer will be maintained on all state waters that are not approved for a buffer encroachment variance by DeKalb County or GA. E.P.D.
- Add note: Sketch plat approval does not constitute approval of the storm drainage or sanitary sewer systems. No construction shall begin until construction plans are approved and a development permit is obtained.
- Add note: The owner of the property is responsible for compliance with the Corps of Engineers requirements regarding wetlands

AN ORDINANCE TO AMEND THE DEKALB COUNTY ZONING MAP

AN ORDINANCE TO REZONE PROPERTY FROM R-75 (RESIDENTIAL MEDIUM LOT-75) ZONING DISTRICT TO R-60 (RESIDENTIAL SMALL LOT-60) ZONING DISTRICT TO CONSTRUCT SINGLE-FAMILY DETACHED HOMES. THE PROPERTY IS LOCATED ON THE EAST SIDE OF MOUNTAIN VIEW DRIVE, APPROXIMATELY 165 FEET SOUTH OF MOUNTAIN SPRINGS WAY, AT 875 AND 883 MOUNTAIN VIEW DRIVE IN STONE MOUNTAIN, GEORGIA. THE PROPERTY HAS APPROXIMATELY 175 FEET OF FRONTAGE ALONG MOUNTAIN VIEW DRIVE AND CONTAINS 2.71 ACRES.

APPLICANT: El Amar Engineering & Construction c/o Battle Law, P.C.

OWNER: El Amar Engineering & Construction

COMMISSION DISTRICTS: 4 & 7

WHEREAS, El Amar Engineering & Construction has filed an application to amend the DeKalb County Zoning Ordinance to rezone property located at 883 Mountain View Drive, Stone Mountain, Georgia 30083, and more particularly described as follows:

All that tract or parcel of land and being in **District 18, Land Lot 091, Block 03, Parcels 006 & 048** of DeKalb County, Georgia, containing 2.71 acres, and

WHEREAS, it appears to the Board of Commissioners that the application meets all of the criteria set forth in the DeKalb County Code, Chapter 27, Article VII, Division 3, Section 27-7.3 for amending the DeKalb County Zoning Ordinance for the subject property from R-75 Zoning District to R-60 Zoning District.

THE BOARD OF COMMISSIONERS OF DEKALB COUNTY, GEORGIA, HEREBY ORDAINS:

Part 1: Pursuant to the authority of the DeKalb County Board of Commissioners to exercise powers of zoning, set forth in Section 27, Article 1.1 and 7.3 of the DeKalb County Zoning Ordinance, an amendment to rezone property R-75 (Residential Medium Lot-75) zoning district to R-60 (Residential Small Lot-60) zoning district to construct single-family detached homes. The property is located on the east side of Mountain View Drive, approximately 165 feet south of Mountain Springs Way, at 875 and 883 Mountain View Drive in Stone Mountain, Georgia. The property has approximately 175 feet of frontage along Mountain View Drive, contains 2.71 acres and is hereby approved, with conditions.

Part 2: That this amendment is approved conditionally, and under the provisions of Section 27-7.3.9 of the DeKalb County Zoning Ordinance, as identified by the use of the term "Conditional" after the district designation in Part 1 above, the development and use of the above-described property shall be permitted only in compliance with the conditions and/or site plan as attached to this ordinance.

Part 3: That all ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

Part 4: This ordinance, hereby approved, does not authorize the violation of any Zoning District Regulations. District regulation variances can be approved in accordance with Chapter 27, Article VII, Division 5.

ADOPTED by the DeKalb County Board of Commissioners this _____ day of

_____ 2022.

Robert J. Patrick
Presiding Officer
Board of Commissioners
DeKalb County, Georgia

ATTEST:

Barbara Sanders-Norwood, CCC
Clerk to the Board of Commissioners and
Chief Executive Officer
DeKalb County, Georgia

REQUESTED BY APPLICANT:

Application of El Amar Engineering & Construction c/o Battle Law, P.C. to rezone properties from R-75 (Residential Medium Lot-75) zoning district to R-60 (Residential Small Lot-60) zoning district to construct single-family detached homes.

PLANNING AND SUSTAINABILITY DEPARTMENT RECOMMENDATION:

Approval with Conditions. The request for a single-family, zoning district (R-60) and single-family, detached residential uses appears to be consistent with the policies and strategies of the *2035 Comprehensive Plan* to protect stable neighborhoods from incompatible development that could alter established single-family residential development patterns and density (*SUB Character Area Residential Protection*). The proposed single-family, detached residential land uses are consistent with adjacent and surrounding single-family residential uses in the vicinity. The proposed 6,000 square foot lots are consistent with the six abutting single-family lots within the Countryside Manor Subdivision to the south (in the City of Stone Mountain) with an average lot size of 6,243 square feet. While no transitional buffer is required, the plan notes that a 5-foot-wide landscape buffer will be provided along the perimeter of the project site which should enhance compatibility with surrounding properties. Therefore, it is the recommendation of the Planning & Sustainability Department that the application be "Approved, with Staff's recommended conditions". The approval of this rezoning application by the Board of Commissioners shall have no bearing on the requirements for other regulatory approvals under the authority of the Zoning Board of Appeals or other entity whose decision should be based on the merits of the application under review by such entity.

1. The subject property shall be developed for a maximum of 10 single-family, detached fee-simple lots.
2. Locations of proposed lots and open space shall be generally consistent with the locations shown on the plan dated "01/06/22" and titled "*El Amar Engineering & Construction*".
3. Any fences or walls proposed along Mountain View Drive shall comply with the wall and fence regulations of the Zoning Ordinance.
4. Building materials and form shall comply with Article 5.7 of the Zoning Ordinance.
5. Mountain View Drive is classified as a collector street. The following minimum infrastructure requirements must be met: Right of way dedication of 35 feet from centerline OR such that all public infrastructure is within county right of way, whichever greater, an 11 foot travel lane with curb and gutter, a 6 foot sidewalk (Zoning Code) with a 4 foot bike lane (Land Development Code) OR a 10 foot shared multiuse path (preferred) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). New local public streets have the following minimum requirements: Right of way dedication of 55 feet, 24 feet of pavement with curb and gutter, a 5 foot sidewalk (Zoning Code) located 6 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Please see separation of access points Land Development Code Section 14-200 (6) which applies to both sides of the street.
6. The development shall have a mandatory property owners association, in accordance with Article 5.7.6.c.11 of the Zoning Ordinance. The applicant must provide evidence of a legal mechanism under which all land to be held in common and used for greenspace purposes within the development and all landscaping and street trees along Mountain View Road and the proposed internal residential street (outside of the right-of-way) shall be protected in perpetuity. Existing trees located within designated open space areas that are not proposed for trails, buildings, structures, or parking lots or those likely to be impacted by necessary grading shall be preserved.

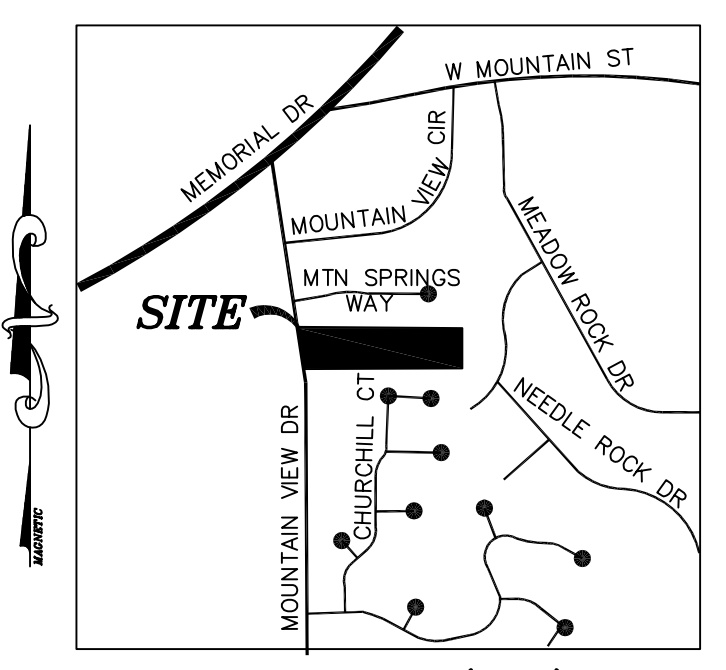
PLANNING COMMISSION RECOMMENDATION:

Approval 8-0-0. LaSonya Osler moved, Jana Johnson seconded for approval, per Staff recommendation.

