

foot “no-access easement” is provided along with a 20-foot-deep landscape strip and fencing to screen the development site from Maplewood Drive. A single access point (Maple Ridge Way) is proposed off of Maplewood Drive and is to be built to public street standards.

Approximately 21 percent of the development site is reserved for open space, the majority of which consists of enhanced open space in the form of a pocket (dog) park and nature trails in the southern and eastern portions of the site.

A single stormwater detention facility is provided in the southwestern portion of the development site. A tree recompense plan is provided that meets the minimum requirements set forth by the County Arborist. The proposal adequately meets maneuverability requirements for Fire/Rescue and Sanitation vehicles.

Sec. 14-96. - Standards for approval of sketch plats; approved preliminary plats.

(a) The Planning Commission shall not approve a sketch plat unless it is found that:

1) Provisions have been made for a water supply system that is sufficient in terms of quantity, dependability, and quality for purposes of health, emergency, and adequate fire protection for the subdivision proposed;

Water service is to be provided by DeKalb County.

2) If a public sewage system is proposed, adequate provision has been made for such a system and, if other methods of sewage disposal are proposed, that such systems will comply with federal, state, and local laws and regulations;

Sewer service is to be provided by DeKalb County.

3) Adequate areas have been allocated within a subdivision to meet the regulations in this chapter for the long-term collection, management, and treatment of stormwater;

A single underground stormwater detention facility is proposed on-site, which meets the minimum requirements of the *Land Development Code* (Chapter 14).

4) The proposed subdivision is designed to avoid areas of flood plains, watercourses, wetlands, exceptional or specimen trees or woodlands;

The subject property does not appear to be located near any flood plains or state waters, and plans have been reviewed/approved by the County Arborist.

5) No platting of lots within the subdivision will create any non-conforming lots or increase the non-conformity of existing non-conforming lots on property within or adjacent to the subdivision;

Newly created lots are in compliance with applicable lot standards in the RSM Zoning District.

6) If the subdivision abuts a state designed highway, all applicable statutory provisions are followed, including the rules of Georgia Department of Transportation;

Not applicable.

7) The proposed subdivision meets all the requirements of this chapter, [Chapter 27](#), the official comprehensive plan, the official thoroughfare map, and all other standards and regulations adopted by all boards, commissions, agencies, and officials of DeKalb County and all other applicable laws from other, relevant jurisdictions;

Yes.

8) A properly issued certificate of appropriateness, when the subdivision or portions thereof lie within a designated historic area that required such a certificate as may be required by state law or this Code; and

Not applicable.

9) Lot lines have been laid out so as to minimize crossing municipal or county boundaries;

All proposed lots are located in the unincorporated area of DeKalb County.

10) All requirements of [section 14-89](#) and [section 14-90](#) have been fulfilled.

Yes.

STAFF RECOMMENDATION: *Approval*

The proposal is consistent with the goals of the *Comprehensive Plan*, is in compliance with the Conditions of Z-23-1246544, and is in compliance with all developmental standards of the *Zoning Ordinance*. All other regulatory reviews have been completed and approved (or conditionally approved). Therefore, the Planning and Sustainability Department recommends *Approval* of the submitted Sketch Plat application.

SITE NOTES:

- THE SITE CONTAINS: 366,035 SQ.FT = 8.40 ACRES
TOTAL DISTURBED ACREAGE: 372,974 SQ.FT = 7.19 ACRES
- SITE ADDRESS: 4147 MAPLEWOOD DRIVE, DECATUR, 30035
- SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY THOMAS & HUTTON, DATED 5-26-22.
- HORIZONTAL DATUM IS NAD83 GEORGIA GRID WEST ZONE. VERTICAL DATUM IS NAVD88.
- NO PART OF THIS SITE IS LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089C0151 J DATED MAY 16, 2013 FOR DEKALB COUNTY, GEORGIA.
- THERE ARE EXISTING EASEMENTS, STATE WATER BUFFERS, STREAM BUFFERS OR FLOODPLAIN BUFFER THAT APPLY TO THIS PROPERTY.
- TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
- THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
- CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
- ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
- UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
- THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

ZONING CONFORMANCE:

SITE ZONING:	R-SM ZONING (APPROVAL CASE NO: Z-23-1246544)
DENSITY UNITS/ACRE:	PROPOSED DENSITY: 3.76 UNITS/ACRE
MINIMUM OPEN SPACE:	20% (MIN)
PROVIDED OPEN SPACE:	20.83%
BUILDING SETBACKS	
FRONT SETBACK (THOROUGHFARES AND ARTERIALS)	20 FT (MIN) / 30FT (MAX)
FRONT SETBACK (SUB):	20 FT (MIN)
SIDE SETBACK (INTERIOR LOT):	3 FT (MIN) WITH 10 FT SEPARATION BETWEEN BUILDINGS
SIDE SETBACK (CORNER LOT):	SAME AS FRONT
REAR SETBACK (WITHOUT ALLEY):	20 FEET (10FT WITH ALLEY)
LOT REQUIREMENTS	
MINIMUM LOT WIDTH:	50 FT (OR 20 FT COTTAGE)
MINIMUM LOT AREA:	5,000 SF (OR 2,000 SF COTTAGE)
MAXIMUM LOT COVERAGE:	50%
MINIMUM FLOOR AREA:	1,200 SF (OR 800 SF COTTAGE)
MAXIMUM HEIGHT OF BUILDING:	35 FEET

SKETCH PLAT NOTES:

A HOME OWNERS ASSOCIATION WILL BE ESTABLISHED.

ELECTRICAL SERVICES FOR THE DEVELOPMENT WILL BE UNDERGROUND.

THE TITLE FOR THE DEVELOPMENT WILL BE RECORDED UNDER "MAPLEWOOD MAREIS, LLC".

RECORDED OFF-SITE SEWER EASEMENT REQUIRED PRIOR TO ISSUANCE OF DEVELOPMENT PERMIT.

A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GA. E.P.D.

SKETCH PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THE STORM DRAINAGE OR SANITARY SEWER SYSTEMS. NO CONSTRUCTION SHALL BEGIN UNTIL CONSTRUCTION PLANS ARE APPROVED AND A DEVELOPMENT PERMIT IS OBTAINED.

THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS REQUIREMENTS REGARDING WETLANDS.

NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE WIDENING OF AND CONSTRUCTION ON DEKALB COUNTY ROADS.

APPROVAL FROM SANITATION DEPARTMENT AT (404) 294-2123- IS REQUIRED FOR DUMPSTER LOCATION AND ACCESSIBILITY.

DEKALB COUNTY SANITATION DEPARTMENT IS RESPONSIBLE FOR GARBAGE AND RECYCLING PICK-UP

SIGNATURE BLOCK:

THIS SKETCH PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE PLANNING COMMISSION OF DEKALB COUNTY,

ON THIS _____ DAY OF 20____.

_____ BY: (BY DIRECTOR) PLANNING COMMISSION CHAIRMAN DEKALB COUNTY, GEORGIA

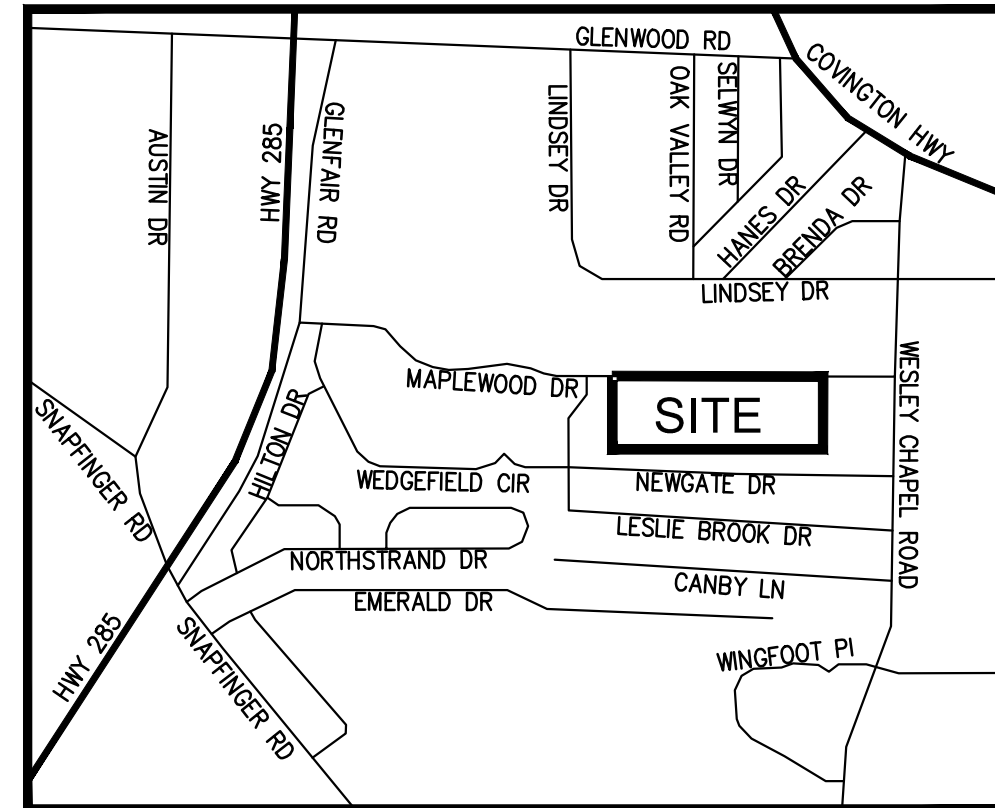
24 HOUR EMERGENCY CONTACT: ALEX CIUCA 404-775-4687/ALEX.CIUCA23@GMAIL.COM
PLANS FOR SKETCH PLAT:

MALPEWOOD DRIVE SUBDIVISION

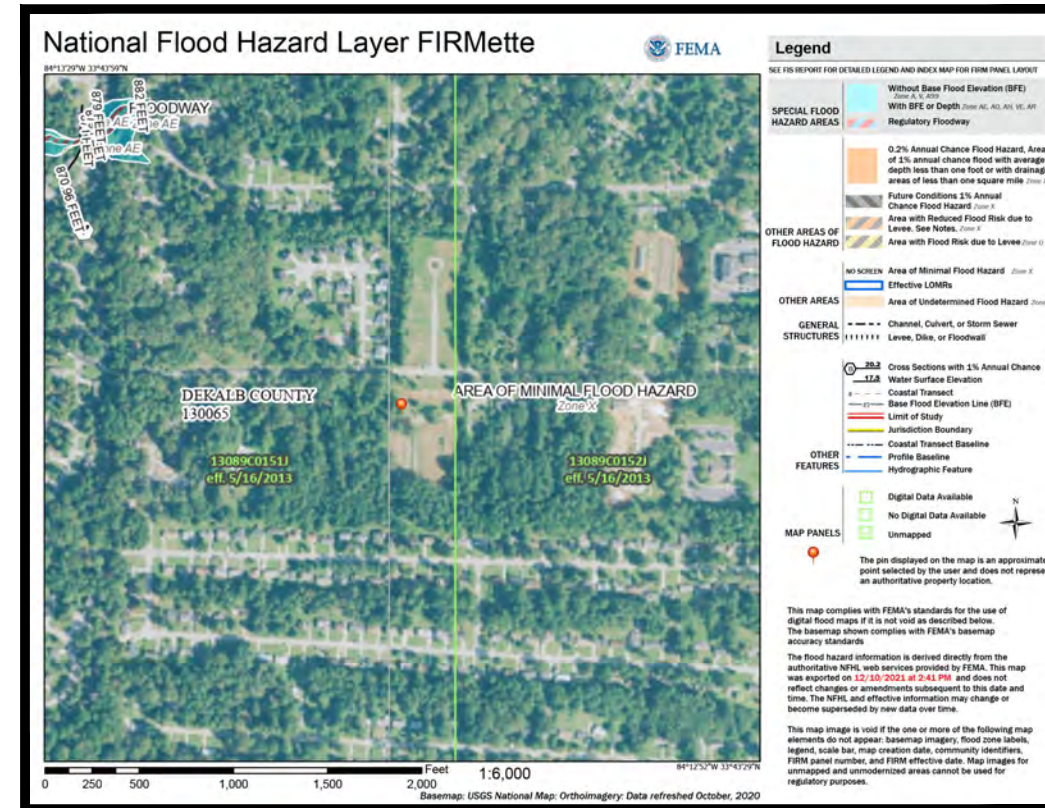
4147 MAPLEWOOD DR

PARCEL ID: 15 158 02 007

Land Lot 158, 15th District
DeKalb County, Georgia, 30035

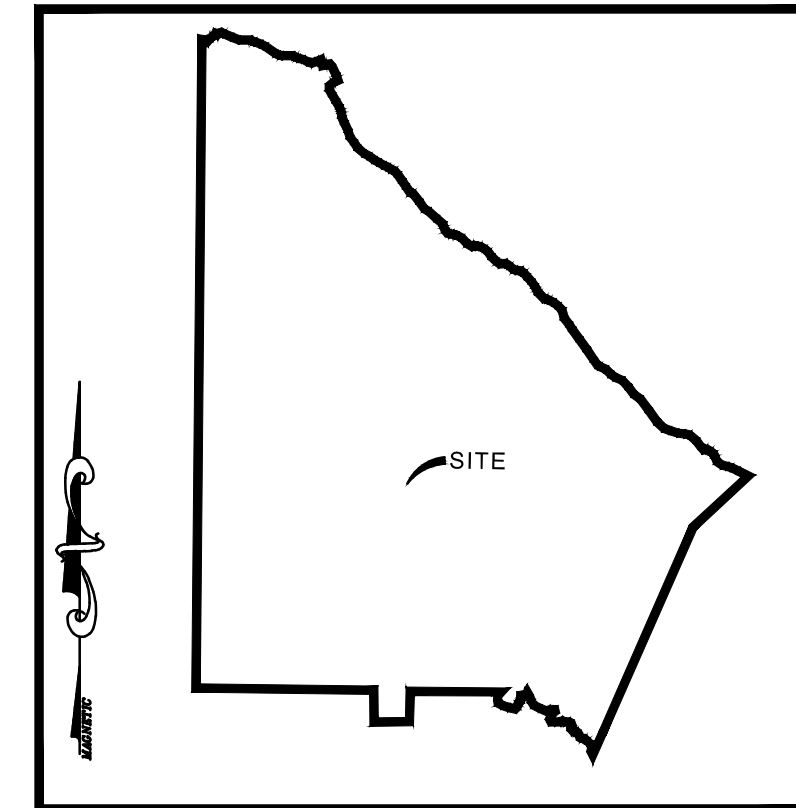


Vicinity Map



FEMA Map
N.T.S.

NO PART OF THIS SITE IS LOCATED WITHIN A 100-YR FLOOD ZONE OR ZONE [A, AE, SHADED ZONE X] AS DEFINED BY FIRM PANEL NUMBER 13089C0151 J DATED 5/16/2013, FOR DEKALB COUNTY AND INCORPORATED AREAS.



Site Location Map
N.T.S.

PROPOSED PARCELS
31 SINGLE FAMILY HOUSES
1 STORMWATER MANAGEMENT AREA
1 DOG PARK
1 POCKET PARK
REMAINING AREAS ARE COMMON AREA

CONSTRUCTION SCHEDULE

ACTIVITY	2024		2025									
	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP
A. INSTALL INITIAL EROSION CONTROL & TREE SAVE BMPs	█											
B. MAINTAIN BMPs			█	█	█							
C. INSTALL SEDIMENT BASINS OR TRAPS			█	█	█							
D. DEMOLITION			█									
E. BEGIN CLEARING AND GRUBBING			█	█	█							
F. UTILITY INSTALLATION				█	█	█	█	█	█	█		
G. TEMPORARY VEGETATION AND MULCHING				█	█	█	█	█	█	█		
H. GRADING				█	█	█	█	█	█	█		
I. CURBING, SIDEWALK & ROADWAY							█	█	█	█	█	
J. BUILDING CONSTRUCTION											█	█
K. PERMANENT STABILIZATION												█
L. REMOVAL OR EROSION CONTROL AND TREE SAVE BMPs												█

ANTICIPATED START DATE: 4-1-24 ANTICIPATED COMPLETION DATE: 3-23-25

"I CERTIFY UNDER THE PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION"

CERTIFIED BY: *[Signature]* DATE: 01-30-24

DEKALB COUNTY DEVELOPMENT NUMBER:
SKETCH PLAT - AP#1246866

REFERENCE BLOCK:
LOT COMBINATION - AP#1246933

PRIOR TO LAND DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR. CALL 404-546-1300 TO CONTACT THE INSPECTOR

DEKALB COUNTY SANITATION DEPARTMENT IS RESPONSIBLE FOR GARBAGE AND RECYCLING PICK-UP

DEKALB COUNTY IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS BY ENGINEERS OR OTHER DESIGN PROFESSIONALS ON DESIGN OR COUNTY CODE REQUIREMENTS FOR THIS PROJECT

72 HRS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING. HTTP://WWW.GEORGIA811.COM

CONSTRUCTION NARRATIVE/ NOTES:

- THE PROPOSED PLANS CALL FOR THE CONSTRUCTION OF 31 SINGLE FAMILY HOME DEVELOPMENT, ROADS, WALKS, PARKING WITH ACCOMPANYING INFRASTRUCTURE. ALL PHASED EROSION CONTROL BMPs ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.
- THE STORMWATER INFRASTRUCTURE LOCATED IN THE RIGHT OF WAY SHALL BE OWNED BY DEKALB COUNTY.
- THE OWNER WILL OWN AND MAINTAIN THE STORMWATER DETENTION POND AND OTHER STORMWATER INFRASTRUCTURE OUTSIDE OF THE RIGHT OF WAY.
- MAPLE RIDGE WAY WILL BE A PUBLIC ROAD, OWNED AND MAINTAINED BY DEKALB COUNTY.
- THE PROPOSED SUBDIVISION WILL BE SUBJECT TO PRIVATE COVENANTS AND A HOMEOWNER'S ASSOCIATION WILL BE ESTABLISHED.
- DRAINAGE AND MAINTENANCE ACCESS EASEMENT REQUIRED ON ALL PIPES, RETENTION/ DETENTION FACILITIES, AND OTHER STORMWATER INFRASTRUCTURE.
- ALL INFILTRATION TRENCHES AND OTHER STORMWATER STRUCTURAL BMPs ON SITE MUST HAVE DRAINAGE AND MAINTENANCE ACCESS EASEMENTS.