BOARD of COMMISSIONERS FINAL ACTION:

October 4, 2022, Approved with Staff's recommended six (6) conditions.

LAND LOT 91
18th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: R-75
PROPOSED ZONING R-60
PROP. BUILDING HEIGHTS 25±'
PROP. LOT COVERAGE 34%



TOTAL AREA:
118,122 SQ FT
2.71 ACRES
TOTAL DENSITY 3.69 UNITS/ACRE
PARKING PROVIDED 23 SPACES
OPEN SPACE PROVIDED 0.39 ACRES

LANDSCAPE NOTES:
THERE IS TO BE A VOLUNTARY 5' ENHANCED LANDSCAPE STRIP PLANTED AROUND THE ENTIRE PERIMETER OF THE PROJECT TO HELP PROTECT THE ADJACENT LOTS.
PLEASE NOTE: THAT THERE IS NO LANDSCAPE BUFFERS REQUIRED ON THIS PROJECT AS THE ZONING IS SINGLE FAMILY RESIDENTIAL TO SINGLE FAMILY RESIDENTIAL.
LANDSCAPE PLAN: A DETAILED LANDSCAPE PLAN WILL BE INCLUDED WITH THE CONSTRUCTION PLANS BEFORE A LAND DISTURBANCE PERMIT IS TO BE ISSUED.

CONCEPT SITE PLAN (Z-22-1245928)

COUNTY - PROP ZONING R-60

| |
|---|
| CURRENT ZONING: R-75 REGULATION SEC. 27-186 FRONT SETBACK= 30' SIDE SETBACK= 7.5' MAJOR SIDE SETBACK= N/A REAR SETBACK= 40' MINIMUM LOT SIZE: 10,000 sq.ft. MINIMUM FRONTAGE: 75 ft. MAXIMUM LOT COVERAGE=35% MAXIMUM FLOOR AREA RATIO (FAR) 1600 sq.ft. |
|---|

| |
|--|
| CURRENT ZONING: R-75 REGULATION SEC. 27-186 FRONT SETBACK= 20' SIDE SETBACK= 7.5' MAJOR SIDE SETBACK= N/A REAR SETBACK= 30' MINIMUM LOT SIZE: 6,000 sq.ft. MINIMUM FRONTAGE: CUL-DE-SAC: 35 ft. MINIMUM FRONTAGE MAXIMUM LOT COVERAGE=35% MAXIMUM FLOOR AREA RATIO (FAR) 1600 sq.ft. |
|--|

LEGEND:

| | | | |
|------|-------------------------------|--------|--------------------------|
| IPS | IRON PIN SET | BSL | BUILDING SETBACK LINE |
| IPF | IRON PIN FOUND | HC | HAND-UP |
| CT | OPEN TOP PIN | CMF | CONCRETE MONUMENT FOUND |
| CRB | RE-BAR | SMH | OVERHEAD UTILITY LINE(S) |
| CRB | REINFORCING BAR | MHT | MAN HOLE TELEPHONE |
| CL | CAPPED RE-BAR | DWCB | CATCH BASIN |
| R/W | CENTERLINE | JB | JUNCTION BOX |
| LLL | RIGHT-OF-WAY | DI | DROP INLET |
| L | LAND LOT LINE | HW | HEAD WALL |
| R | LINE | CMP | CORRUGATED METAL PIPE |
| C | RADIUS | OPP | CORRUGATED PLASTIC PIPE |
| CONC | CONCRETE | RCP | REINFORCED CONCRETE PIPE |
| C | CURVE | SSE | SANITARY SEWER EASEMENT |
| PP | POWER POLE | FH | FIRE HYDRANT |
| GV | GAS VALVE | DE | DRAINAGE EASEMENT |
| GM | GAS METER | WV | WATER VALVE |
| LP | LAMP POLE | PIV | POST INDICATOR VALVE |
| SS | SANITARY SEWER | WM | WATER METER |
| FC | FENCE CORNER | CO C/O | SANITARY SEWER CLEANOUT |
| AE | ACCESS EASEMENT | POB | POINT OF BEGINNING |
| PROP | PROPOSED | POC | POINT OF COMMENCEMENT |
| AC | AIR-CONDITIONER | NTS | NOT TO SCALE |
| PB | POWER BOX | SWCB | SINGLE WING CATCH BASIN |
| CATV | CABLE TELEVISION JUNCTION BOX | UE | UTILITY EASEMENT |
| TB | TELEPHONE JUNCTION BOX | PM | POWER METER |
| APP | ABANDONED POWER POLE | CLF | CHAIN-LINK FENCE |
| | | CTW | CROSS-TIE WALL |
| | | HCS | HAND-UP CAP SIGN |

SURVEY NOTES:

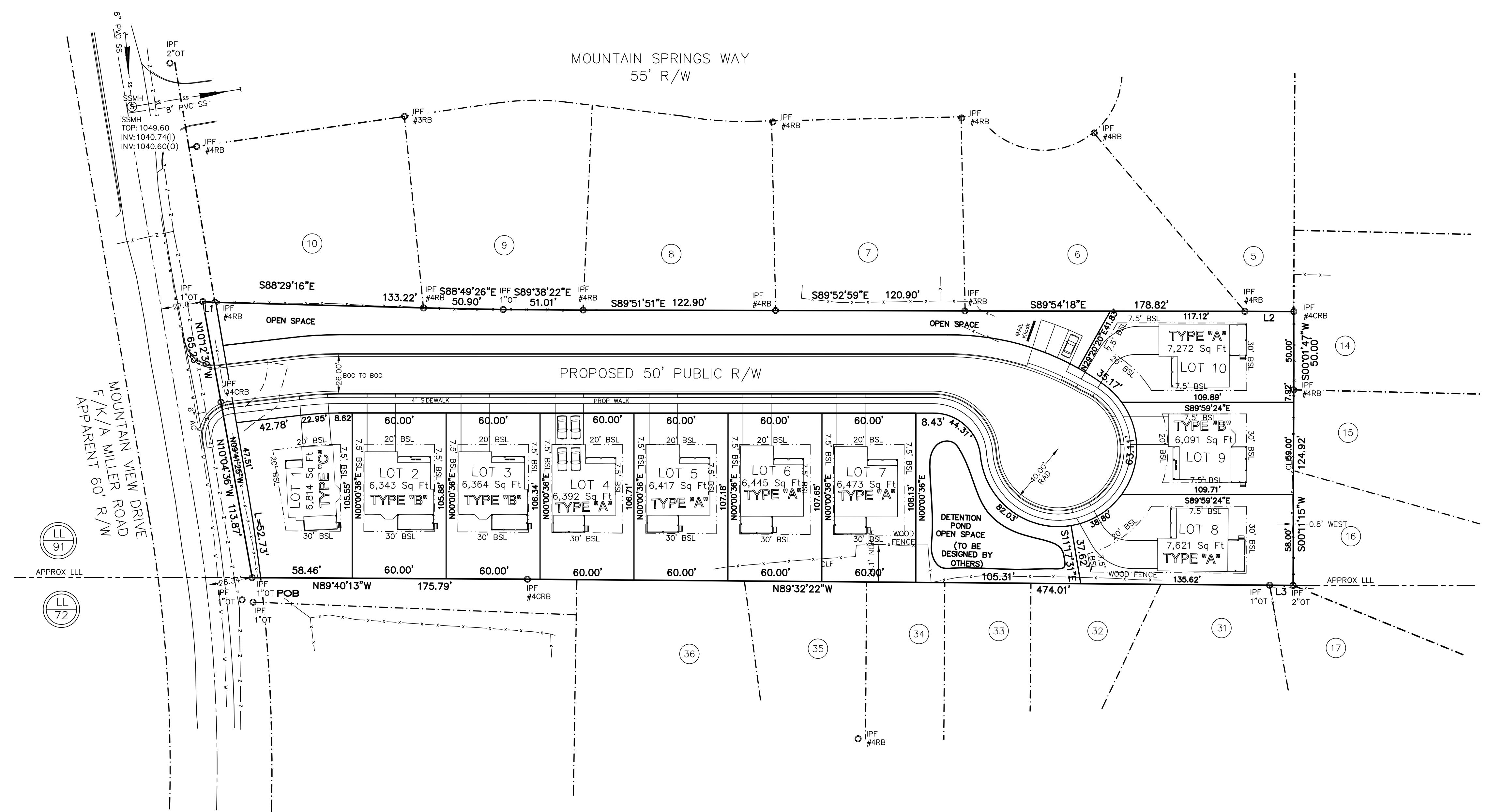
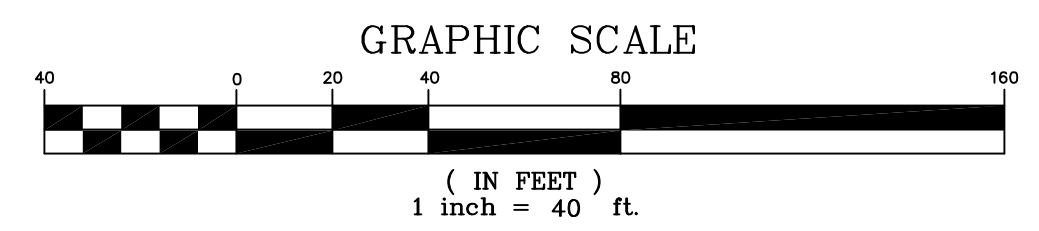
- HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83)
- VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- ALL DEED BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURT'S OFFICE OF DEKALB COUNTY, GEORGIA. SUBJECT AND ADJACENT PROPERTY OWNER'S DEED REFERENCES ACCESSED VIA SUPERIOR COURT RECORD SOURCES AND APPLICABLE MUNICIPALITY GIS REFERENCES AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
- STRUCTURES VISIBLE WITHIN THE SUBJECT PROPERTY BOUNDARIES ON THE DATE OF SURVEY ARE SHOWN HEREON.
- LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
- DISTANCES SHOWN ON THE PLAN ARE HORIZONTAL GROUND DISTANCES.
- THIS PROPERTY MAY CONTAIN WETLANDS. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS ARE SUBJECT TO PENALTY OF LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
- THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP No. 13089C0091K; EFFECTIVE DATE: 12-09-2016.
- THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- DEED/PLAT DISCLAIMERS: THIS PLAT MAY NOT CONFORM TO THE BEARINGS AND DISTANCES RECORDED ON THE DEED AND/OR PLAT OF RECORD DUE TO SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO, THE NATURE OF THE ADVANCES IN SURVEYING TECHNOLOGY SUCH AS ELECTRONIC MEASURING DEVICES, MORE PRECISE ANGULAR MEASUREMENTS AND THE ADVENT OF SATELLITE SURVEYING TECHNIQUES USING "GPS" AND "GLONASS" SATELLITE CONSTELLATIONS. SURVEYS USING SATELLITE OBSERVATIONS ARE CORRECTED TO THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM AND USE "GEODETTIC" OR "GRID" NORTH AS OPPOSED TO "MAGNETIC" NORTH.
- INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR EFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
- RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
- ALL PROPERTY CORNERS FOR LOTS TO BE SET IN FIELD AS 1/2" (#4) REBAR WITH PINK CAPS MARKED "FLS CORNER LSF 631" UNLESS OTHERWISE STATED.
- THIS SURVEY COMPLES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
- BOUNDARY FIELD WORK PERFORMED 01-26-2022 BY FRONTLINE SURVEYING & MAPPING, INC. TOPOGRAPHIC INFORMATION IS GROUND RUN, DATA GATHERED BY FRONTLINE SURVEYING & MAPPING, INC. ON 01-26-2022.
- EQUIPMENT USED: GEOMAX ROBOTIC ELECTRONIC TOTAL STATION & TRIMBLE S800 GPS RECEIVER UTILIZING CHAMPION GPS/EGPS NETWORK.
- ANGULAR ERROR: 3 SECONDS PER ANGLE.
- RAW FIELD PRECISION: 1:12,383.
- ADJUSTED BY LEAST SQUARES.
- PLAT CLOSURE: 1:259,935.

ENCROACHMENT STATEMENT:
THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PREMISES, AND NO ENCROACHMENTS ONTO SAID PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES EXCEPT AS NOTED BELOW.

- POSSIBLE ENCROACHMENTS INCLUDE:
- SHED IN THE NORTHERLY PORTION OF THE PROPERTY.
 - CHAIN-LINK FENCE ALONG THE EASTERLY SECTION OF THE PROPERTY.
 - WOODEN AND CHAIN-LINK FENCE ALONG THE SOUTHERLY SECTION OF THE PROPERTY.

LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 7.78 | S86°27'00"E |
| L2 | 31.23 | S89°46'38"E |
| L3 | 14.99 | N89°36'53"W |



3595 Canton Road
Suite 312, PMB 272
Marietta, GA 30066
FRONTLINE SURVEYING & MAPPING, INC.
Ph: (678) 355-9905
Fax: (678) 355-9805
www.frontlinesurveying.com

BOUNDARY RETRACEMENT SURVEY FOR: **EL-AMAR ENGINEERING & CONSTRUCTION, INC.**

DATE: 01/26/2022
SCALE: 1" = 40'

SECTION: 18th DISTRICT
BLOCK: 91
LOT: 91

REVISION: _____
ADD F.M.L. ROAD NAME
CLIENT COMMENTS

DATE: 05/20/22
BY: TLA
TEP DB-26-22

PHASE: PLATTING MAP
I HAVE THIS DATE EXAMINED THE "PLATTING MAP" AND FOUND THAT BY GRAPHIC PLOTTING ONLY THE PARCEL (S) IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.
MAP ID: 13089C0091K
EFFECTIVE DATE: 12/08/16

FOR THE FIRM FRONTLINE SURVEYING & MAPPING, INC. (LSP#000631)

PROFESSIONAL SURVEYOR
No. 2402
EDWARD POLYAKOV

FOR THE FIRM FRONTLINE SURVEYING & MAPPING, INC. (LSP#000631)

Z:\dwg\70000 - 79999\76782.dwg, 6/28/2022 9:11:34 AM, TEP2



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TYPE A

PROJECT DATA

FIRST FLOOR HEATED AREA: 1122 SQF.
 2ND FLOOR HEATED AREA: 1062 SQF.
 GARAGE AREA: 455 (±) SQF.
 REAR OPEN PATIO: 233 (±) SQF.
 FRONT COVERED PATIO: 78 (±) SQF.

GENERAL NOTES:

1. REFER TO ALL OTHER SHEETS FOR ADDITIONAL INFORMATION.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS ON-SITE AS NOTED ON THE PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. AN "*" INDICATES AN OPTIONAL ITEM OR CONDITION AND SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION / INSTALLATION.
4. ALL FOOTING AND SLAB ELEVATIONS WILL BE DETERMINED BASED ON THE ORIGINAL TOPOGRAPHIC SURVEY. THE CONTRACTOR SHALL ADJUST AS REQUIRED TO SUIT FINAL SITE GRADING CONDITIONS.
5. ALL LUMBER IN CONTACT WITH CMU/CONCRETE SHALL BE PRESSURE TREATED (P.T.) WITH CCA PRESERVATIVES.