OWNER/ DEVELOPER:

MAPLEWOOD MAREIS, LLC
4127-4173 MAPLEWOOD DR
DEKALB COUNTY, GA, 30035

ENGINEER:

CRESCENT VIEW ENGINEERING
211 FRASIER STREET, SE
MARIETTA, GEORGIA 30060

UTILITY CONTACTS:

TELEPHONE: AT&T
ELECTRIC: GEORGIA POWER COMPANY
WATER & SEWER: DEKALB COUNTY
GAS: ATLANTA GAS LIGHT COMPANY

NPDES FEE CALCULATION:

\$40 PER DISTURBED ACRE X 7.19 DISTURBED ACRE = \$287.6 NPDES FEE

IMPERVIOUS AREA:

TOTAL LOT AREA	= 366,035 FT ²
HOUSES	= 74,000 FT ²
DRIVEWAY	= 12,400 FT ²
ROAD WITH CURB AND GUTTER	= 27,740 FT ²
SIDEWALKS	= 14,367 FT ²
DETENTION WALLS	= 343 FT ²
TOTAL IMPERVIOUS AREA	= 128,850 FT ²

PROPOSED IMPERVIOUS SUBDIVISION COVERAGE = 35.20%
MAX IMPERVIOUS FOR THE TOTAL OF THE LOTS PER CODE = 50%

SHEET LIST

SHEET NO.	SHEET TITLE
CV	COVER
S-1	SURVEY
C-0	ZONING STIPULATIONS
C-1	SITE PLAN
C-1.1	LOT INFORMATION
C-1.2	ROADWAY PROFILE PLAN & SECTION
C-1.3	ISD PLAN AND PROFILE
C-2	GRADING & DRAINAGE PLAN
C-2.1	STORM PROFILES & CHARSTS
C-2.2	DRAINAGE MAPS
C-3	UTILITY PLAN
C-3.1	SEWER PROFILES & NOTES
T-1	TREE PLAN
T-2	REPLACEMENT TREE PLAN

Prepared By:
CRESCENT VIEW
ENGINEERING, LLC:
211 Frasier Street
Marietta, GA 30060
678-546-9410
www.crescentvieweng.com

Prepared For:
MAPLEWOOD MAREIS, LLC
ALEX CIUCA
404-775-4687
ALEX.CIUCA23@GMAIL.COM

Cover Sheet

DATE	AS SHOWN	SCALE	DRAWN	CHECKED	REVISIONS	COUNTY COMMENTS	ARBORIST COMMENTS	ROAD/ DRAINAGE COMMENTS
01-30-24			JS	GHB				



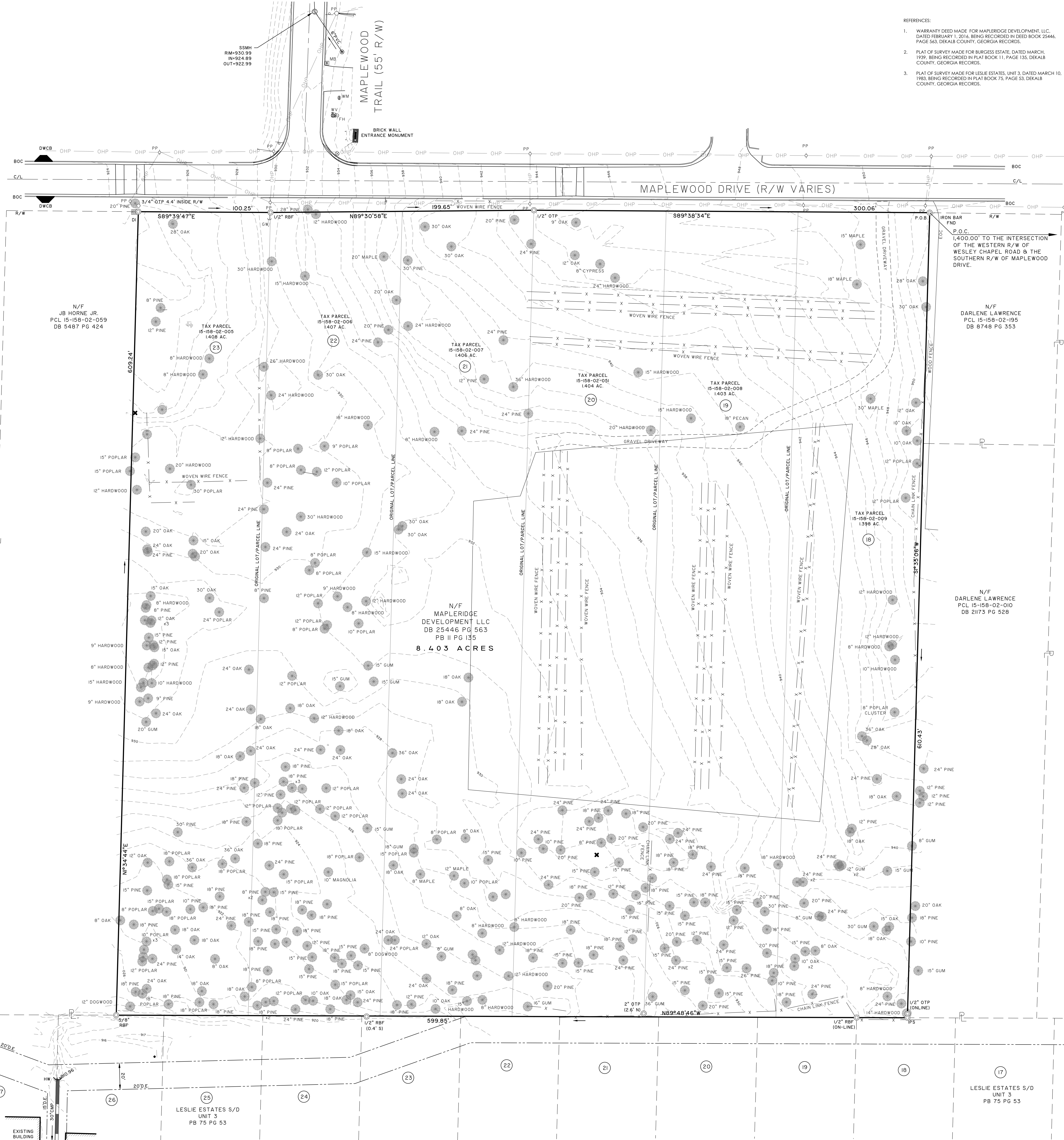
CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
4147 MAPLEWOOD DRIVE
LAND LOT 158, 15TH DISTRICT
DEKALB COUNTY, GA. 30035

CVE PI # 21-803

SHEET NO.
CV

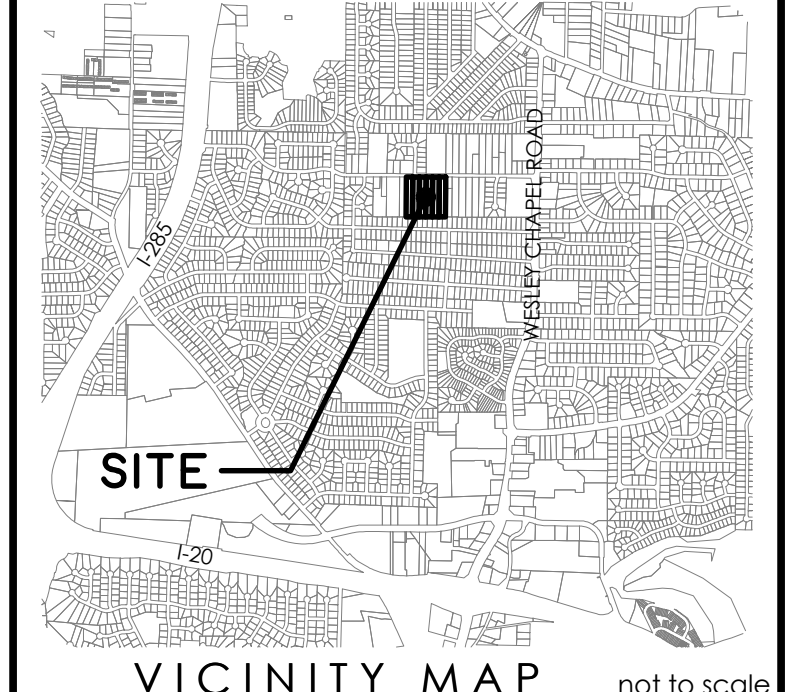
THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

- NOTES:
- NO PORTION OF THIS PROPERTY ARE LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AS PER DEKALB COUNTY FIRM PANEL NOS. 13089C0151J & 13089C0152J. SAID MAPS HAVING AN EFFECTIVE DATE OF MAY 16, 2013.
 - DATE OF FIELD SURVEY 05/17/22.
 - THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE. WHERE A CONFLICT EXISTS BETWEEN THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND O.C.G.A. 15-6-67, THE REQUIREMENTS OF LAW PREVAIL.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS OF RECORD.
 - TAX MAP NUMBERS: 1515802005, 1515802006, 1515802007, 1515802009, 1515802008, AND 1515802009. PROPERTY OWNER: MAPLERIDGE MAREIS LLC. DEED REFERENCE: DEED BOOK 30421, PAGE 165. ADDRESS: 4127 - 4173 MAPLEWOOD DRIVE, DECATUR GA. 30035.
 - PROPERTY IS CURRENTLY ZONED R-7.5 PER DEKALB COUNTY GIS.
 - A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GEORGIA.
 - THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS' REQUIREMENTS REGARDING WETLANDS.
 - DATUM USED IS NAVD83.
 - A TWO-FOOT (2) CONTOUR INTERVAL IS SHOWN.
 - CONTOURS SHOWN WERE FIELD RUN BY THOMAS & HUTTON LAST REVISED ON MAY 20, 2024.



- REFERENCES:
- WARRANTY DEED MADE FOR MAPLERIDGE DEVELOPMENT, LLC, DATED FEBRUARY 1, 2016, BEING RECORDED IN DEED BOOK 25446, PAGE 563, DEKALB COUNTY, GEORGIA RECORDS.
 - PLAT OF SURVEY MADE FOR BURGESS ESTATE, DATED MARCH, 1939, BEING RECORDED IN PLAT BOOK 11, PAGE 135, DEKALB COUNTY, GEORGIA RECORDS.
 - PLAT OF SURVEY MADE FOR LESLIE ESTATES, UNIT 3, DATED MARCH 10, 1983, BEING RECORDED IN PLAT BOOK 75, PAGE 53, DEKALB COUNTY, GEORGIA RECORDS.

- LEGEND
- BENCHMARK
 - CABLE BOX
 - CLEAN OUT
 - CONC. MONUMENT FOUND
 - CONC. MONUMENT SET
 - CONTROL POINT
 - ELECTRIC BOX
 - ELECTRIC METER
 - ELECTRIC MANHOLE
 - FIRE HYDRANT
 - GRATE INLET
 - GAS METER
 - GUY POLE
 - GAS VALVE
 - GUY WIRE
 - IRON PIPE (SIZE & TYPE)
 - LIGHT POLE
 - MAIL BOX
 - POINT (NO MONUMENT)
 - POWER POLE
 - SIGN
 - SANITARY MANHOLE
 - TELEPHONE BOX
 - TELEPHONE MANHOLE
 - WATER METER
 - WATER MANHOLE
 - WATER VALVE
 - WATER VALVE MARKER



PREPARED FOR
OWNER/DEVELOPER:
MAPLEWOOD MAREIS, LLC
1935 SUMNER LANE
ATLANTA, GEORGIA 30318
CONTACT: MR. ALEX CIUCA
(404) 775-4687

PROJECT
MAPLEWOOD DRIVE TRACT
15TH DISTRICT
LAND LOT 158
DEKALB COUNTY, GEORGIA

PROJECT ADDRESS
4127 - 4173 MAPLEWOOD DRIVE
DECATUR, GEORGIA 30035

TASK
BOUNDARY & TOPOGRAPHIC SURVEY

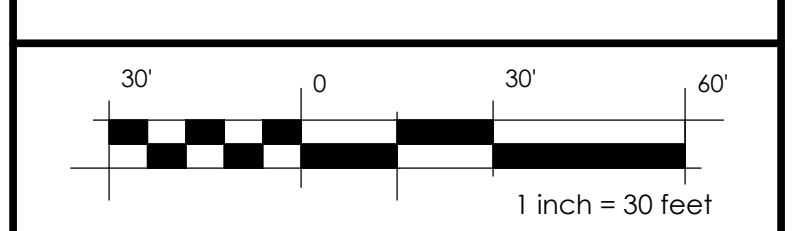
A TRIMBLE S6 TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 535,160 FEET AND AN ANGULAR ERROR OF 0.70" PER ANGLE POINT, AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 1,227,757 FEET.

7/29/24
Chris Baldwin
CHRISTOPHER C. BALDWIN
NO. 3121
GEORGIA REGISTERED
LAND SURVEYOR
R.L.S. #3121 / L.S.F. #145
baldwin.c@tandh.com

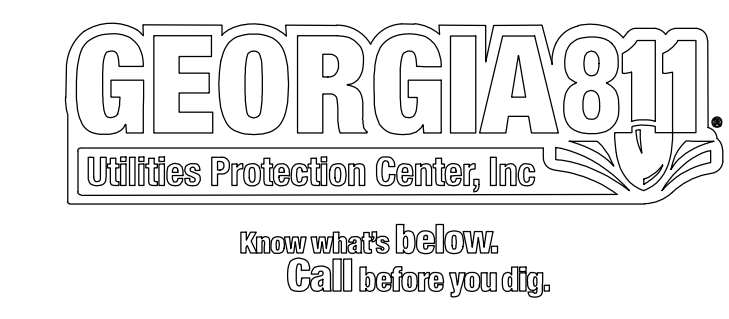
SURVEYOR'S CERTIFICATION
THIS PLAT IS RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

ADD TRACT 3 AND ADDRESS TITLE	CCB	05-01-24
NO. REVISION	By	Date

THOMAS & HUTTON
5074 Bristol Industrial Way • Suite A
Buford, GA 30518 • 770-271-2868
www.thomasandhutton.com



plat 6/03/24 drawn DBS reviewed CCB field 5/23/24 crew TG/DK
job 30197.0000 SHEET 1 OF 1



SUBSTITUTE
2023-0874
(Z-23-1246544)
Recommended Conditions
11/13/2023

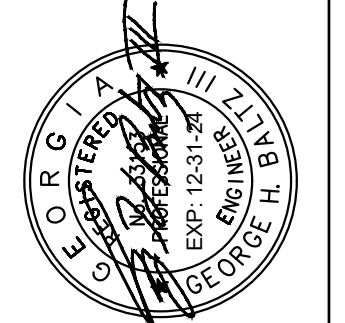
1. No more than thirty-one (31) single-family, detached dwellings shall be constructed in general conformance to the site plan dated 10/18/2023.
2. Approval of this rezoning application by the Board of Commissioners has no bearing on the requirements for other regulatory approvals under the authority of the Planning Commission, the Zoning Board of Appeals, or other entity whose decision should be based on the merits of the application under review by each entity.
3. A ten-foot no-access easement and a 20-foot-wide landscape strip shall be provided as shown on the site plan, in combination with a six-foot-high decorative fence, or a five-foot-high landscaped berm, to screen the rear view of houses from Maplewood Drive.
4. A minimum of 20 percent open space shall be provided. Fifty (50) percent of the provided open space shall be enhanced open space as shown on the site plan. A minimum distance of 30 feet shall be provided between the rear lot lines of Lots 9-13 and the southern property line of the overall development site. Nature trails shall be provided as shown.
5. Building elevations shall be in general conformance with the designs included with the application; building materials shall consist of brick, stucco, and/or cementitious siding.

Prepared By:
CRESCENT VIEW
ENGINEERING, LLC:
 211 Fraser Street
 Marietta, GA 30060
 678-324-8410
 www.crescentvieweng.com

Prepared For:
MAPLEWOOD MAREIS, LLC
 ALEX CIUCA
 404-775-4687
 ALEX.CIUCA23@GMAIL.COM

ZONING STIPULATION

DATE	01-30-24	REVISIONS
SCALE	AS SHOWN	08-28-24
DRAWN	JS	09-19-24
CHECKED	GHB	11-7-24
		COUNTY COMMENTS
		COUNTY COMMENTS



CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
4147 MAPLEWOOD DRIVE
 LAND LOT 158, 15TH DISTRICT
 DEKALB COUNTY, GA, 30035

CVE PI # 21-803

SHEET NO.
C-0

Prepared By:
**CRESCENT VIEW
 ENGINEERING, LLC.**
 211 Fraiser Street
 Marietta, GA 30060
 678-324-8410
 www.crescentvieweng.com

Prepared For:
MAPLEWOOD MAREIS, LLC
 ALEX CIUCA
 404-775-4687
 ALEX.CIUCA3@GMAIL.COM

SITE PLAN

DATE	REVISIONS
01-30-24	AS SHOWN
08-28-23	COUNTY COMMENTS
09-19-23	COUNTY COMMENTS
11-7-24	COUNTY COMMENTS

CONSTRUCTION PLANS FOR:
**MAPLEWOOD DRIVE SUBDIVISION
 4147 MAPLEWOOD DRIVE**
 LAND LOT 158, 15TH DISTRICT
 DEKALB COUNTY, GA, 30035

CVE PI # 21-803

SHEET NO.
C-1

SITE NOTES:

- THE SITE CONTAINS: 366,035 SQ.FT = 8.40 ACRES
 TOTAL DISTURBED ACREAGE: 372,974 SQ.FT = 7.19 ACRES
- SITE ADDRESS: 4127, 4139, 4147, 4149, 4163 & 4173 MAPLEWOOD DRIVE, DEKALB COUNTY, 30035
- SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY THOMAS & HUTTON, DATED 5-26-22.
- HORIZONTAL DATUM IS NAD83 GEORGIA GRID WEST ZONE. VERTICAL DATUM IS NAVD88.
- NO PART OF THIS SITE IS LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089C0151 J DATED MAY 16, 2013 FOR DEKALB COUNTY, GEORGIA.
- THERE ARE EXISTING EASEMENTS, STATE WATER BUFFERS, STREAM BUFFERS OR FLOODPLAIN BUFFER THAT APPLY TO THIS PROPERTY.