GENERAL NOTES:

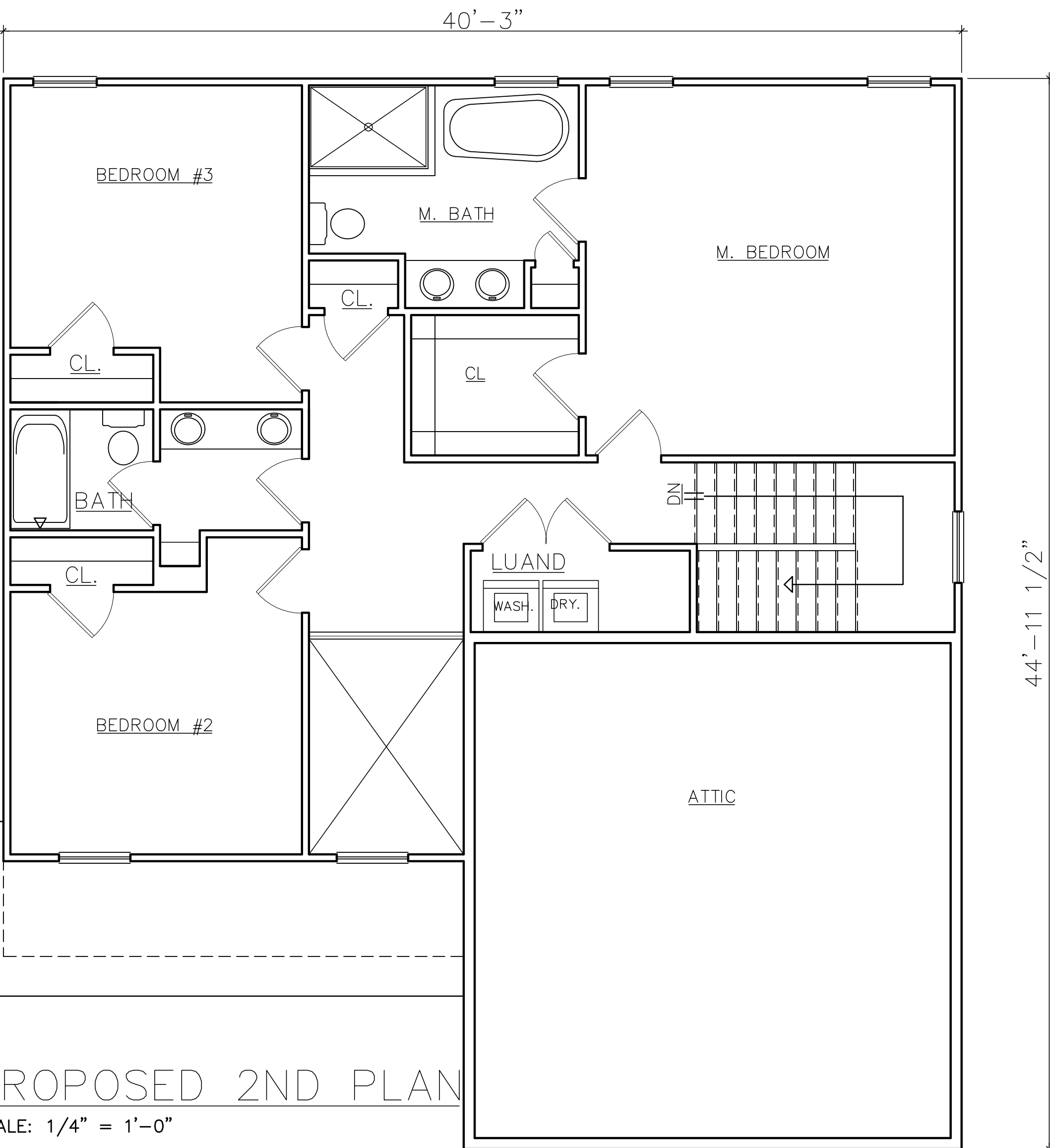
- 1) ALL INFORMATION SHALL BE IN CONFORMANCE WITH THE CURRENT ZONING ORDINANCE REQUIREMENTS UNLESS NOTED OTHERWISE.
- 2) THE OWNER SHALL APPROVE/CONFIRM THE SIZE AND LOCATION OF THE BUILDING, WALKWAYS, DRIVEWAYS AND LANDSCAPING PRIOR TO CONSTRUCTION.
- 3) SURVEY INFORMATION WAS TAKEN FROM PLANS PREPARED BY FRONTLINES SUREVYING DATED 12/27/21



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 PHONE: 609 665 2374
 FAX: 678 762 0575

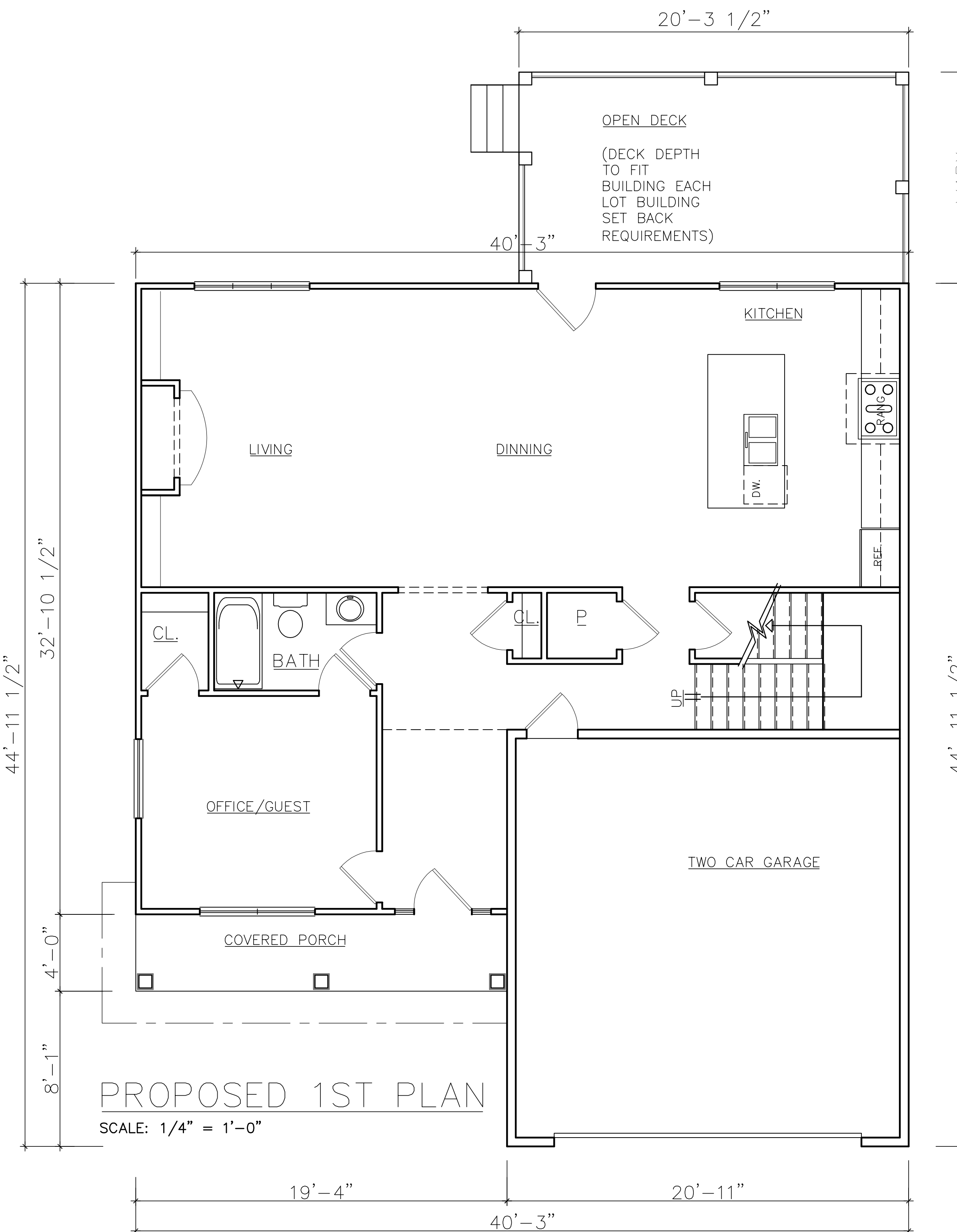
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PROPOSED 2ND PLAN

SCALE: 1/4" = 1'-0"



PROPOSED 1ST PLAN

SCALE: 1/4" = 1'-0"