ZONING CONFORMANCE:





SITE ZONING:	R-SM ZONING
DENSITY UNITS/ACRE:	PROPOSED DENSITY: 3.76 UNITS/ACRE (3.76*8.4 = 31 LOTS)
PROPOSED NUMBER OF LOTS:	31
MINIMUM OPEN SPACE:	20% (MIN)
PROVIDED OPEN SPACE:	20.83%
BUILDING SETBACKS	
FRONT SETBACK (THOROUGHFARES & ARTERIALS)	20 FT (MIN) / 30FT (MAX)
FRONT SETBACK (SUB):	20 FT (MIN)
SIDE SETBACK (INTERIOR LOT):	3 FT (MIN) WITH 10 FT SEPARATION BETWEEN BUILDINGS
SIDE SETBACK (CORNER LOT):	SAME AS FRONT
REAR SETBACK (WITHOUT ALLEY):	20 FEET (10FT WITH ALLEY)
LOT REQUIREMENTS	
MINIMUM LOT WIDTH:	50 FT (OR 20 FT COTTAGE)
MINIMUM LOT AREA:	5,000 SF (OR 2,000 SF COTTAGE)
MAXIMUM LOT COVERAGE:	50%
MINIMUM FLOOR AREA:	1,200 SF (OR 800 SF COTTAGE)
MAXIMUM HEIGHT OF BUILDING:	35 FEET

IMPERVIOUS AREA:

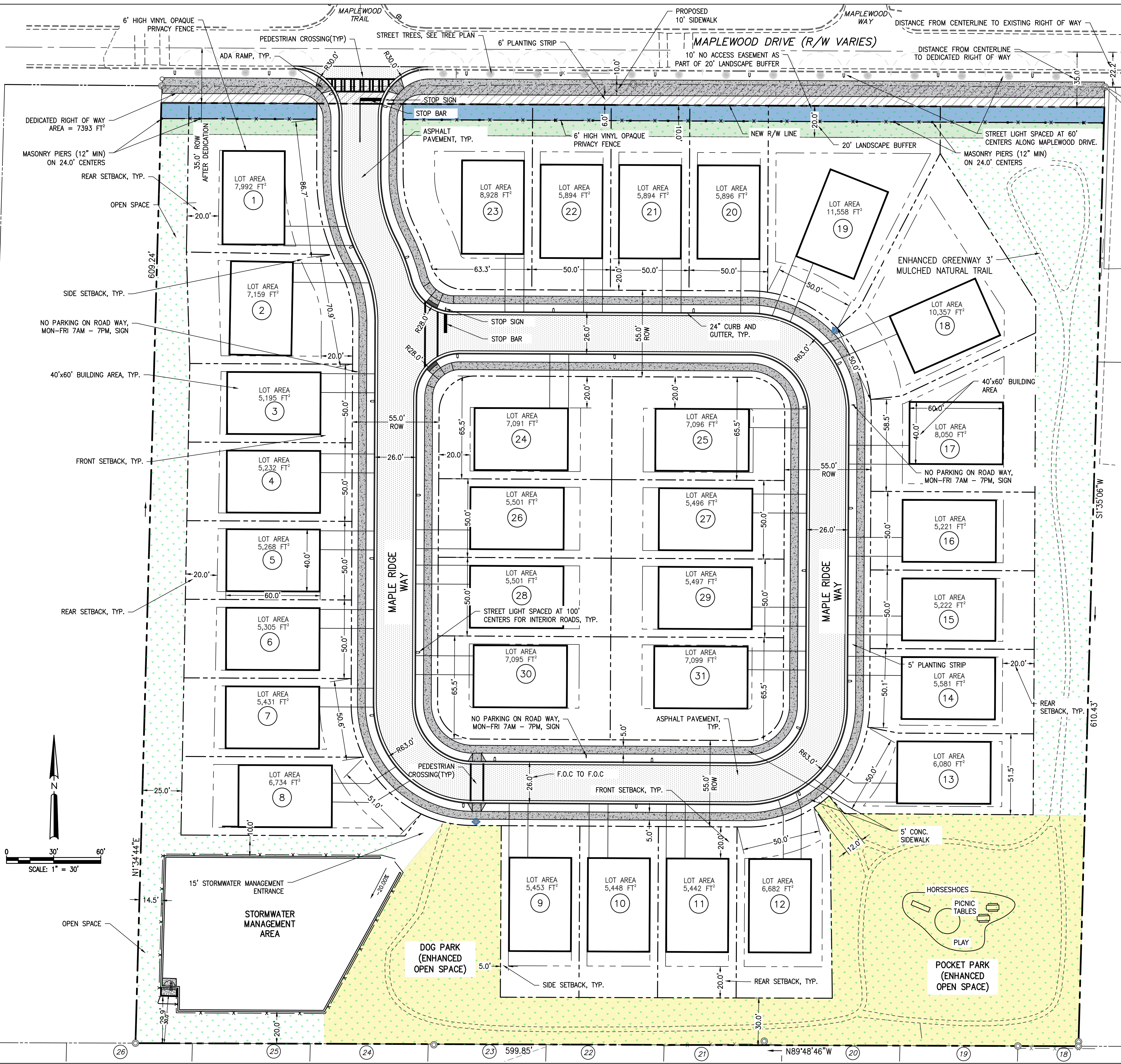
TOTAL LOT AREA	= 366,035 SF
HOUSES	= 74,000 SF
DRIVEWAY	= 12,400 SF
ROAD WITH CURB AND GUTTER	= 27,740 SF
SIDEWALKS	= 14,367 SF
DETENTION WALLS	= 343 SF
TOTAL IMPERVIOUS AREA	= 128,850 SF
PROPOSED IMPERVIOUS SUBDIVISION COVERAGE	= 35.20%
MAX IMPERVIOUS FOR THE TOTAL OF THE LOTS PER CODE	= 50% PER CODE

OPEN SPACE REQUIREMENTS

ARTICLE 27-5.5.1B STATES THAT OPEN SPACES REQUIREMENTS APPLY TO RESIDENTIAL SUBDIVISIONS WITH MORE THAN 43 UNITS. THIS DEVELOPMENT YIELDS 38 UNITS. OPEN SPACE STILL PROVIDED AS SHOWN BELOW.
 TOTAL ORIGINAL SITE AREA = 8.40 ACRES - 20.0% REQUIRED (1.68 ACRES or 73,181 FT²)
 OPEN SPACE AREA PROVIDED = 1.75 ACRES OR 76,327 FT² - 20.83% PROVIDED
 ENHANCED OPEN SPACE REQUIRED = 50% OF REQUIRED OPEN SPACE = 0.5*1.68 = 0.84 ACRES = 36,590 FT²
 ENHANCED OPEN SPACE PROVIDED = 41,540 FT² > 36,590 FT²

-  10' NO ACCESS EASEMENT AS PART OF 20' LANDSCAPE BUFFER
-  20' LANDSCAPE ZONE
-  OPEN SPACE
TOTAL AREA = 1.78 ACRES
(INCLUDES ALL OPEN SPACE AREAS)
-  ENHANCED OPEN SPACE
AREA = 0.95 ACRES (54% OF REQUIRED OPEN SPACES)
INCLUDES A DOG PARK A POCKET PARK AND 3' MULCHED NATURE TRAIL CONNECTING THE PARKS

SEE SHEET C-1.1 FOR ADDITIONAL LOT INFORMATION

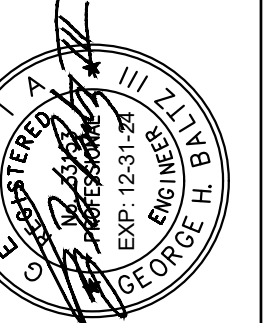


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LOT INFORMATION

DATE	REVISIONS	COUNTY COMMENTS
01-30-24		
AS SHOWN	08-28-23	
DRAWN	09-19-23	
CHECKED	GHB	11-7-24



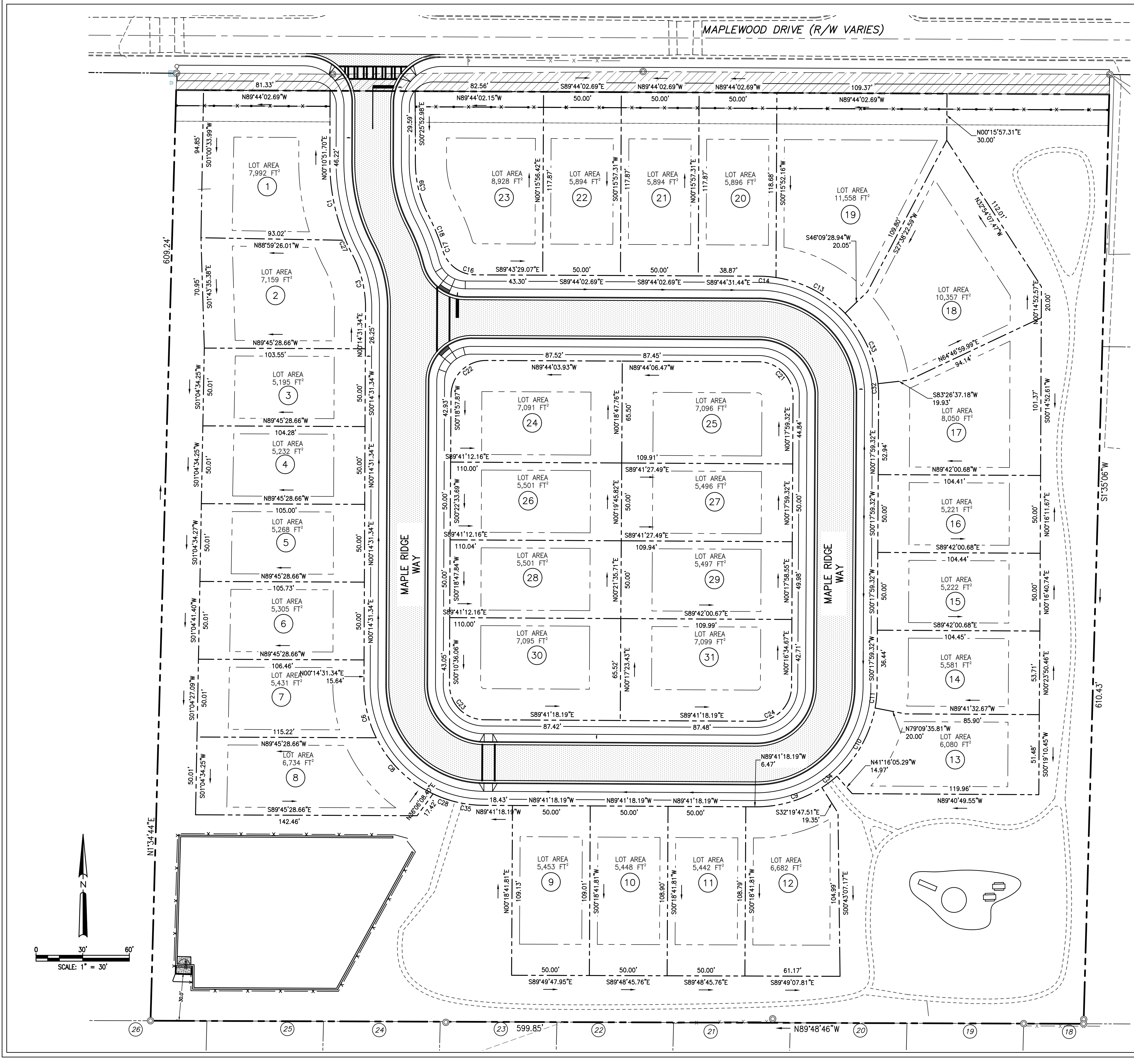
CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
4147 MAPLEWOOD DRIVE
 LAND LOT 158, 15TH DISTRICT
 DEKALB COUNTY, GA. 30035

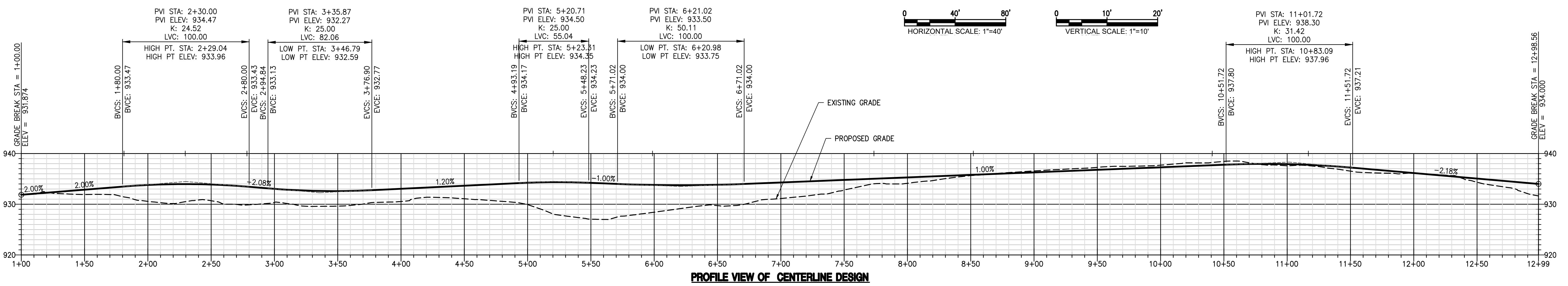
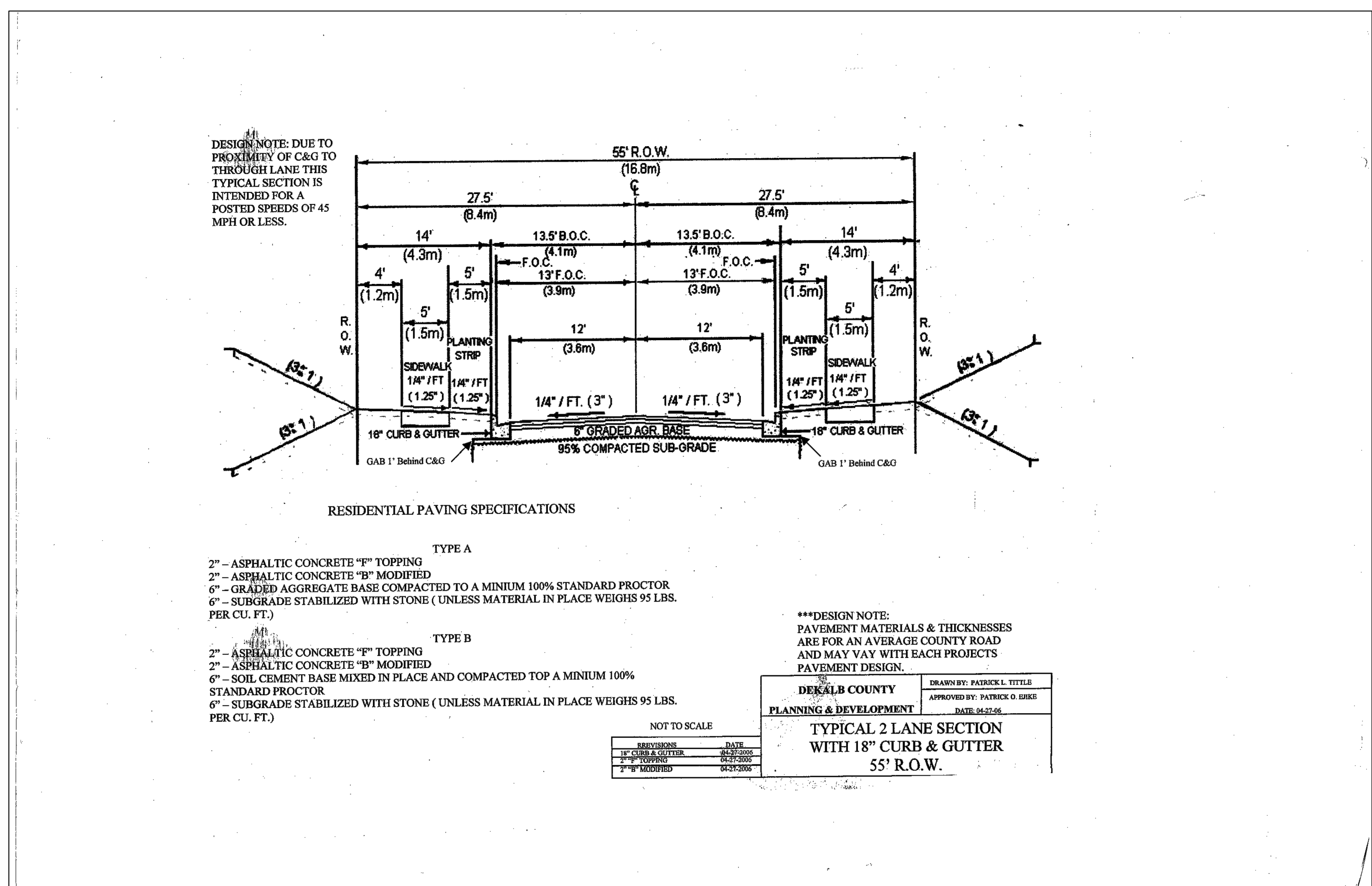
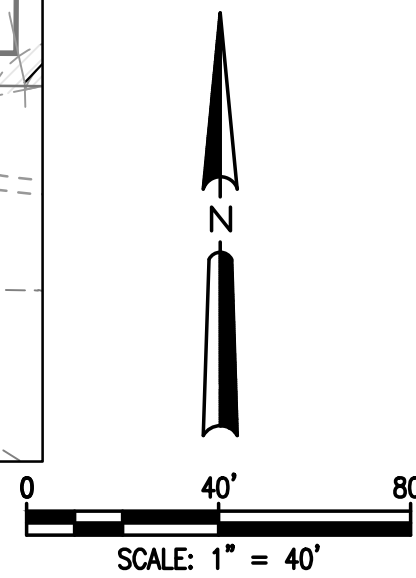
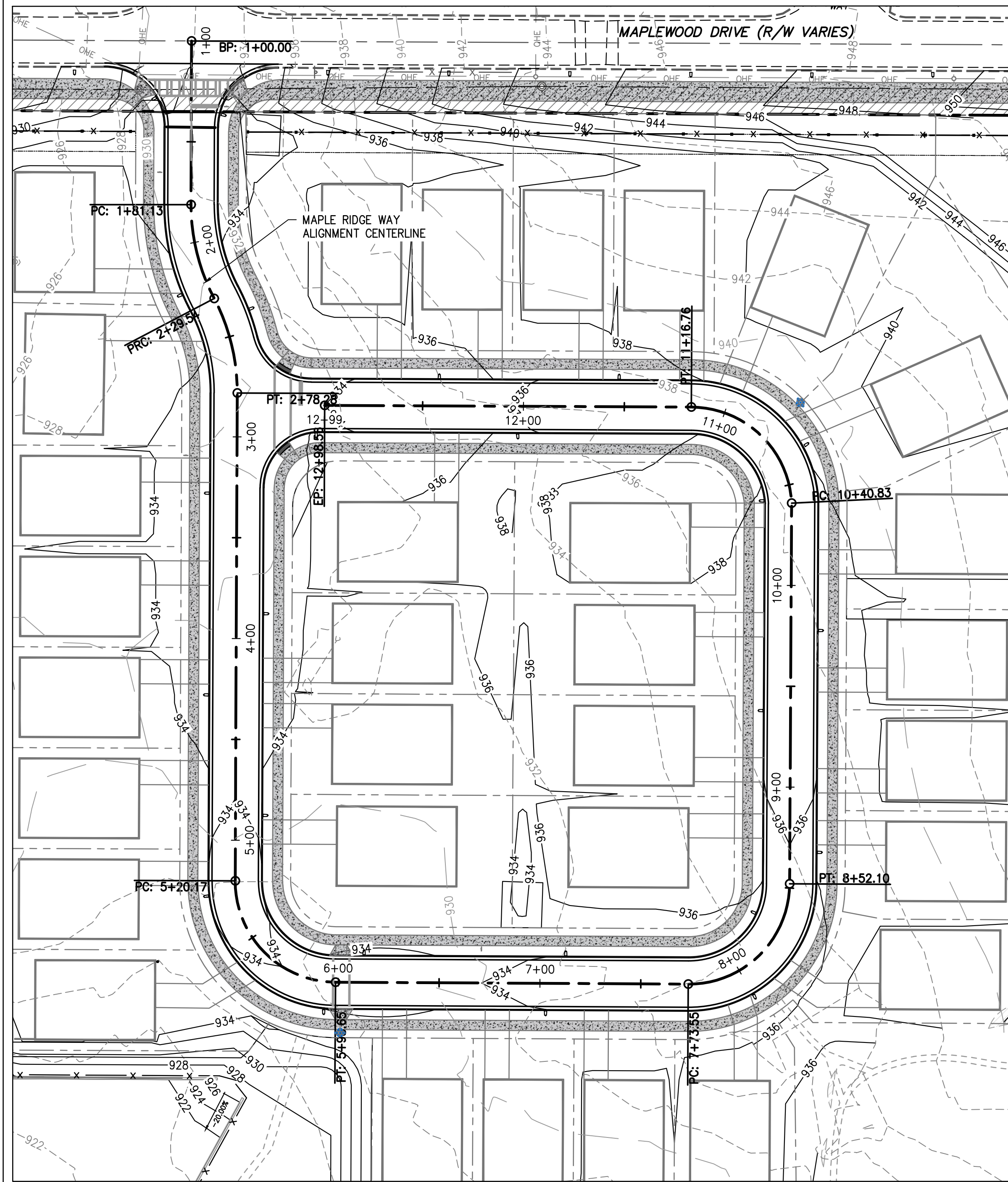
CVE Pl # 21-803