MOUNTAIN VIEW SUBDIVISION

883 MOUNTAIN VIEW DR.
 STONE MOUNTAIN,
 GA 30083

PRINTED

REVISIONS

PROJECT No. 21021

Drawn By AA

Checked By AM

Drawing Title

DATE 09/12/2021

TYPE "A"
 FLOOR PLAN

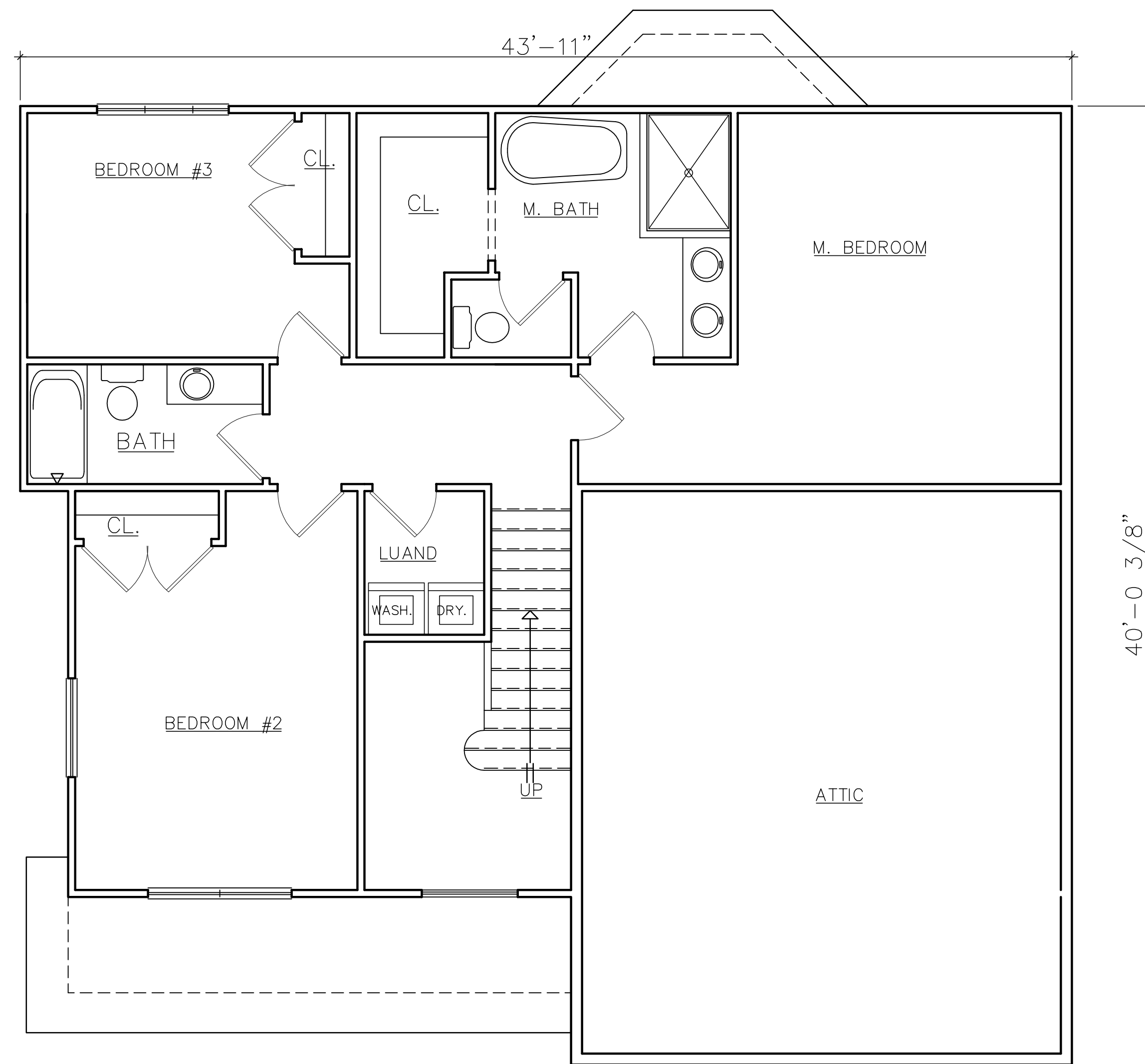
Sheet No.

NOT ISSUE FOR CONSTRUCTION



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED 2ND PLAN

SCALE: 1/4" = 1'-0"

TYPE B

PROJECT DATA

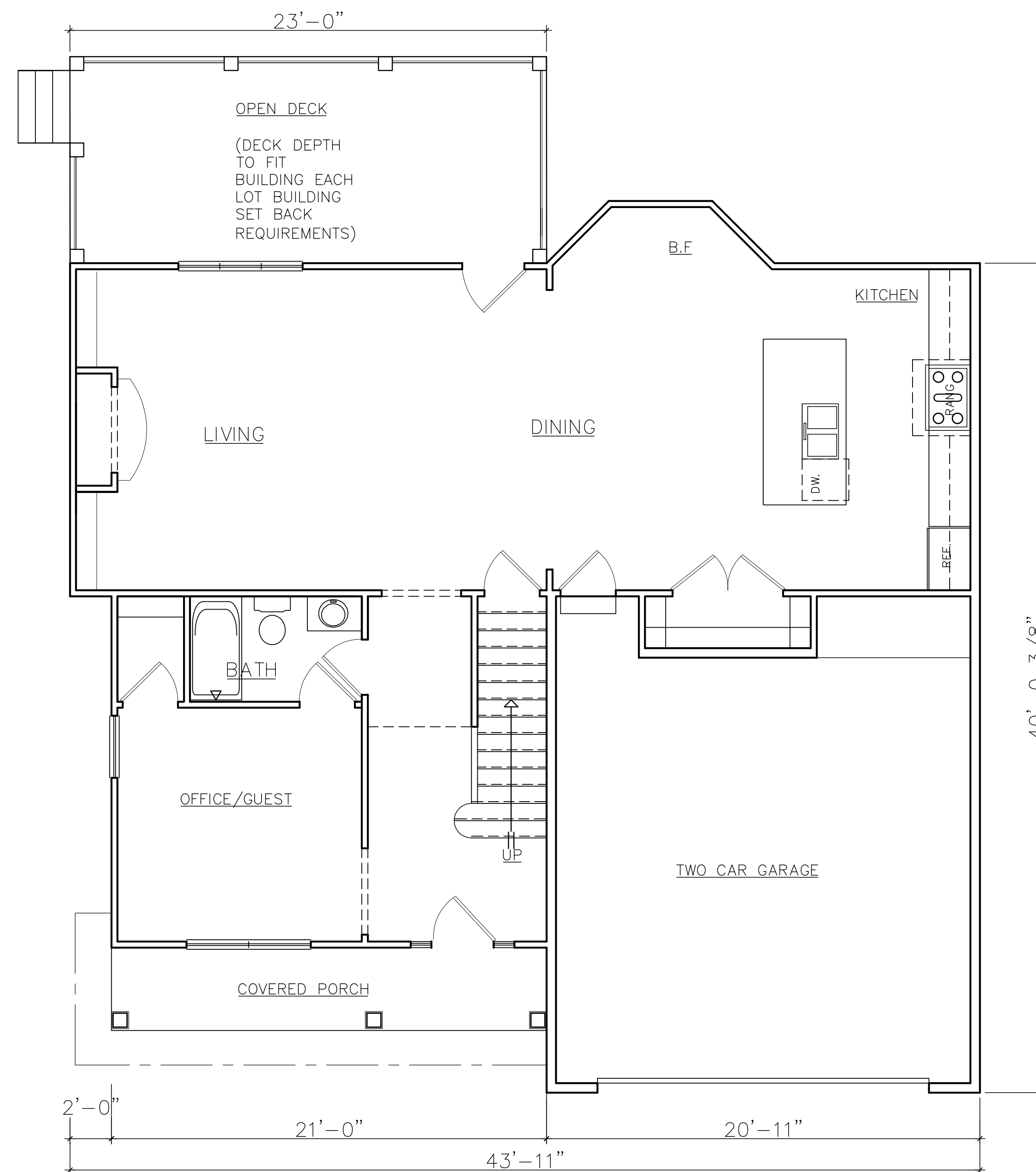
FIRST FLOOR HEATED AREA: 1120 SQF.
 2ND FLOOR HEATED AREA: 950 SQF.
 GARAGE AREA: 467 (±) SQF.
 REAR OPEN PATIO: 230 (±) SQF.
 FRONT COVERED PATIO: 84 (±) SQF.