SHEET NO.
C-1.1

Curve #	Length	Radius	Delta	Direction
C1	51.250	127.504	023.0301	N11°29'40.80"W
C3	35.321	72.457	027.9297	N13°42'51.85"W
C6	35.598	77.500	026.3177	S12°55'00.44"E
C8	52.327	77.500	038.6856	N45°25'06.23"W
C9	44.841	77.499	033.1518	N73°44'08.62"E
C10	51.131	77.499	037.8019	N29°18'33.16"E
C11	13.673	77.499	010.1085	N05°21'14.54"E
C13	55.370	77.432	040.9713	S81°01'12.20"E
C14	11.165	75.335	008.4919	N85°33'16.41"W
C16	28.029	22.000	072.9976	S53°13'33.43"E
C17	24.489	127.500	011.0049	S22°13'46.60"E
C18	24.489	127.500	011.0049	S22°13'46.60"E
C21	33.587	22.498	085.5386	N46°58'22.75"W
C22	35.323	22.500	089.9494	S45°17'27.09"W
C23	35.316	22.500	089.9304	S44°43'23.42"E
C24	35.684	22.532	090.7393	N44°54'23.60"E
C27	10.508	117.285	005.1336	N25°22'15.78"W
C28	15.257	77.500	011.2795	S70°24'03.29"E
C32	5.518	77.502	004.0793	N04°10'16.70"W
C34	12.105	77.499	008.9497	N52°41'06.00"E
C35	18.460	77.500	013.6477	N82°51'52.32"W
C39	35.091	72.500	027.7321	S13°51'57.70"E

LOT I.D.	AREA (SQ. FT.)
LOT 1	7992
LOT 2	7159
LOT 3	5195
LOT 4	5232
LOT 5	5268
LOT 6	5305
LOT 7	5431
LOT 8	6734
LOT 9	5453
LOT 10	5448
LOT 11	5442
LOT 12	6682
LOT 13	6080
LOT 14	5581
LOT 15	5222
LOT 16	5221
LOT 17	8050
LOT 18	10357
LOT 19	11558
LOT 20	5896
LOT 21	5894
LOT 22	5894
LOT 23	8928
LOT 24	7091
LOT 25	7096
LOT 26	5501
LOT 27	5496
LOT 28	5501
LOT 29	5497
LOT 30	7095
LOT 31	7099
TOTAL LOT AREA	200398



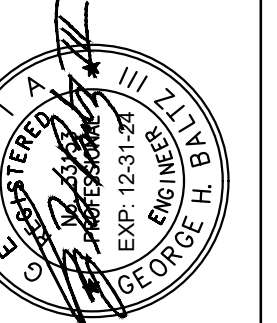


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ROADWAY PROFILE PLAN & SECTION

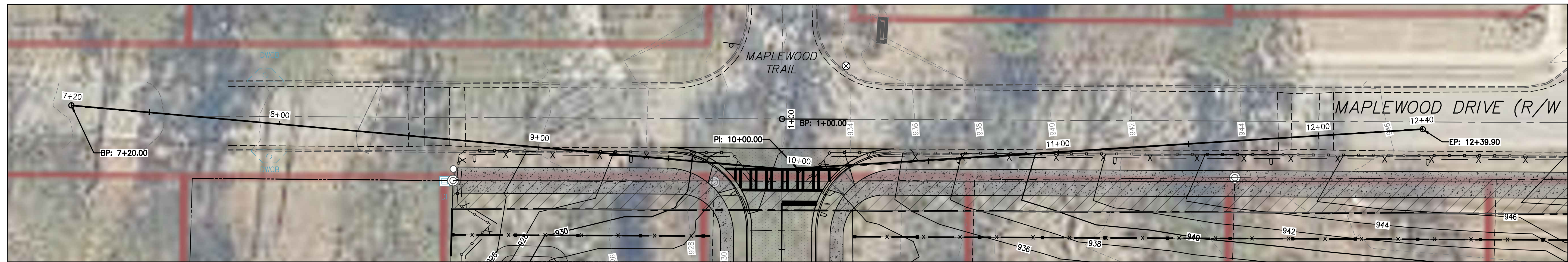
DATE	REVISIONS
01-30-24	COUNTY COMMENTS
08-28-24	COUNTY COMMENTS
09-19-24	COUNTY COMMENTS
11-7-24	COUNTY COMMENTS



CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
4147 MAPLEWOOD DRIVE
LAND LOT 158, 15TH DISTRICT
DEKALB COUNTY, GA, 30035

CVE PI # 21-803

SHEET NO.
C-1.2

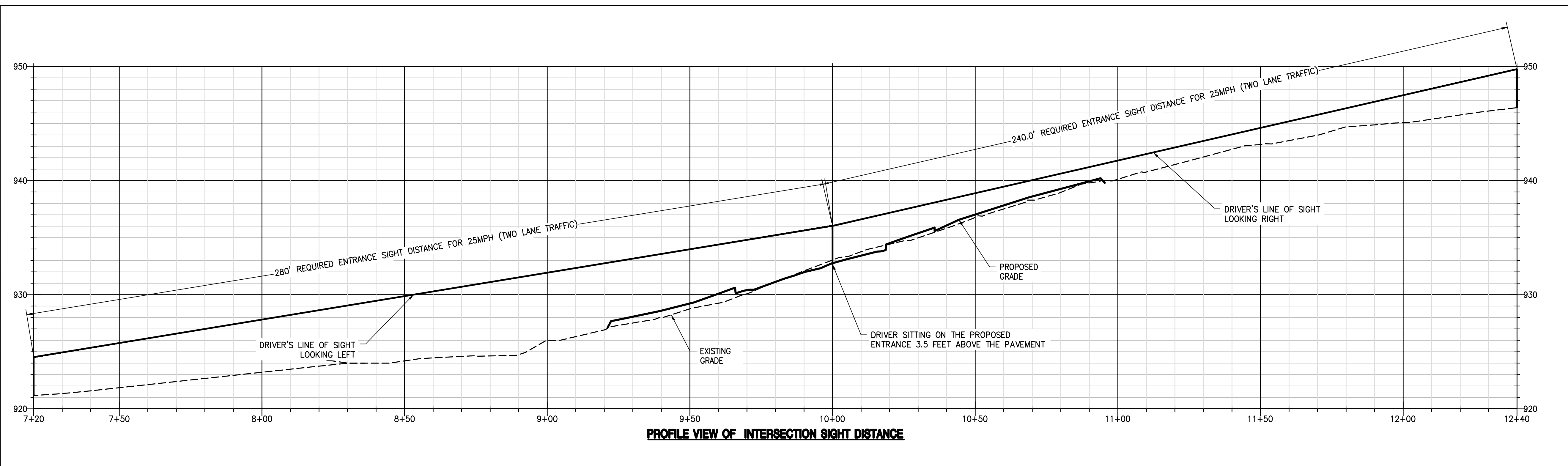


SCALE: 1" = 20'



VERTICAL SCALE: 1" = 10'

HORIZONTAL SCALE: 1" = 20'



PROFILE VIEW OF INTERSECTION SIGHT DISTANCE

Table 4.3. Minimum Recommended Sight Distances Based on Vehicle Maneuver

Vehicle Speed (mph)	Stopping Sight Distance for Left-Turn Maneuver (feet)	Stopping Sight Distance for Crossover and Right-Turn Maneuvers (feet)
15	170	145
20	225	195
25	280	240
30	335	290
35	390	335
40	445	385
45	500	430
50	555	480
55	610	530

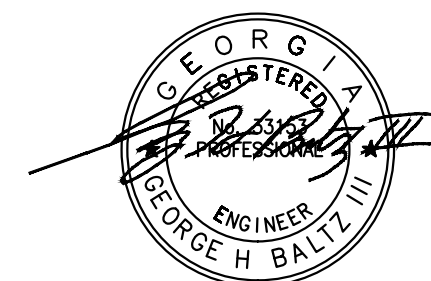
Note: Distances are from the 2001 AASTHO Green Book and are for two-lane roadways. Distances may change in future versions.

SIGHT DISTANCE CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THE SIGHT DISTANCE FOR THE PROJECT IS DESIGNED WITH ADEQUATE DISTANCE. THE REGULATED SPEED LIMIT ON THE APPROACHING THOROUGHFARE IS 25 MPH FOR MAPLEWOOD DRIVE. THE DESIGNED SIGHT DISTANCE PROVIDES VISIBILITY OF 240 FEET TO THE LEFT, AND 280 FEET TO THE RIGHT FOR MAPLEWOOD DRIVE. THE SIGHT DISTANCE SHALL BE MEASURED FROM A POINT OF 15 FEET FROM TRAVEL LANE AT AN EYE LEVEL OF 3.5 FEET AND LOOKING AT AN OBJECT 3.5 FEET ABOVE THE CENTERLINE.

SIGNED: *[Signature]* DATE: 01-30-24

(PLACE STAMP HERE IF NOT ON PLAN)



(NOTE: THIS CERTIFICATION NEEDS TO BE ON PLANS)

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INTERSECTION SIGHT DISTANCE

DATE	REVISIONS
01-30-24	AS SHOWN
08-28-23	COUNTY COMMENTS
09-19-23	COUNTY COMMENTS
11-7-24	COUNTY COMMENTS

CHECKED: GHB



CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
4147 MAPLEWOOD DRIVE
LAND LOT 158, 15TH DISTRICT
DEKALB COUNTY, GA, 30035

CVE PI # 21-803

SHEET NO.
C-1.3



24 HOUR EMERGENCY CONTACT: ALEX CIUCA 404-775-4687

SKETCH PLAT - AP#1246866

SITE AREA = 8.40 AC
DISTURBED AREA = 7.19 AC

EXISTING LEGEND

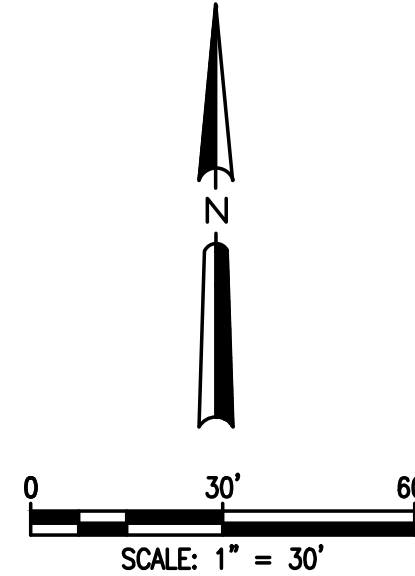
- 1150 --- EXISTING CONTOUR
- PROPERTY LINE
- 18" CMP --- SANITARY SEWER LINE
- OHE --- OVERHEAD POWER LINE
- WATER LINE
- Fo --- FIBER OPTIC LINE
- GAS LINE
- x --- FENCELINE
- ⊙ --- SANITARY SEWER MANHOLE
- PP --- POWER POLE
- ⊠ --- ELECTRIC BOX
- ⊠ --- FIRE HYDRANT
- WM --- WATER METER

PROPOSED LEGEND

- 900 --- CONTOUR
- STORMWATER LINE
- - - - - LIMIT OF DISTURBANCE
- W --- WATER LINE
- SANITARY SEWER PIPING
- ⊙ --- DROP INLET WITH GRATE
- ⊙ --- CURB INLET
- ⊠ --- HEADWALL
- ⊠ --- OUTLET CONTROL STRUCTURE
- ⊙ --- SANITARY SEWER MANHOLE
- ⊙ --- SANITARY SEWER CLEANOUT

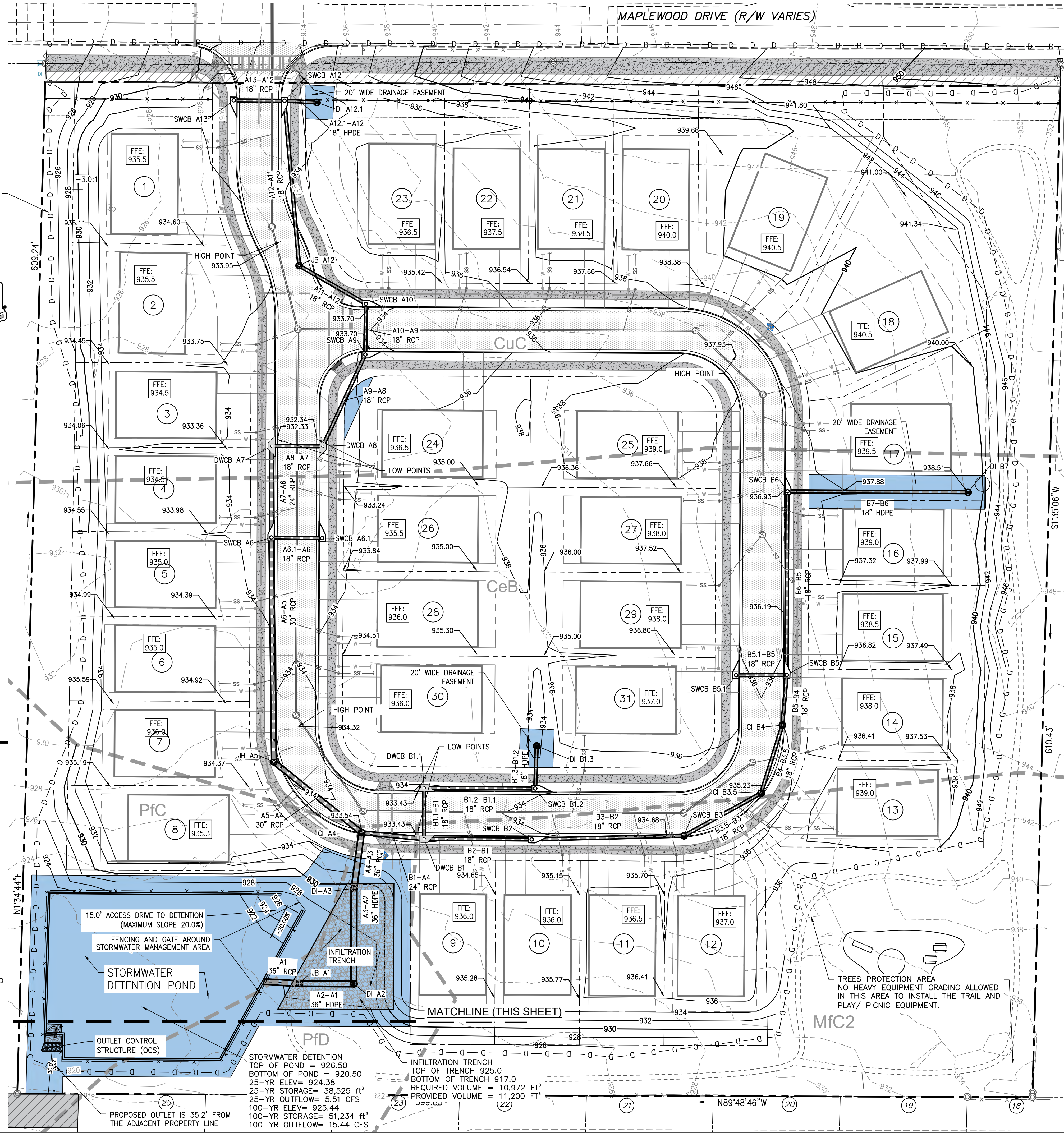
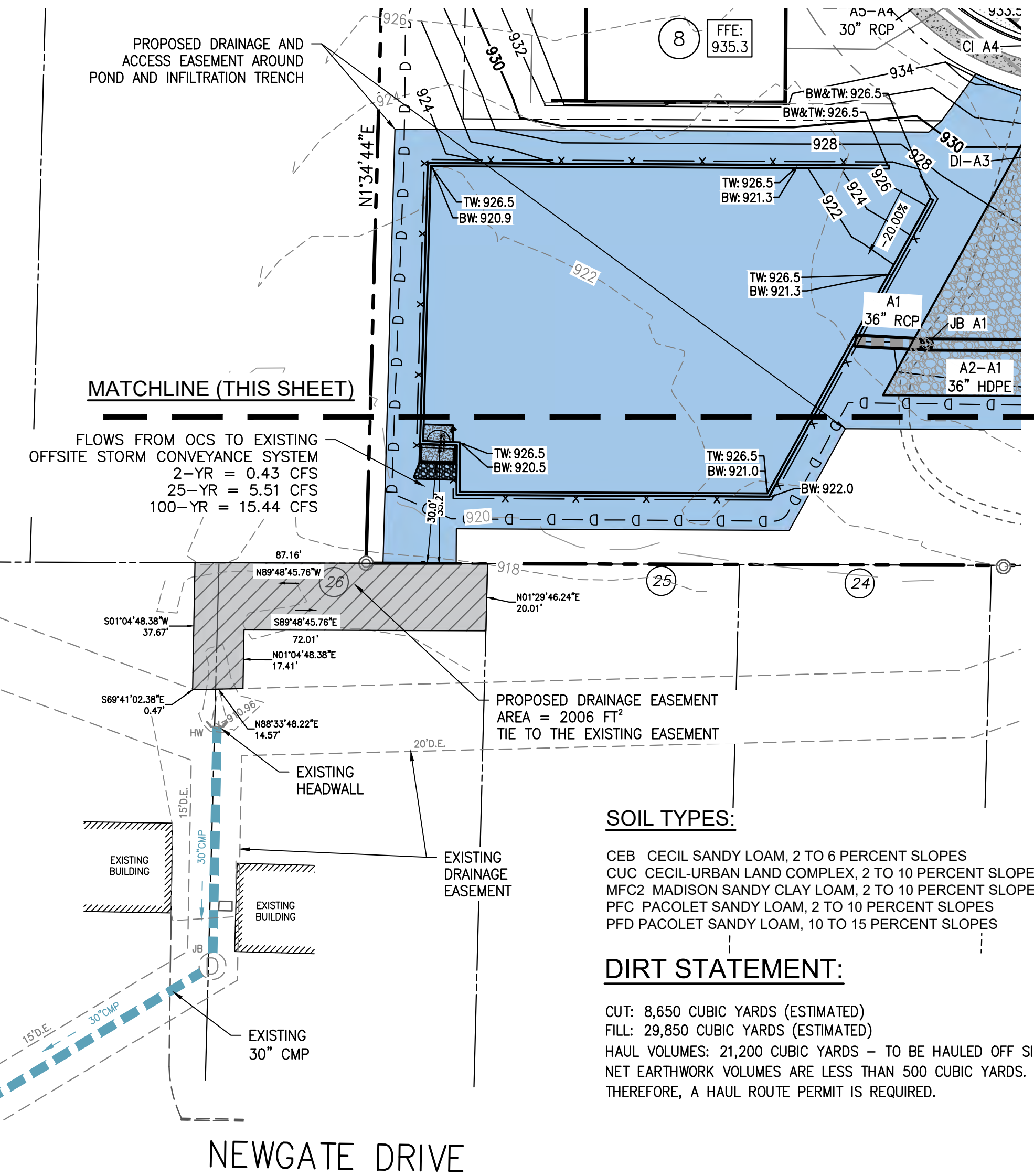


Know what's below.
Call before you dig.