GENERAL NOTES:

1. REFER TO ALL OTHER SHEETS FOR ADDITIONAL INFORMATION.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS ON-SITE AS NOTED ON THE PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. AN "*" INDICATES AN OPTIONAL ITEM OR CONDITION AND SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION / INSTALLATION.
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PROPOSED 1ST PLAN

SCALE: 1/4" = 1'-0"



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MOUNTAIN VIEW SUBDIVISION

883 MOUNTAIN VIEW DR,
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 GA 30083

PRINTED

REVISIONS

PROJECT No. 21021

Drawn By AA

Checked By AM

Drawing Title

DATE 09/12/2021

TYPE "B" FLOOR PLAN

Sheet No.

NOT ISSUE FOR CONSTRUCTION



TYPE C

| PROJECT DATA | |
|--------------------------|---------------|
| FIRST FLOOR HEATED AREA: | 830 SQ.F. |
| 2ND FLOOR HEATED AREA: | 812 SQ.F. |
| GARAGE AREA: | 423 (±) SQ.F. |
| REAR OPEN PATIO: | 210 (±) SQ.F. |
| FRONT COVERED PATIO: | 54 (±) SQ.F. |

GENERAL NOTES:

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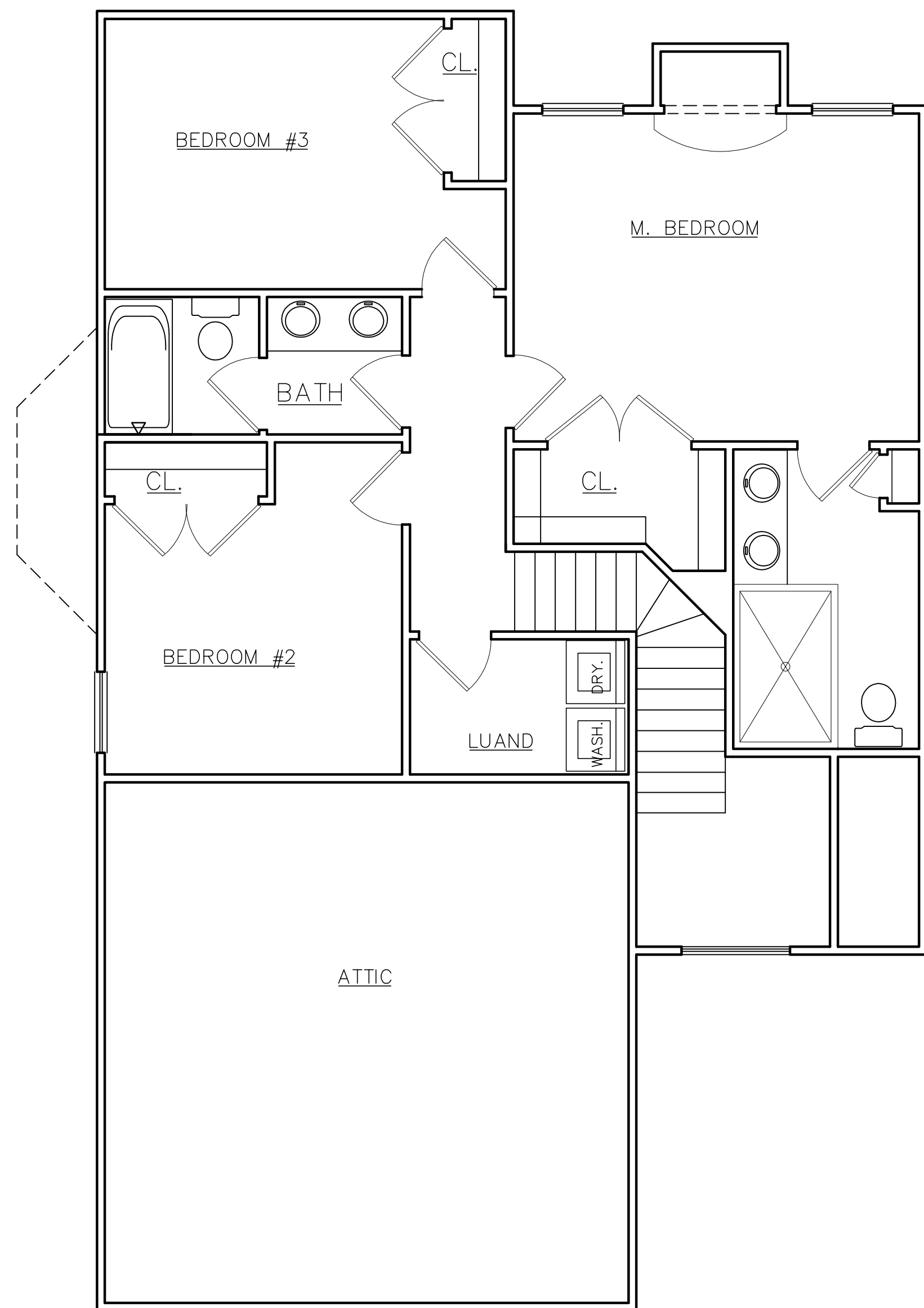
Drawing Title