CONSTRUCTION NARRATIVE/ NOTES:

1. THE PROPOSED PLANS CALL FOR THE CONSTRUCTION OF 31 SINGLE FAMILY HOME DEVELOPMENT, ROADS, WALKS, PARKING WITH ACCOMPANYING INFRASTRUCTURE. ALL PHASED EROSION CONTROL BMPs ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.
2. THE STORMWATER INFRASTRUCTURE LOCATED IN THE RIGHT OF WAY SHALL BE OWNED BY DEKALB COUNTY.
3. THE OWNER WILL OWN AND MAINTAIN THE STORMWATER DETENTION POND AND OTHER STORMWATER INFRASTRUCTURE OUTSIDE OF THE RIGHT OF WAY.
4. MAPLE RIDGE WAY WILL BE A PUBLIC ROAD, OWNED AND MAINTAINED BY DEKALB COUNTY.
5. THE PROPOSED SUBDIVISION WILL BE SUBJECT TO PRIVATE COVENANTS AND A HOMEOWNER'S ASSOCIATION WILL BE ESTABLISHED.
6. DRAINAGE AND MAINTENANCE ACCESS EASEMENT REQUIRED ON ALL PIPES, RETENTION/ DETENTION FACILITIES, AND OTHER STORMWATER INFRASTRUCTURE.
7. ALL INFILTRATION TRENCHES AND OTHER STORMWATER STRUCTURAL BMPs ON SITE MUST HAVE DRAINAGE AND MAINTENANCE ACCESS EASEMENTS.



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GRADING AND DRAINAGE PLAN

DATE	REVISIONS
01-30-24	AS SHOWN
11-7-24	COUNTY COMMENTS
11-26-24	ARBORIST COMMENTS
12-2-24	ROAD/ DRAINAGE COMMENTS



CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
4147 MAPLEWOOD DRIVE
LAND LOT 158, 15TH DISTRICT
DEKALB COUNTY, GA. 30035

CVE Pl# 21-803

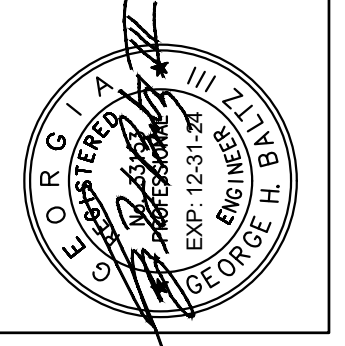
SHEET NO.
C-2

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STORM PROFILES + CHARTS

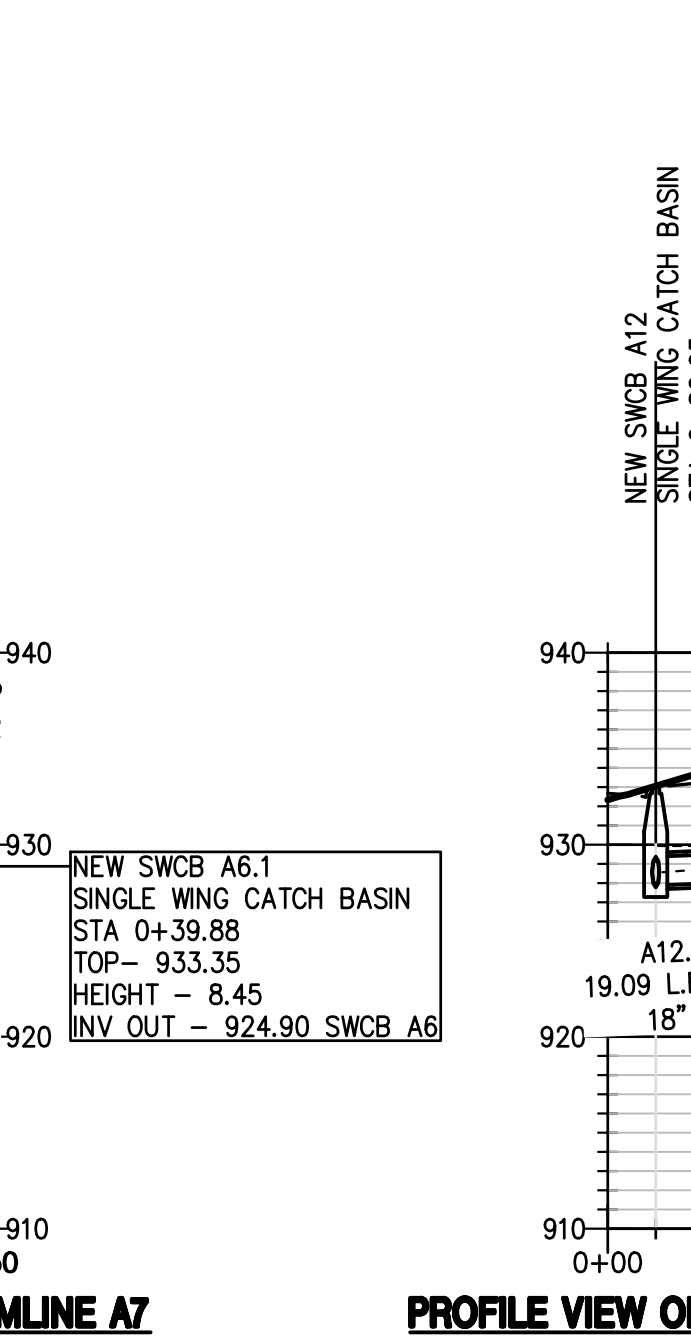
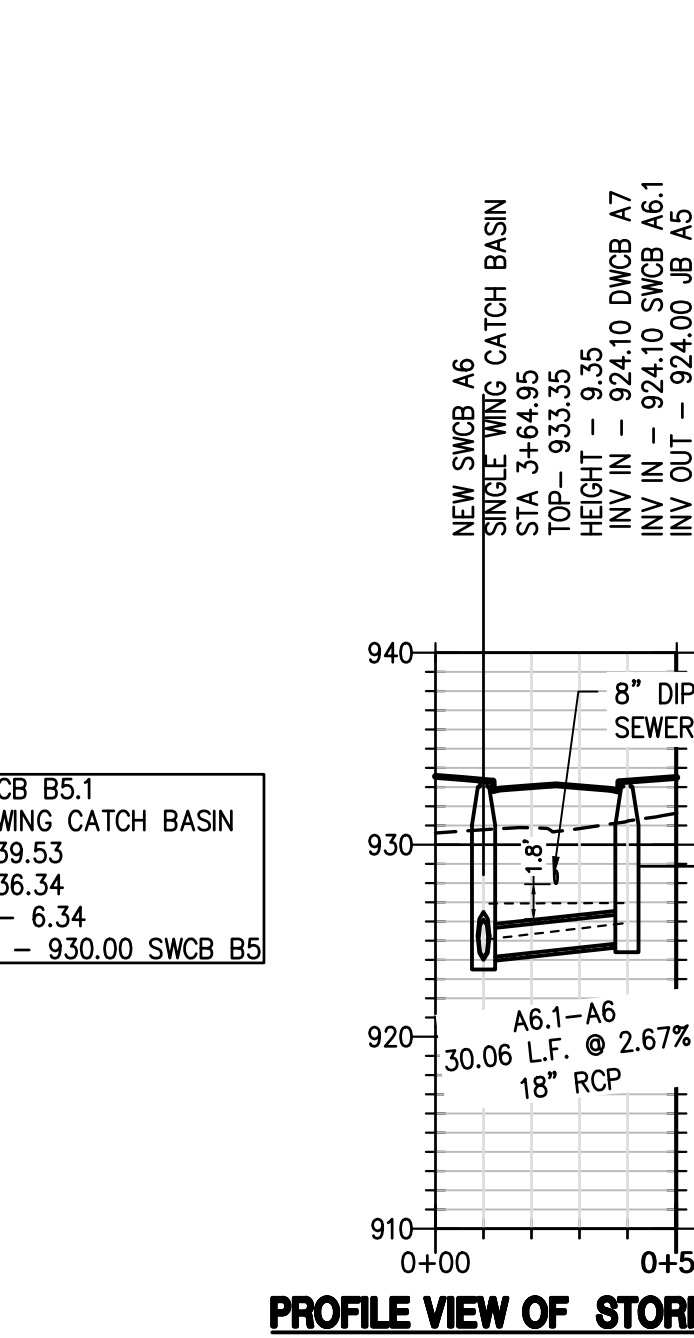
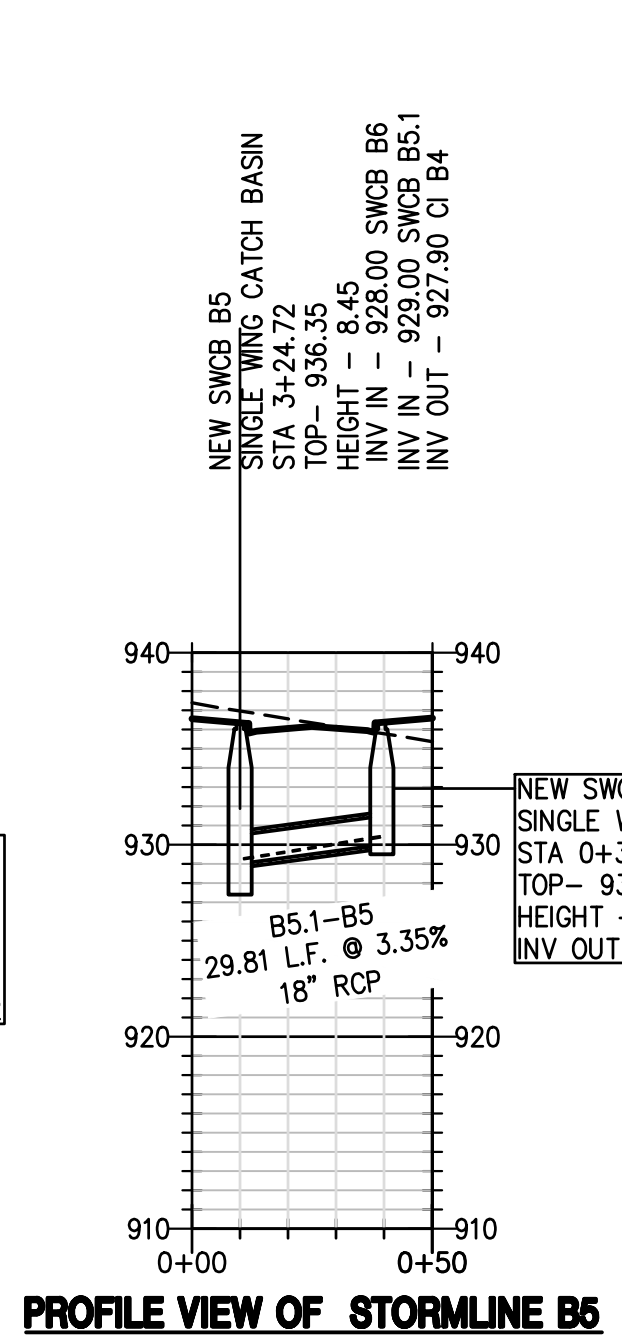
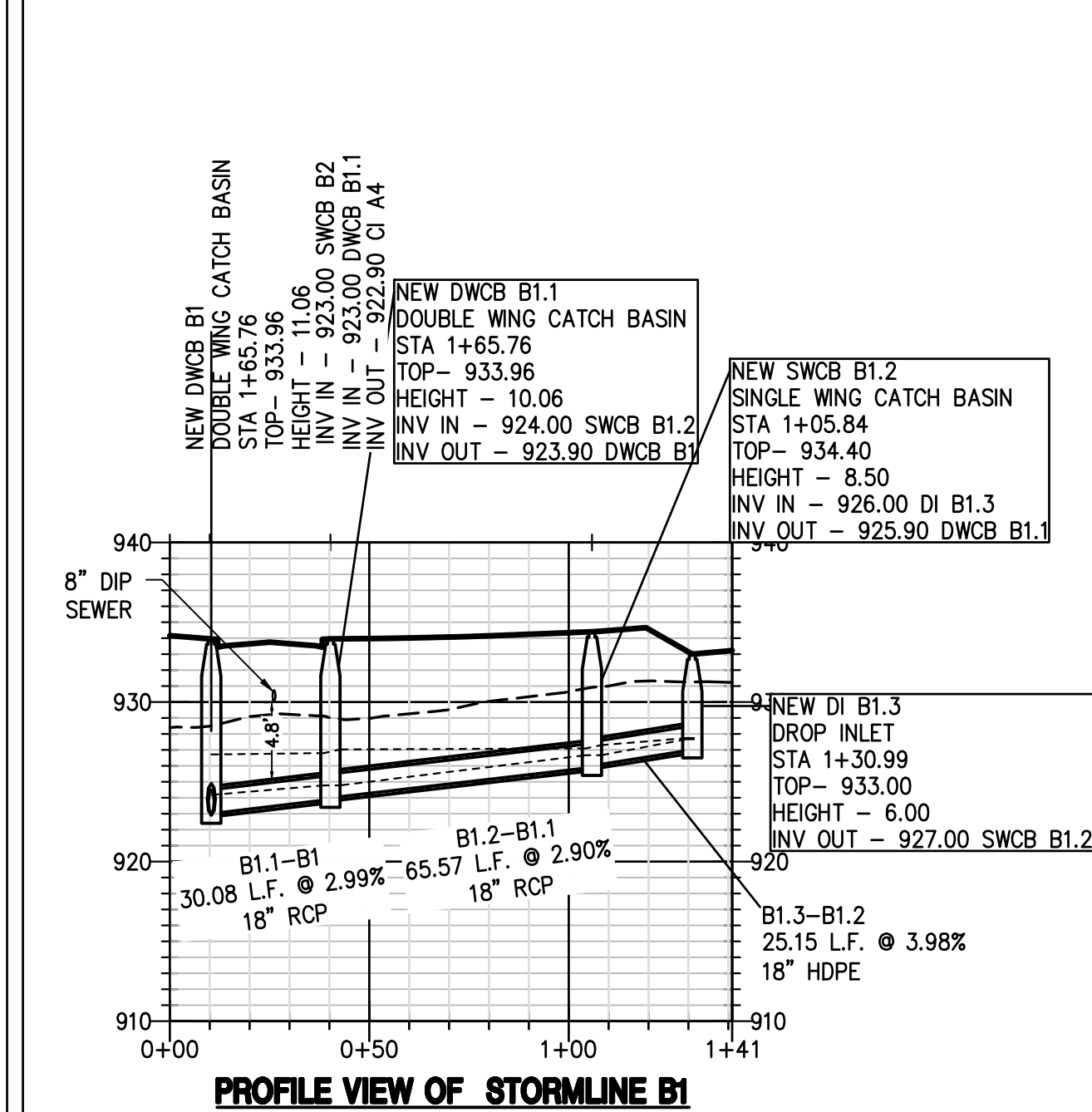
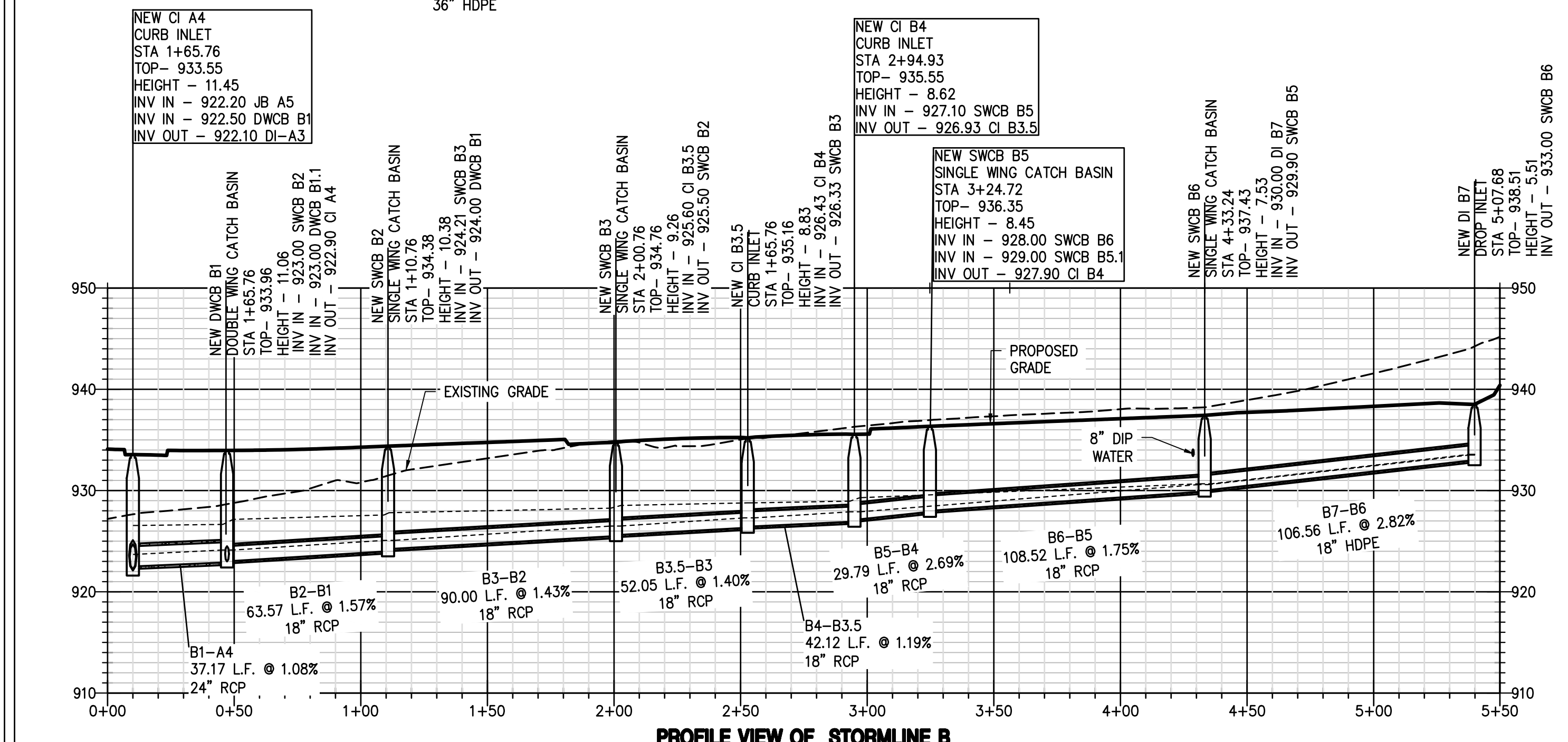
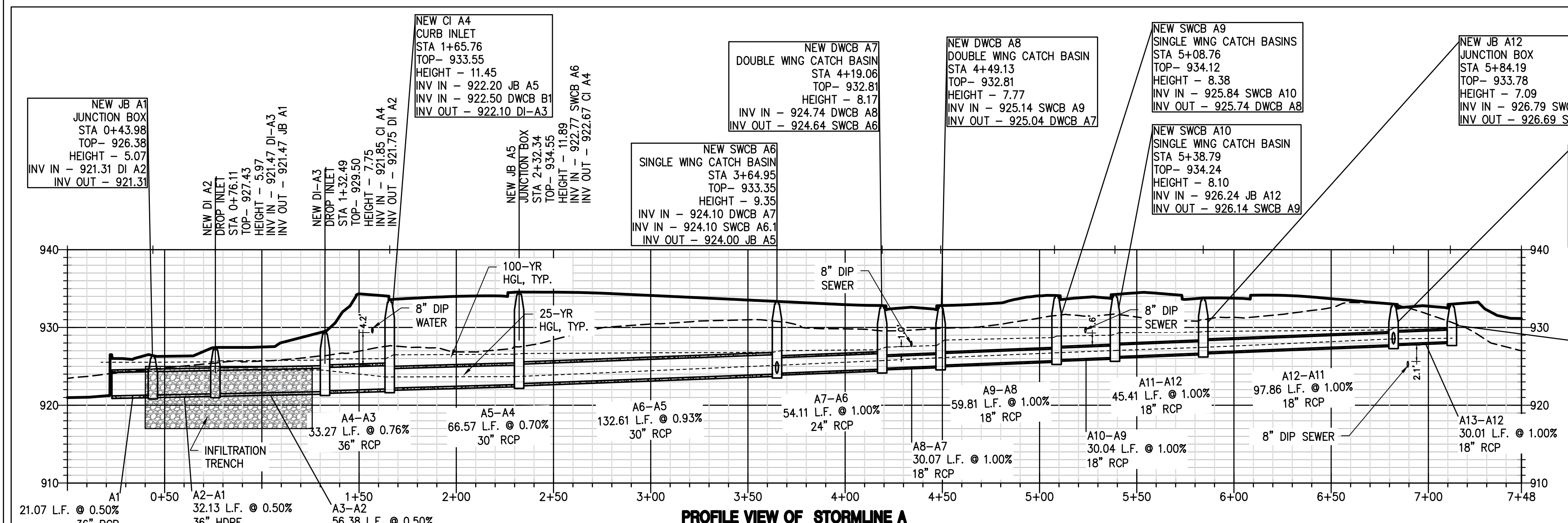
DATE	REVISIONS
01-30-24	08-28-23
AS SHOWN	COUNTY COMMENTS
DRAWN	AS SHOWN
CHECKED	09-19-23
GHB	COUNTY COMMENTS
	11-7-24



CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
 4147 MAPLEWOOD DRIVE
 LAND LOT 158, 15TH DISTRICT
 DEKALB COUNTY, GA. 30035

CVE PI # 21-803

SHEET NO.
C-2.1



INLET CHART FOR Q-10 STORM EVENT

Line No.	Inlet ID	Area (ac)	Inlet Time (min)	Int. Coeff.	Runoff Coeff.	Q (cfs)	Q Carry over (cfs)	Q Captured (cfs)	Q Bypassed (cfs)	Junct. Type	Curb Height (ft)	Curb Length (ft)	Gutter Area (sqft)	Gutter Width (ft)	Gutter Slope (ft/ft)	Gutter Depth (ft)	Cross Slope, Sw (ft/ft)	Cross Slope, Sx (ft/ft)	Local Dep. (ft)	Inlet Depth (ft)	Bypass Depth (ft)	Bypass Spread (ft)	Gutter Depth (ft)	Gutter Spread (ft)	Bypass Line No.	
2	DI A2	0.1	5	7.81	0.3	0.23	0	0.23	0	Grate	.....	.....	2	1	2	Sag	1.5	0.08	0.2	2	0.12	n/a	-0.04	0.65	5ag	
3	CI A3	0.05	5	7.81	0.35	0.18	0.08	0.22	0	Grate	.....	.....	2	1	2	Sag	1.5	0.08	0.2	2	0.12	n/a	-0.05	0.62	5ag	
4	CI A4	0.21	5	7.81	0.72	1.15	0	1.15	0	Comb.	6	3.5	.....	1	2	0.01	1.5	0.08	0.02	2	0.38	0.09	1.09	0.21	6.21	3
5	DWCB B1	0.2	5	7.81	0.8	1.25	0	1.25	0	Curb	6	14	.....	.....	.....	Sag	1.5	0.08	0.02	2	0.36	n/a	0	0.19	5.69	5ag
6	SWCB B2	0.24	5	7.81	0.7	1.31	0	1.31	0	Curb	6	12	.....	.....	.....	0.01	1.5	0.08	0.02	2	0.39	0	0	0.22	6.04	5
7	SWCB B3	0.18	5	7.81	0.67	0.94	0	0.94	0	Curb	6	12	.....	.....	.....	0.01	1.5	0.08	0.02	2	0.37	0	0	0.2	5.54	6
9	CI B4	0.32	5	7.81	0.57	1.42	0	1.27	0.16	Comb.	6	3.5	.....	1	2	0.01	1.5	0.08	0.02	2	0.39	0.11	1.4	0.23	6.8	8
10	SWCB B5	0.27	5	7.81	0.62	1.31	0	1.31	0	Curb	6	12	.....	.....	.....	0.01	1.5	0.08	0.02	2	0.39	0	0	0.22	6.53	9
11	SWCB B6	0.43	5	7.81	0.48	1.61	0	1.61	0	Curb	6	12	.....	.....	.....	0.01	1.5	0.08	0.02	2	0.4	0	0	0.23	7.2	10
12	DI B7	0.86	30	6.01	0.29	1.5	0	1.5	0	Grate	.....	25.49	12.75	2	Sag	1.5	0.08	0.2	2	0.19	n/a	n/a	0.93	1.01	5ag	
13	SWCB B5.1	0.19	5	7.81	0.64	0.9	0	0.9	0	Curb	6	12	.....	.....	.....	0.01	1.5	0.08	0.02	2	0.36	0	0	0.2	5.41	10
15	SWCB A5	0.25	5	7.81	0.72	1.41	0	1.41	0	Curb	6	12	.....	.....	.....	0.01	1.5	0.08	0.02	2	0.39	0	0	0.23	6.76	14
16	DWCB A7	0.39	5	7.81	0.67	2.04	0	2.04	0	Curb	6	14	.....	.....	.....	Sag	1.5	0.08	0.02	2	0.4	n/a	n/a	0.23	7.06	5ag
17	DWCB A8	0.26	5	7.81	0.63	1.28	0	1.28	0	Curb	6	14	.....	.....	.....	Sag	1.5	0.08	0.02	2	0.36	n/a	n/a	0.19	5.17	5ag
18	SWCB A9	0.31	5	7.81	0.6	1.45	0	1.45	0	Curb	6	12	.....	.....	.....	0.015	1.5	0.08	0.02	2	0.38	0	0	0.21	6.23	17
19	SWCB A10	0.37	5	7.81	0.67	1.94	0	1.94	0	Curb	6	12	.....	.....	.....	0.015	1.5	0.08	0.02	2	0.4	0	0	0.23	7.14	18
21	SWCB A12	0.11	5	7.81	0.49	0.42	0	0.42	0	Curb	6	12	.....	.....	.....	0.02	1.5	0.08	0.02	2	0.31	0	0	0.14	2.57	20
22	DI A12.1	1.06	30	6.01	0.34	2.17	0	2.17	0	Grate	.....	40.4	20.2	2	Sag	1.5	0.08	0.2	2	0.19	n/a	n/a	0.93	1.01	5ag	
23	SWCB A13	0.2	5	7.81	0.75	1.17	0	1.17	0	Curb	6	12	.....	.....	.....	0.02	1.5	0.08	0.02	2	0.36	0	0	0.19	5.18	21
24	DWCB B1.1	0.2	5	7.81	0.69	1.06	0	1.06	0	Curb	6	14	.....	.....	.....	Sag	1.5	0.08	0.02	2	0.35	n/a	n/a	0.18	4.57	5ag
25	SWCB B1.2	0.15	5	7.81	0.57	0.8	0	0.8	0	Curb	6	12	.....	.....	.....	0.01	1.5	0.08	0.02	2	0.36	0	0	0.19	5.09	24
26	DI B1.3	0.45	5	7.81	0.59	2.07	0	2.07	0	Grate	.....	27.66	13.83	2	Sag	1.5	0.08	0.2	2	0.23	n/a	n/a	0.06	1.2	5ag	
27	SWCB A6.1	0.23	5	7.81	0.63	1.13	0	1.13	0	Curb	6	12	.....	.....	.....	0.01	1.5	0.08	0.02	2	0.38	0	0	0.21	6.08	15

PIPE CHART FOR Q-25 STORM EVENT

Line	To Line	Line Length (ft)	Incr. Area (ac)	Total Area (ac)	Runoff Coeff. (C)	Incr. C x A	Total C x A	Total Time (min)	Rfalf Int. (min)	Total Runoff (cfs)	Adnl Flow (cfs)	Total Flow (cfs)	Capac Full (cfs)	Veloc. (ft/s)	Pipe Size (in)	Pipe Slope (%)	Inv Elev Dn (ft)	Inv Elev Up (ft)	HGLDn (ft)	HGLUp (ft)	Grnd/ Rim (ft)	Grnd/ Rim (ft)	Line ID	
1	Outfall	21.07	0	7.05	0	0	3.82	0	14.8	5.9	22.53	0	22.5	5.2	3.19	0.52	921.2	921.31	924.33	924.35	928.82	930	A1	
2	1	32.13	0.1	7.05	0.3	0.03	3.82	5	14.6	5.9	22.65	0	22.7	5.09	3.21	0.5	921.31	921.47	924.37	924.4	930	931.19	A2-A1	
3	2	56.38	0.05	6.95	0.35	0.02	3.79	5	14.4	6	22.69	0	22.7	5.09	3.27	0.5	921.47	921.75	924.48	924.53	931.19	932.37	A3-A2	
4	3	33.27	0.21	6.9	0.72	0.15	3.77	5	14.2	6	22.72	0	22.7	5.781	4.8	0.75	921.85	922.1	924.61	923.63	932.37	933.55	A4-A3	
5	4	37.17	0.2	3.51	0.8	0.16	1.87	5	14	6.1	11.35	0	11.4	23.46	5.95	24	1.08	922.5	922.9	923.69	924.11	933.55	933.96	B1-A4
6	5	63.57	0.24	2.48	0.7	0.17	1.21	5	13.8	6.1	7.39	0	7.39	14.27	5.43	18	1.57	923	924	924.11	925.05	933.96	934.38	B2-B1
7	6	90	1.18	2.24	0.67	0.12	1.04	5	13.4	6.2	6.45	0	6.45	13.62	5.79	18	1.43	924.21	925.5	924.05	926.48	934.38	935.17	B3-B2
8	7	52.05	0	2.06	0	0	0.92	0	13.2	6.3	5.76	0	5.76	13.47	5.18	18	1.4	925.6	926.33	926.48	927.26	935.17	935.21	B3.5-B3
9	8	42.12	0.32	2.06	0.57	0.18	0.92	5	13	6.3	5.8	0	5.8	12.39	5.44	18	1.19	926.43	926.93	927.26	927.86	935.21	935.24	B4-B3.5
10	9	29.79	0.27	1.74	0.62	0.17	0.74	5	12.8	6.3	4.68	0	4.68	18.64	4.94	18	2.69	927.1	927.9	927.86	928.73	935.24	936.35	B5-B4
11	10	108.515	0.43	1.29	0.48	0.21	0.46	5	11.8	6.6	3.01	0	3.01	15.05	3.77	18	1.75	928	929.9	930.56	930.56	936.35	937.43	B6-B5
12	11	106.565	0.86	0.86	0.29	0.25	0.25	10	7.1	1.77	0	1.77	17.62	3.19	18	2.82	930	933	930.56	933.5	937.43	938.51	B7-B6	
13	10	30.097	0.18	0.18	0.64	0.12	0.12	5	5	9.3	1.07	0	1.07	19.14	4.4	18	3.32	929	930	930.56	930.56	936.35	936.38	B5.1-B5
14	4	66.57	0	3.18	0	0	1.75	5	13.1	6.3	10.97	0	11	41.14	4.12	30	1.01	921.9	922.57	923.63	923.63	933.55	934.1	A5-A4
15	14	132.61	0.25	3.18	0.72	0.18	1.75	5	12.1	6.5	11.38	0	11.4	41.07	5.71	30	1	922.67	924	923.68	925.13	934.1	933.55	A6-A5
16	15	54.111	0.39	2.7	0.67	0.26	1.42	5	11.8	6.6	9.37	0	9.37	24.48	5.55	24	1	924.1	924.64	925.13	925.73	933.55	932.81	A7-A6
17	16	30.07	0.26	2.31	0.63	0.16	1.16	5	11.7	6.6	7.69	0	7.69	11.36	5.94	18	1	924.74	925.04	924.61	925.11	932.81	932.8	A8-A7
18	17	59.81	0.31	2.05	0.6	0.19	1	5	11.4	6.7	6.67	0	6.67	11.39	5.42	18	1	925.14	925.74	926.11	926.74	932.8	932.83	A9-A8
19	18	30.04	0.37	1.74	0.67	0.25	0.81	5	11.3	6.7	5.47	0	5.47	11.37	4.94	18	1	925.84	926.14	926.74	927.04	932.83	934.27	A10-A9
20	19	45.41	0	1.37	0	0	0.56	5	10.9	6.8	3.85	0	3.85	11.32	4.19	18	0.99	926.24	926.69	927.04	927.44	934.27	933.77	A11-A10
21	20	97.86	0.11	1.37	0.49	0.05	0.56	5	10.2	7	3.97	0	3.97	11.38	4.91	18	1	926.79	927.77	927.44	928.53	933.77	933	A12-A11
22	21	19.089	1.06	1.06	0.34	0.36	0.36	10	7.1	2.56	0	2.56	10.48	3.62	18	1	927.87	928.06	928.53	928.67	933	934.71	A12.1-A12	
23	21	30.014	0.2	0.2	0.75	0.15	0.15	5	5	9.3	1.39	0	1.39	11.37	2.52	18	1	927.87	928.17	928.67	928.67	933	932.99	A13-A12
24	5	30.08	0.2	0.83	0.68	0.14	0.5	5	5.9	8.8	4.43	0	4.43	18.64	3.87	18	2.99	923	923.9	924.11	924.71	933.96	933.96	B1.1-B1
25	24	65.574	0.18	0.63	0.57	0.1	0.37	5	5.3	9.1	3.35	0	3.35	17.88	4.13	18	2.9	924	925.9	924.71	926.6	933.96	934.4	B1.2-B1.1
26	25	25.147	0.45	0.45	0																			

Grading Notes:

- PHASE 1 EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION.
 - SEDIMENT BASINS MUST BE CONSTRUCTED PRIOR TO ANY OTHER WORK. DETENTION & SEDIMENT BASINS MUST BE CLEANED OF ALL SILT AND SEDIMENT UPON COMPLETION AND ESTABLISHMENT OF PERMANENT VEGETATION.
 - AFTER SITE CLEARING AND PREPARATION, CONTRACTOR SHALL HAVE A GEOTECHNICAL ENGINEER EVALUATE THE EXPOSED SUBGRADE. THIS EVALUATION SHOULD INCLUDE PROOF ROLLING OF SUBGRADE SOILS TO VERIFY THAT THE SUBGRADE IS OF SUFFICIENT COMPACTION AND MATERIAL FOR PLACEMENT OF FILL TO BEG. IF REMEDIAL WORK IS REQUIRED, CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER BEFORE PROCEEDING.
 - CONTRACTOR SHALL COORDINATE ALL EARTHWORK OPERATION WITH A GEOTECHNICAL ENGINEER. THIS ENGINEER SHALL BE RESPONSIBLE FOR MONITORING AND SUPERVISING ALL EXCAVATION AND PLACEMENT OF FILL MATERIALS FOR THE SITE. ALL FILL MUST BE TESTED FOR COMPACTION AND QUALITY DURING THE GRADING OPERATION. PLACE FILL MATERIALS ON CONTINUOUS LAYERS AND COMPACT IN ACCORDANCE WITH ASTM D698. FILL MATERIAL MUST BE CLEAN INORGANIC NATURAL SOIL. FILLS OF OVER 5' OR LOCATED IN NEW BUILDING OR PARKING AREAS MUST BE SUPERVISED BY A GEOTECHNICAL ENGINEER. SUPERVISED BY A GEOTECHNICAL ENGINEER.
- COMPACTION REQUIREMENTS USING STD PROCTOR COMPACTION TEST ASTM D698 (%=MAX. DENSITY AT OPTIMUM MOISTURE CONTENT)
- UNPAVED AREAS: TOP 6 INCHES OF SUBGRADE AND SUBSEQUENT LIFTS / 90% SPT
 PAVED AREAS: 95% SPT EXCEPT FOR TOP ONE FOOT WHICH WILL BE COMPACTED 98% OF SOIL'S MAX. DRY DENSITY
 EXTERIOR RAMPS/STEPS: 95% SPT
 BUILDING SLABS: 98% OF SOIL'S MAX. DRY DENSITY
 FILL WALLS: 95% SPT
- COMPACTION ZONE FOR THESE AREAS SHALL INCLUDE A BEARING PLANE OF 1:1 FOR FILL AREAS WHICH SHALL EXTEND TO APPROVED SUBGRADE. COMPACTION REQUIREMENTS UNDER CURBING IS CONSIDERED UNDER PAVED AREAS REQUIREMENTS.
- ALL GRADES SLOPE AWAY FROM BUILDING A MINIMUM OF 3" IN 10 FT. ADDITIONAL POSITIVE DRAINAGE WILL BE REQUIRED FOR BUILDINGS, WHEN BUILDINGS ARE LOCATED WITHIN 20 FEET OF AN UPWARD SLOPE.
 - EXCAVATION AND TRENCHES MUST BE CUT SUFFICIENTLY WIDE TO ENABLE INSTALLATION AND ALLOW INSPECTION. ALL CONSTRUCTION AND SAFETY REGULATIONS MUST BE FOLLOWED AT ALL TIMES MEETING APPLICABLE COUNTY, STATE AND FEDERAL CONSTRUCTION SAFETY STANDARDS.
 - DISCOVERY OF UNSUITABLE SOILS OR ROCK MUST BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER. ALL EARTHWORK MUST NOT PROCEED AT THAT POINT UNTIL OWNER RELEASES THE CONTRACTOR TO PROCEED.
 - MAXIMUM GRADED SLOPE ALLOWED 3H: 1V.
 - CONTRACTOR MUST HAVE GEOTECHNICAL ENGINEER OBSERVE AND APPROVE THE PROOF ROLLING OF ADDITIONAL PARKING AND DRIVE AREAS BEFORE AGGREGATE BASE COURSE IS APPLIED AND ALSO BEFORE THE ASPHALT OR CONCRETE IS APPLIED.
 - PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
 - CONNECT ALL DOWNSPOUTS WITH DOWNSPOUT BOOT TO ROOF DRAIN PIPING. ROOF STORM DRAIN SHALL BE A SOLID PVC SCH 40 WITH A MIN. 1" FOOT COVER. ROOF DRAIN SYSTEM SHALL BE A MIN. OF 5' AWAY FROM THE EXT. WALL AND SLOPED AT A MIN. OF 2.0% FROM ROOF DOWNSPOUTS TO THE STORM SEWER STRUCTURE. ROOF DRAINS MUST HAVE CLEANOUTS AT ALL BENDS.
 - ALL SLOPES AND AREAS TO BE LANDSCAPED OR GRASSED SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. NOTE USE OF TOPSOIL DOES NOT CHANGE FINISH GRADE CONTOURS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
 - CONTRACTOR SHALL OBSERVE, PROTECT, AND PRESERVE ALL AREAS SHOWN TO BE PROTECTED SUCH AS TREE PROTECTED AREAS, UNDISTURBED BUFFERS, WETLANDS, STREAMS, STREAM BUFFERS, CEMETERIES, STRUCTURES TO REMAIN, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS, DAMAGES, FINES, AND PENALTIES ASSOCIATED WITH FAILING TO PROTECT PROTECTED AREAS.
 - UNDERPIN ANY ADJACENT WALL OR STRUCTURES WHICH MAY BE DAMAGED BY EXCAVATION WORK. COORDINATE UNDERPINNING WITH PROJECT STRUCTURAL ENGINEER.
 - CONTRACTOR SHALL PROVIDE TEMPORARY DIVERSION DEVICES FOR OFFSITE DRAINAGE, ONSITE DRAINAGE, EXISTING STORM PIPING AND ROOF DRAINAGE AS NECESSARY TO CONTROL STORM WATER RUNOFF DURING CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EARTHWORK AND GRADING OPERATIONS FROM GRADING, SEDIMENTATION, OR DAMAGE DURING CONSTRUCTION. REPAIR OR REPLACEMENT OF EARTHWORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER. REMOVING AND CLEANING UP SEDIMENT ACCUMULATIONS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
 - AT THE END OF EACH DAY, AREAS FILLED THAT DAY MUST BE SEALED COMPLETELY BY COVERAGES BY ROLLING WITH A LOADED EARTH MOVING SCRAPER, DUMP TRUCK OR LARGE RUBBER TIERED ROLLER.
 - ROOF ROLL COMPACTED FILL SURFACES UNDER SLABS-ON-GRADE, PAVERS, AND PAVING IMMEDIATELY BEFORE THESE STRUCTURAL SURFACES ARE PLACED. THE SOILS ENGINEER SHALL WITNESS AND APPROVE ALL SUBGRADES BEFORE STRUCTURAL SURFACES ARE PLACED.
 - CONTRACTOR SHALL PROVIDE ALL EXCAVATING, FILLING, BACKFILLING, IMPORTING, EXPORTING, AND GRADING REQUIRED TO BRING ENTIRE PROJECT TO THE FINAL GRADES AND ELEVATIONS SHOWN IN THE DESIGN DOCUMENTS.
 - THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD "PIPE CULVERTS" NUMBER 10300, LATEST EDITION SHALL BE USED IN DETERMINING THE CLASS OF REINFORCED CONCRETE PIPE OR GAUGE OF CORRUGATED STEEL PIPE OR TYPE 2 CORRUGATED ALUMINUM PIPE UNDER FILL AND THE METHOD OF BACKFILLING.
 - FIELD JOINTS FOR CORRUGATED PIPE SHALL BE MADE WITH BANDS OF THE SAME BASE METAL AND COATING AS THE CORRUGATED PIPE. BANDS SHALL BE OF THE HUGGER TYPE, DESIGNED TO FULLY ENGAGE AT LEAST ONE ANNULAR CORRUGATION AT THE END OF EACH CORRUGATED PIPE AROUND ITS ENTIRE CIRCUMFERENCE. MINIMUM BAND WIDTH SHALL EQUAL THE CENTERLINE LENGTH OF FOUR (4) ANNULAR CORRUGATIONS. BANDS SHALL CONFORM TO CURRENT ASTM / AASHTO INDUSTRY STANDARDS AS TO SECURING BOLTS, THEIR NUMBER AND PLACEMENT.
 - CONCRETE PIPE SECTIONS MAY BE JOINED WITH BITUMINOUS PLASTIC CEMENT JOINTS, RUBBER-TYPE GASKET JOINTS, O-RING GASKET JOINTS OR PRE-FORMED PLASTIC GASKET JOINTS. IN BITUMINOUS PLASTIC CEMENT JOINTS, THE ANNULAR SPACE SHALL BE FILLED WITH JOINT MATERIAL, AND THE INSIDE OF EACH JOINT WPED SMOOTH. RUBBER-TYPE, O-RING, AND PRE-FORMED PLASTIC GASKET JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - ALL CATCH BASINS, DROP INLETS OR OTHER DRAINAGE STRUCTURES SHALL COMPLY WITH THE LATEST STANDARDS APPROVED AND PROMULGATED BY THE GEORGIA DEPARTMENT OF TRANSPORTATION IN "STANDARDS SPECIFICATIONS FOR CONSTRUCTION OR ROADS AND BRIDGES", LATEST EDITION.
 - ALL ORGANICS AND TOP SOIL SHALL BE REMOVED FROM THE ENTIRE FOOTPRINT OF THE BUILDING.
 - FOR ASCMP STORM PIPE BENEATH PAVED SURFACES, PROVIDE #57 STONE BEDDING UP TO THE SPRING LINE.
 - ALL STORMWATER INFRASTRUCTURE ON THIS SITE (OUT OF THE R/W) ARE PRIVATELY OWNED, AND ANY MAINTENANCE OR REPLACEMENT IS THE OWNER'S RESPONSIBILITY.
 - ALL SITE WALLS ARE TO BE DESIGN/BUILT BY THE CONTRACTOR. THE ENGINEER OF RECORD FOR THE SITE WALLS SHALL DESIGN THE DRAINAGE SYSTEM REQUIRED TO REMOVE POTENTIAL GROUND WATER FROM BEHIND THE WALLS. NO WALL DRAINAGE SYSTEMS ARE SHOWN ON THESE DRAWINGS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR REVIEW OF THE PROPOSED WALL DRAINAGE SYSTEM.

Runoff Reduction/Stone Storage Infiltration Trench Calculations

Infiltration Trench Calculations	
Area	3500 FT
Depth (Below Invert of Routing Orifice) =	8 FT
Trench Volume =	28000 FT
Provided RRv (Trench Volume x 0.4) =	11200 CF

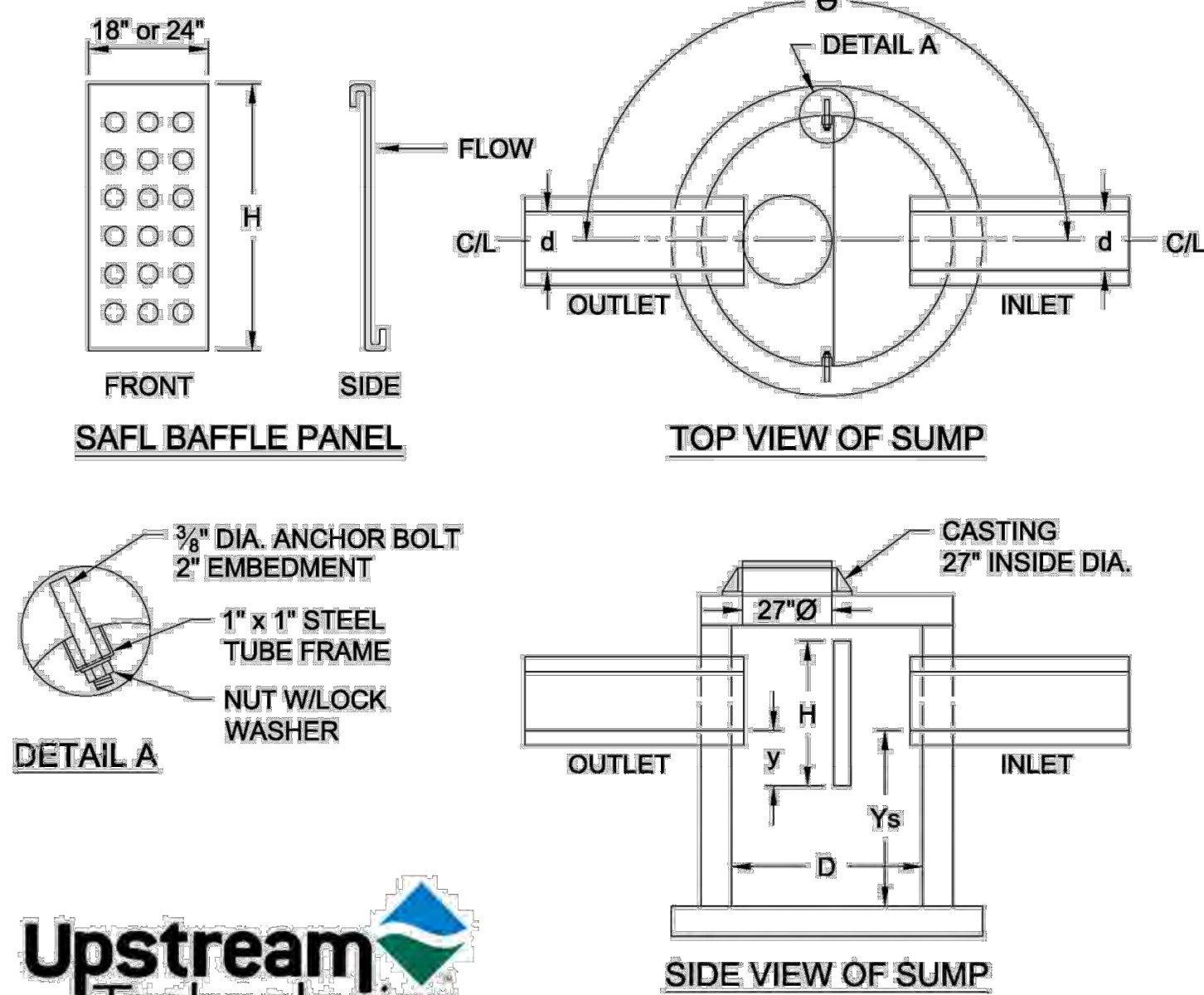
Water Quality /Runoff Reduction Calculations

Water Quality Volume (WQv)/Runoff Reduction (RRv) Per GSWMM Section 2.2.4.1

Site Area (A) =	278348 SF
Treated Impervious Area =	128850 SF
% Impervious (I) =	47 %
RRv = (1.0.Rv.A)/12	RRv = 10972 CF
Rv = 0.05 + I*(0.009)	Rv = 0.473
WQv = 1.2*Rv*A/12	WQv = 13166 CF

d (IN.)	H (IN.)	Θ (DEG.) MIN.	Θ (DEG.) MAX.	y (IN.)	Ys	D
12	34	130	230	12		
15	34	130	230	12		
18	34	130	230	12		
21	44	140	220	12		
24	44	140	220	12		
27	44	140	220	12		
30	54	150	210	12		
36	54	150	210	12		

MIN. 4 FT. VARIES



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SAFL BAFFLE STRUCTURE	STANDARD SUMP MANHOLE W/BAFFLE	SAFL BAFFLE
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STANDARD 3' X 3' POMONA FLAT ALUMINUM PIPE PRODUCTS BAR TRASH RACK