DATE 09/12/2021

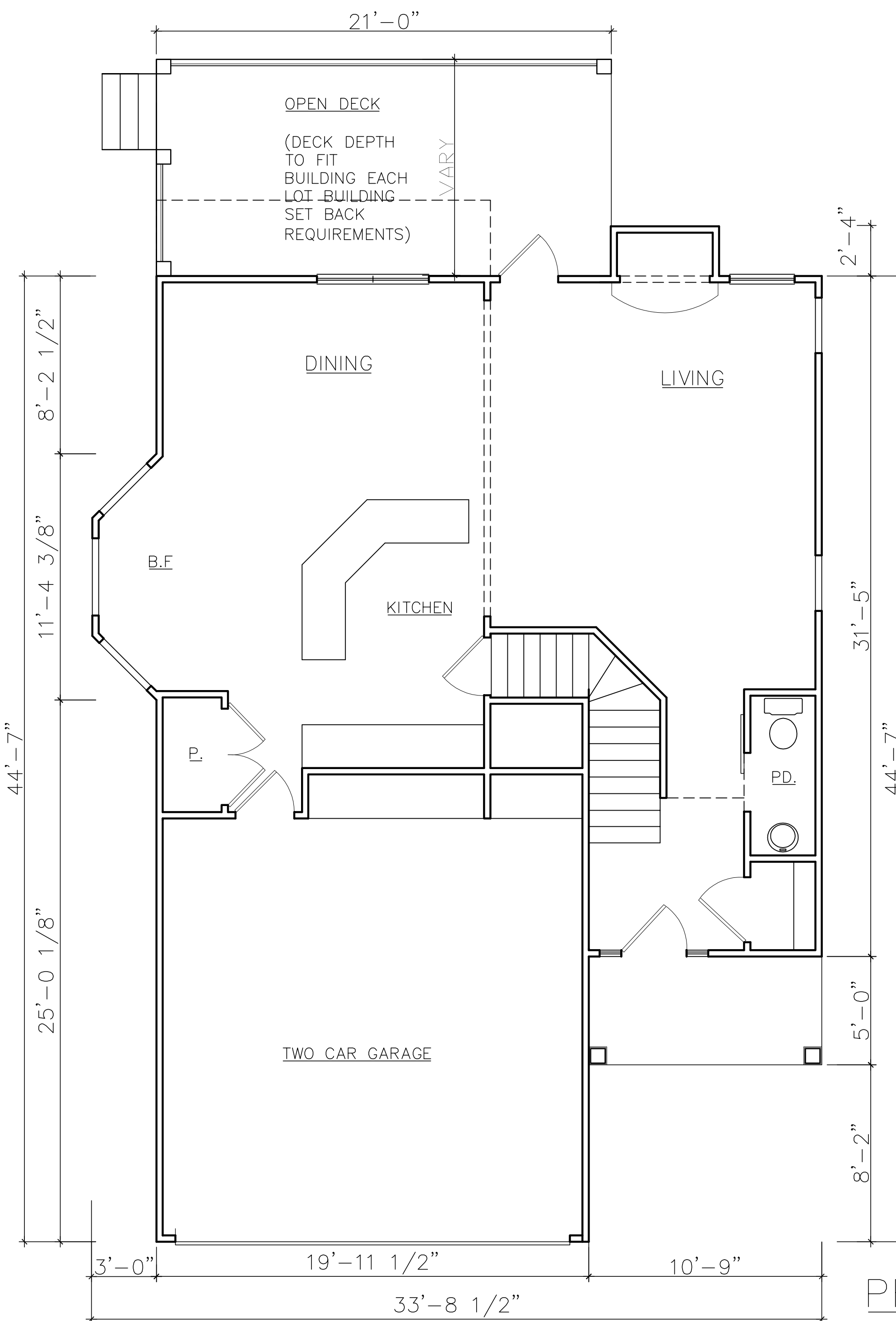
TYPE "C" FLOOR PLAN

Sheet No.

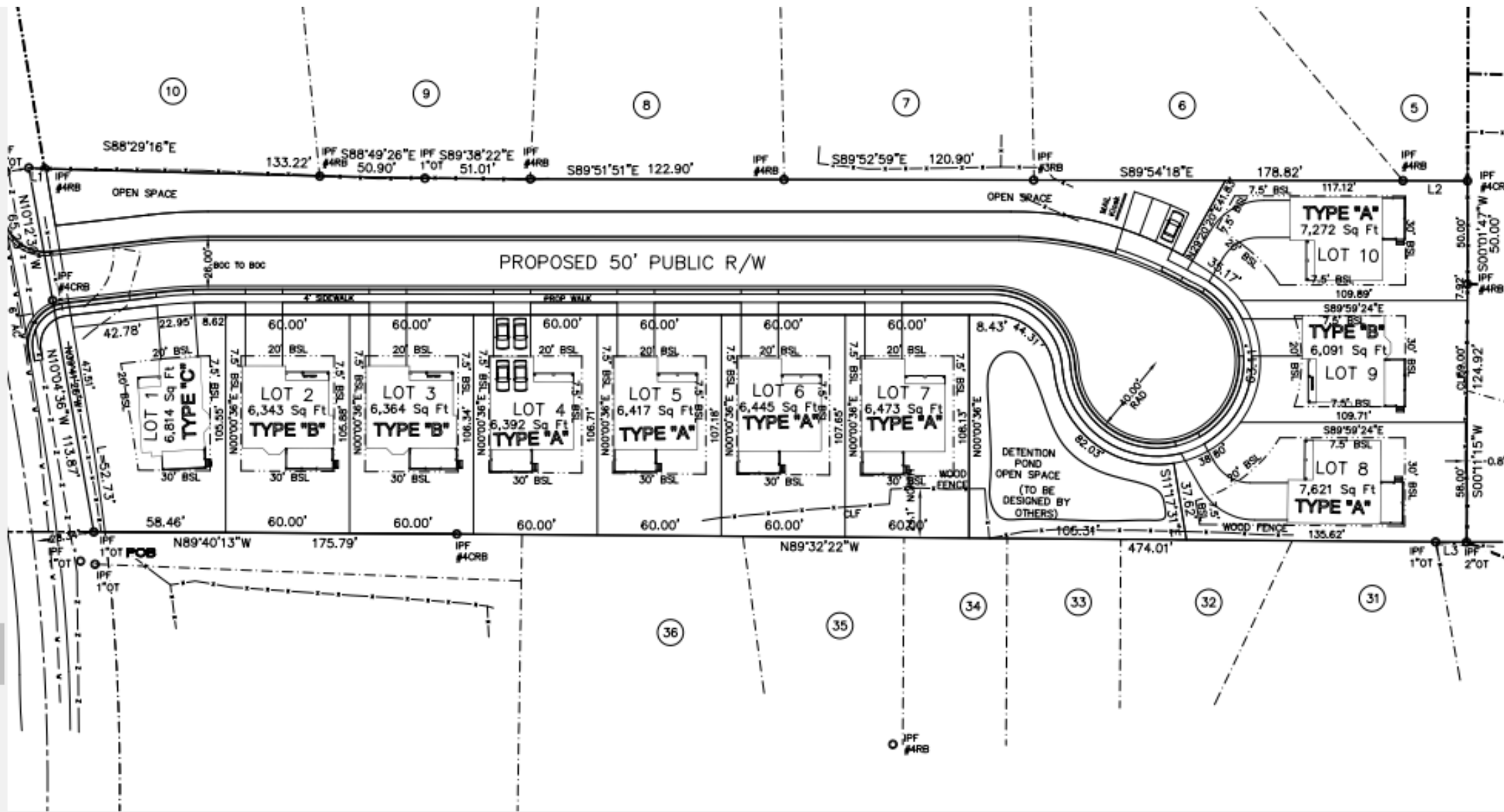
NOT ISSUE FOR CONSTRUCTION



PROPOSED 2ND PLAN
 SCALE: 1/4" = 1'-0"



PROPOSED 1ST PLAN
 SCALE: 1/4" = 1'-0"



10

9

8

7

6

5

S88°29'16"E

133.22'

IPF #4RB S88°49'26"E 50.90' 1°01' 51.01'

S89°51'51"E 122.90'

IPF #4RB

S89°52'59"E 120.90'

IPF #3RB

S89°54'18"E

178.82'

IPF #4RB

OPEN SPACE

OPEN SPACE

PROPOSED 50' PUBLIC R/W

TYPE "A"
7,272 Sq Ft
LOT 10

TYPE "B"
6,091 Sq Ft
LOT 9

TYPE "A"
7,621 Sq Ft
LOT 8

LOT 1
TYPE "C"
6,814 Sq Ft

LOT 2
TYPE "B"
6,343 Sq Ft

LOT 3
TYPE "B"
6,364 Sq Ft

LOT 4
TYPE "A"
6,392 Sq Ft

LOT 5
TYPE "A"
6,417 Sq Ft

LOT 6
TYPE "A"
6,445 Sq Ft

LOT 7
TYPE "A"
6,473 Sq Ft

DETECTION POND
OPEN SPACE
(TO BE DESIGNED BY OTHERS)

42.78'

22.95'

8.62'

60.00'

60.00'

60.00'

60.00'

60.00'

60.00'

60.00'

60.00'

60.00'

60.00'

60.00'

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60.00'

60.00'

58.46'

60.00'

60.00'

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60.00'

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60.00'

60.00'

60.00'

60.00'

60.00'

60.00'

60.00'

60.00'

N89°40'13"W

175.79'

N89°32'22"W

474.01'

135.62'

IPF #4RB

IPF #4RB

IPF #4RB

36

35

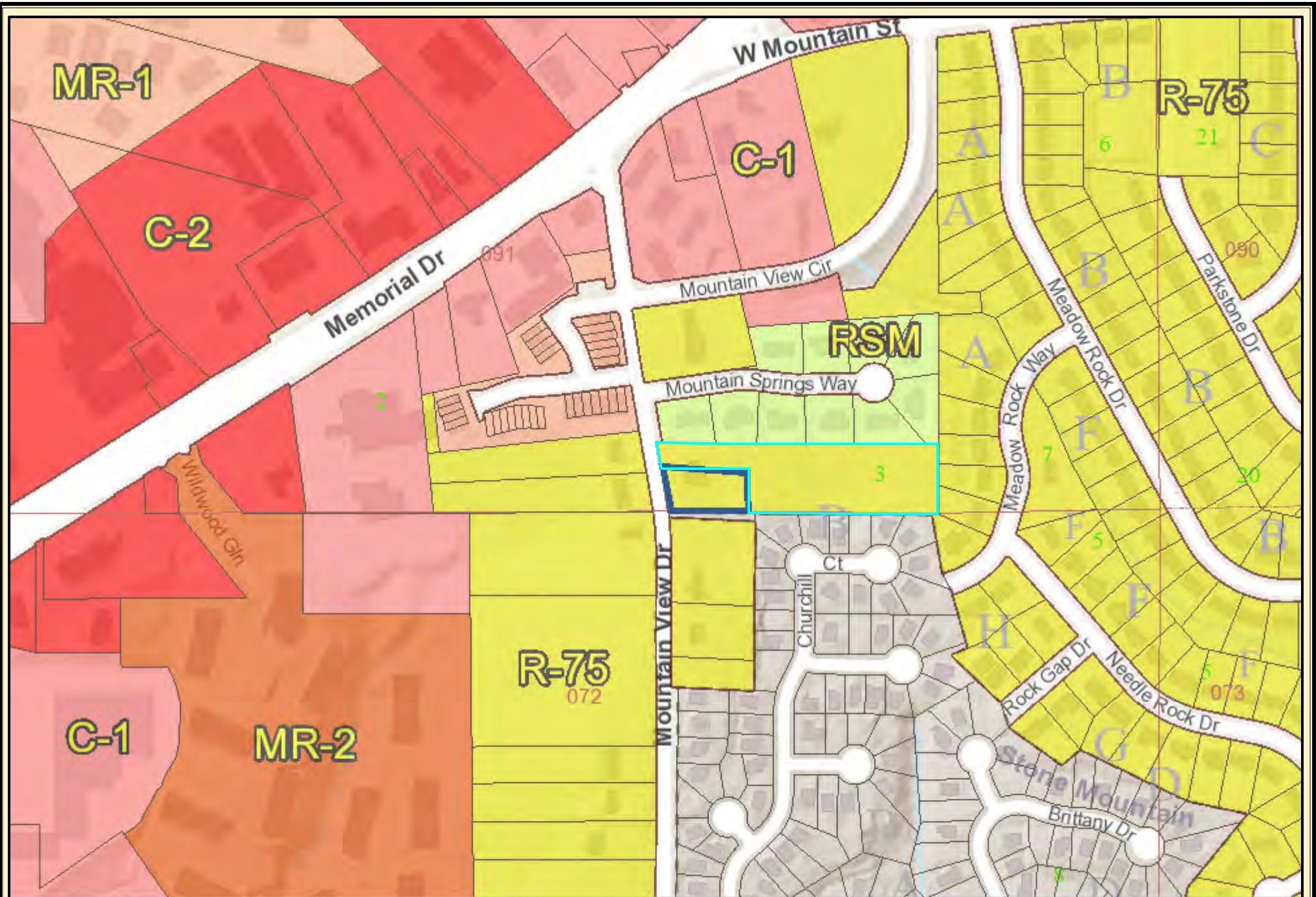
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33

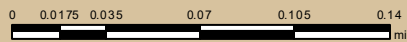
32

31

IPF #4RB



DeKalb County Zoning Map

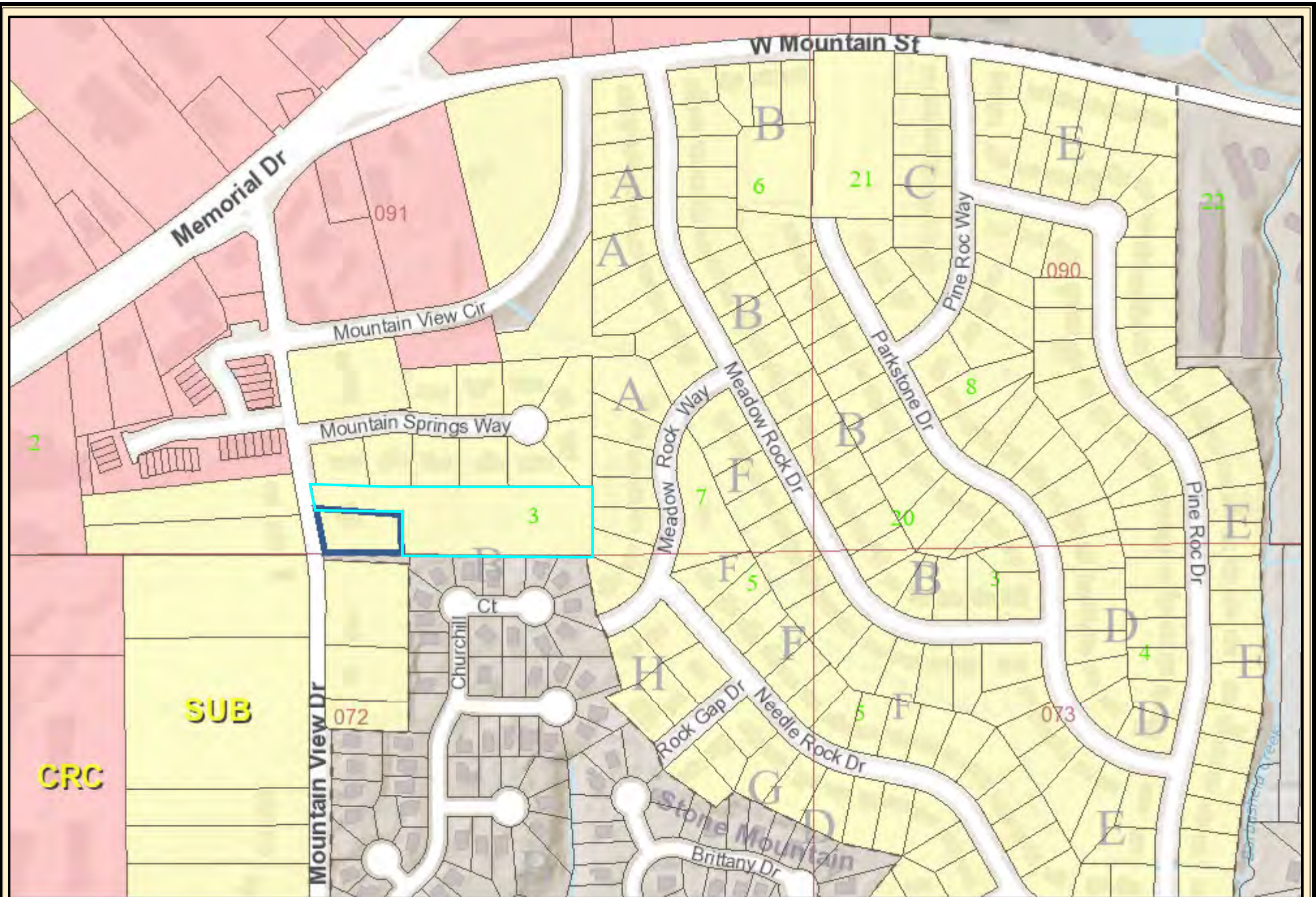


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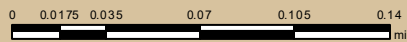


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DeKalb County Land Use Map



Date Printed: 8/4/2022

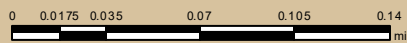


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DeKalb County Aerial Map



Date Printed: 8/4/2022



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SKETCH PLAT
A change is being proposed for this site.
Case Number: NC P-Plat #124100
Planning Zoning File
Site Location:
883 Mountain View Drive
Aspen

883

SKETCH PLAT



DeKalb County
GEORGIA



A change is being proposed for this site.

Case Number: N2. P-Plat #1246891
Existing Zoning: R-60

Site Location:
883 Mountain View Drive

Purpose: Request to subdivide approximately 2.71 acres to
construct up to nine (9) single-family detached dwellings.

CONTACT US
404.371.2155
www.dekalbcountyga.gov/planning-and-sustainability/planning

Planning Commission Sketch Plat Meeting

Date: 12/11/2024 Time: 5:00pm
Zoom ID: <https://dekalbcountyga.zoom.us/j/86330344636>
Phone: (888) 370-9936
Code: 691303