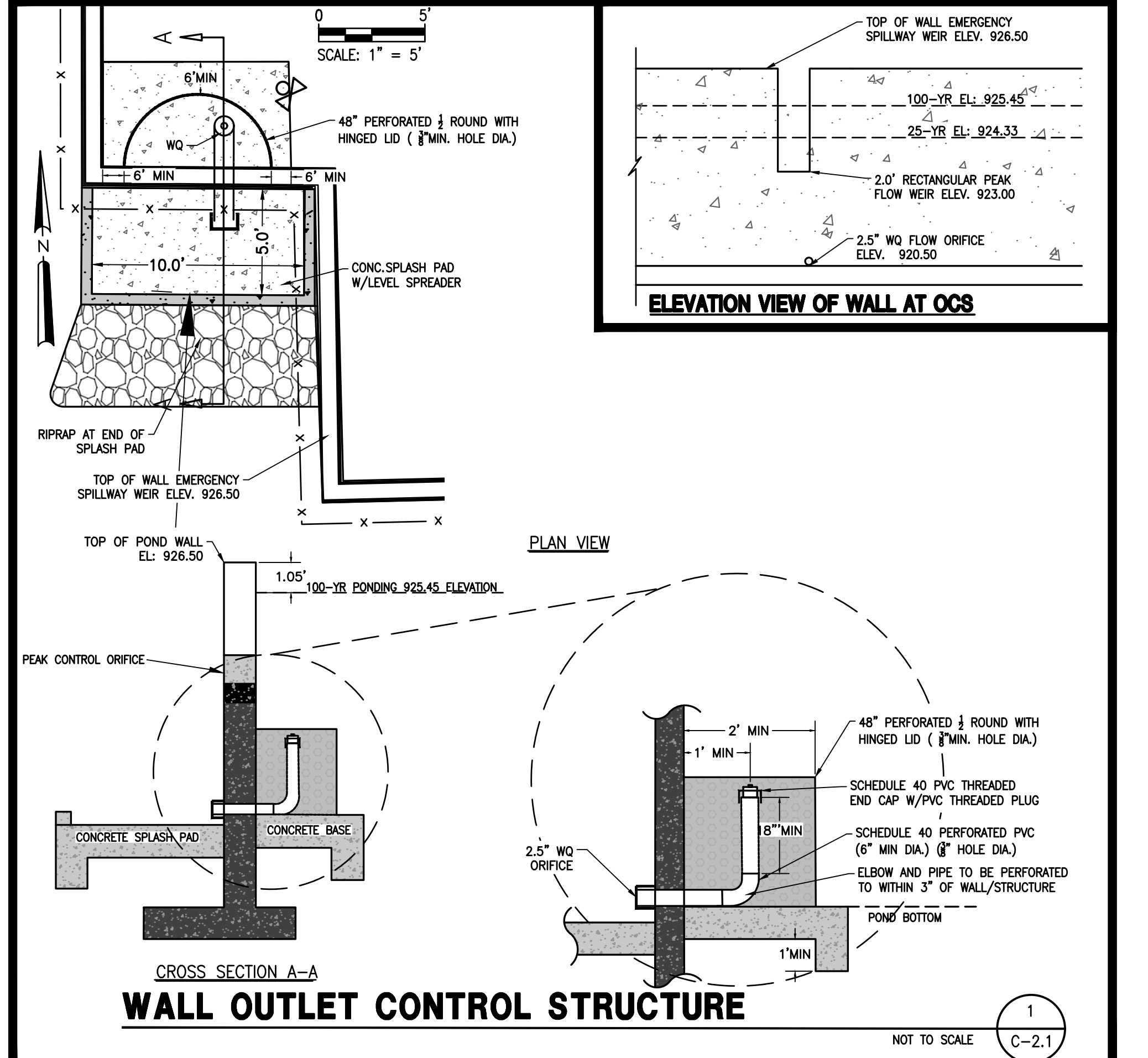
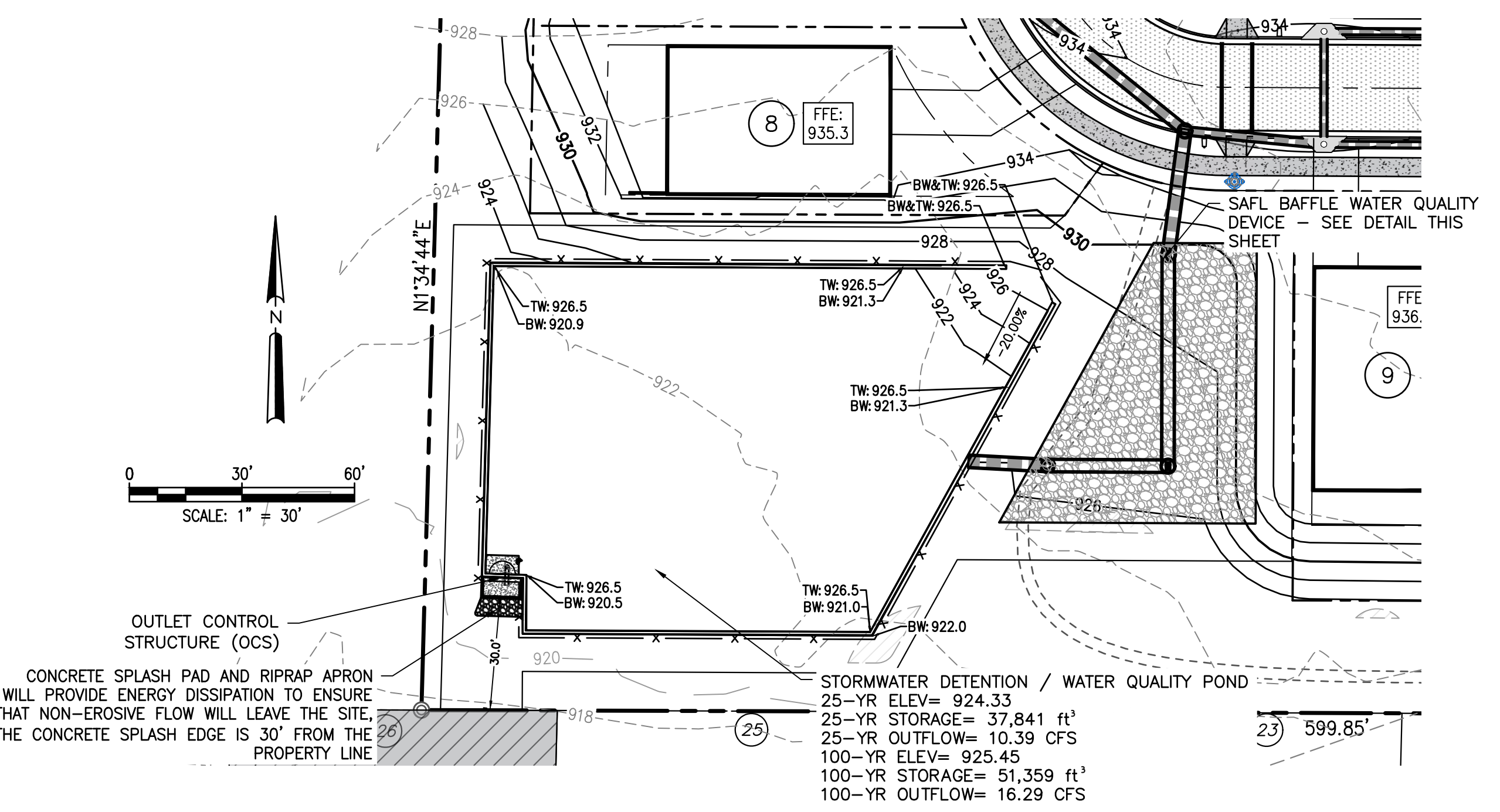
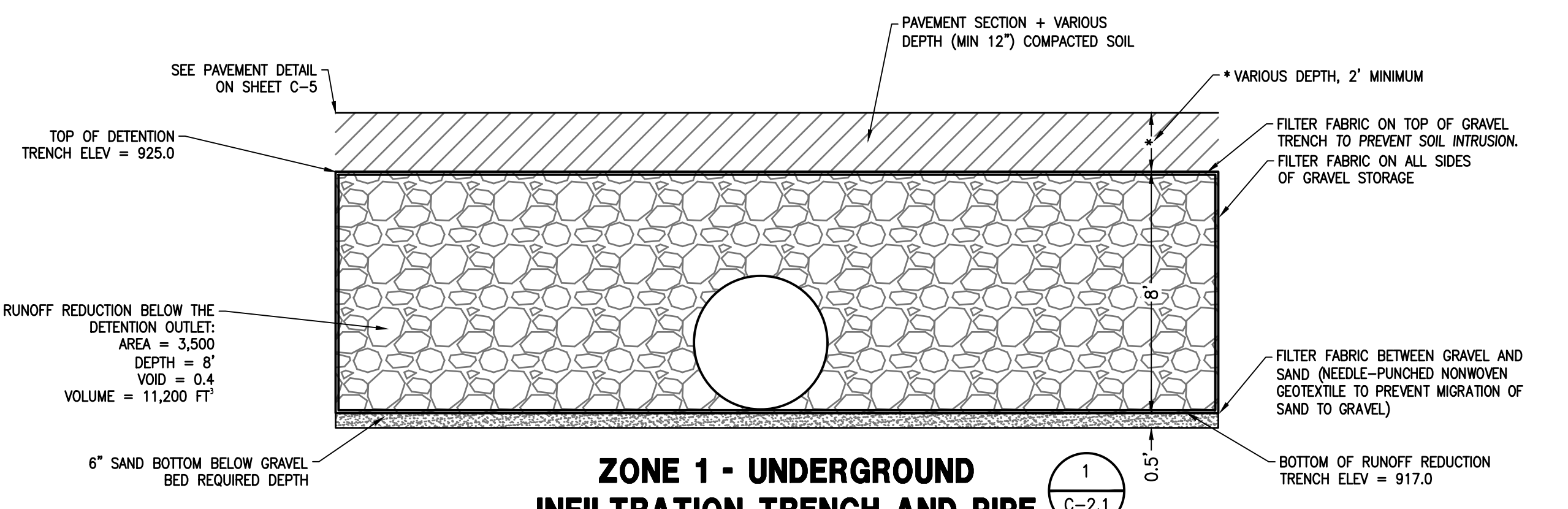
PROVIDE ONE END HINGED WITH EACH HINGE TO BE FASTENED TO THE CONCRETE WITH (2)-3/8" SST WEDGE ANCHORS PROVIDED

MAKE FRAME FROM 1/2" THK X 4" WIDE ALUM FLAT BAR. MAKE GRID USING 3/8" WIDE BAR 6" O.C. EACH WAY (DEPTH OF BARS PER FABRICATOR)

DRILL SIX 3/8" DIA. HOLES IN NON-HINGED SIDES OF ALUM FRAME. CONTRACTOR TO MOUNT TRASH GUARD TO TOP OF RISER USING 3/8" SST WEDGE ANCHORS PROVIDED

NOTE: ALUMINUM CHANNELS, ANGLES, RODS, AND TUBES ARE ALLOY 6061-T6 ALUMINUM STOP LOGS ARE ALLOY 6063-T5

DATE: 07/27/2014



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STORMWATER MANAGEMENT PLAN

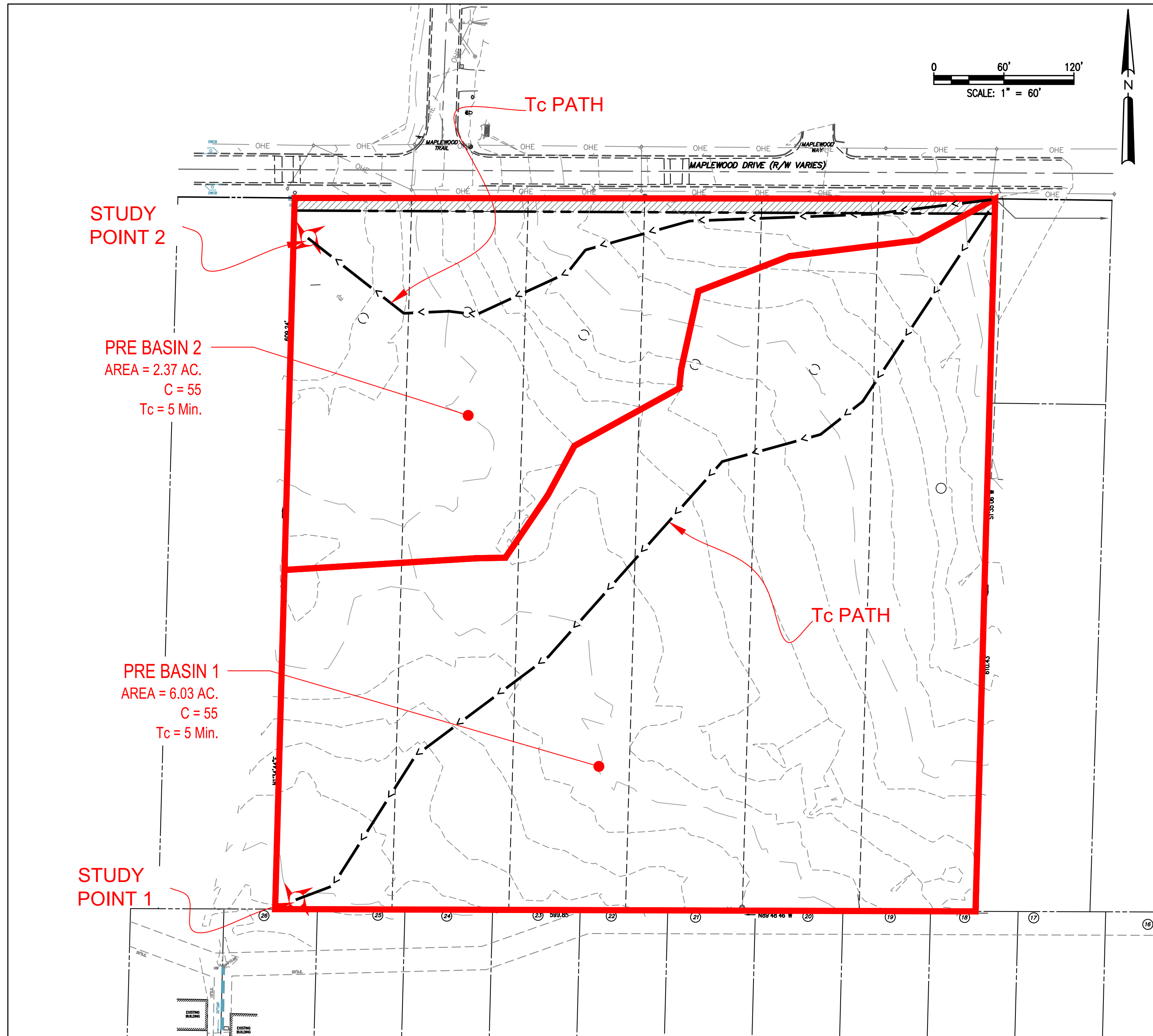
DATE	SCALE	AS SHOWN	REVISIONS	COUNTY COMMENTS
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		09-19-24		
		11-7-24		

CHECKED: GHB

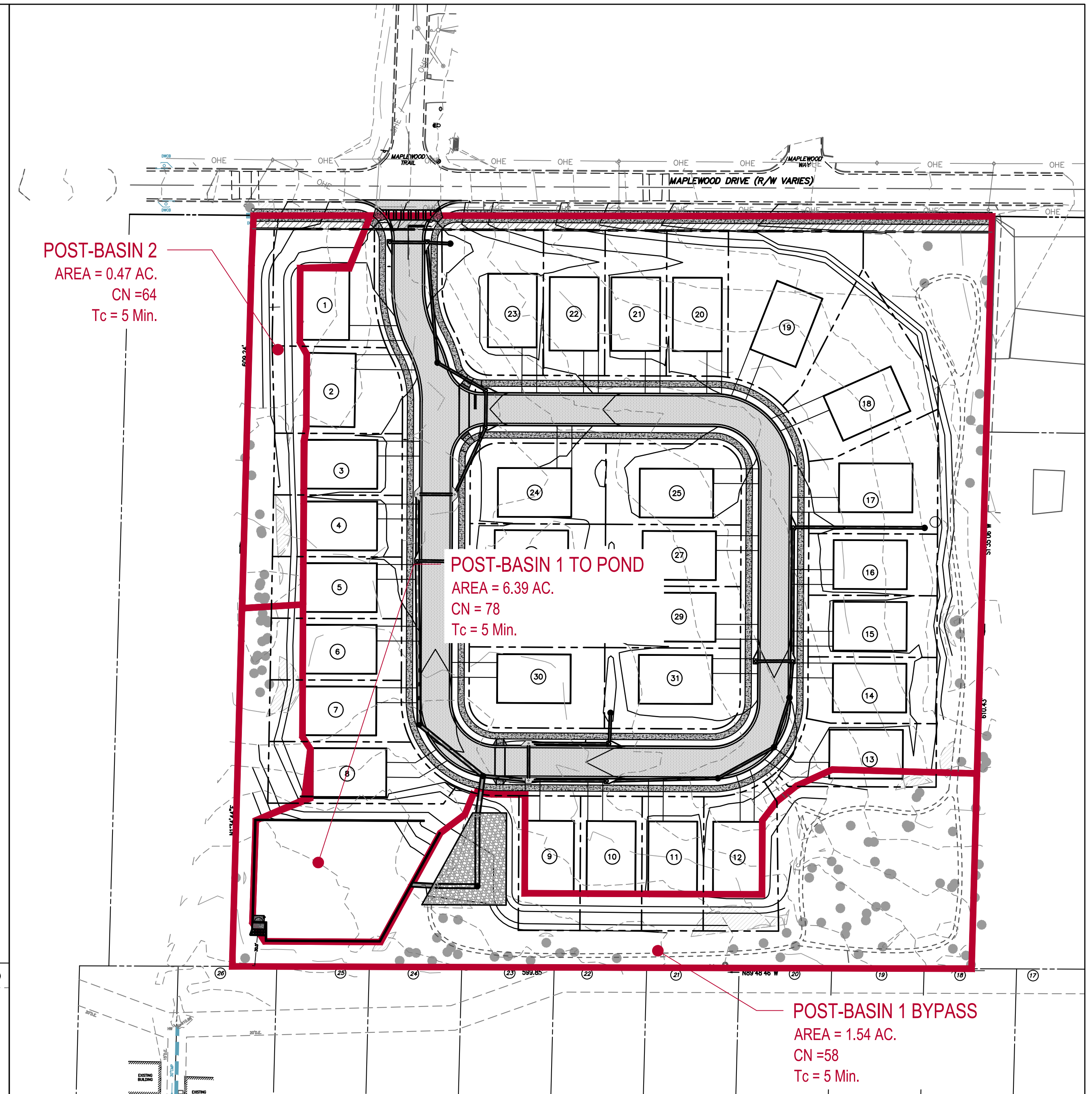
CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
 4147 MAPLEWOOD DRIVE
 LAND LOT 158, 15TH DISTRICT
 DEKALB COUNTY, GA, 30035

CVE PI # 21-803

SHEET NO. **C-2.1**



PRE BASIN MAP



POST BASIN MAP

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DRAINAGE MAPS

DATE	AS SHOWN	REVISIONS	COUNTY COMMENTS
01-30-24		08-28-23	
SCALE	US	09-19-23	
DRAWN	GHB	11-7-24	
CHECKED			



CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
4147 MAPLEWOOD DRIVE
 LAND LOT 158, 15TH DISTRICT
 DEKALB COUNTY, GA, 30035

CVE PI # 21-803

SHEET NO.
C-2.2

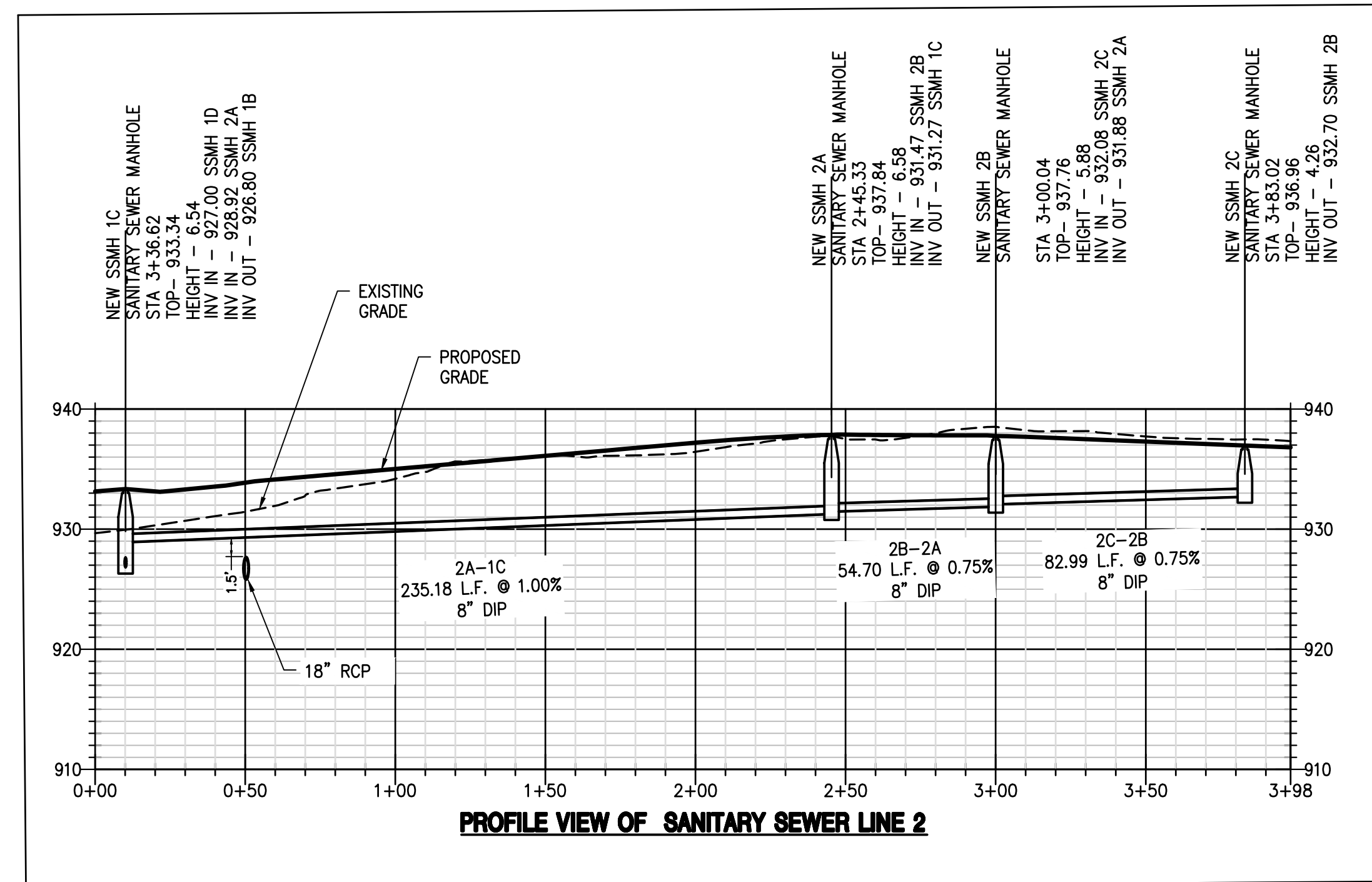
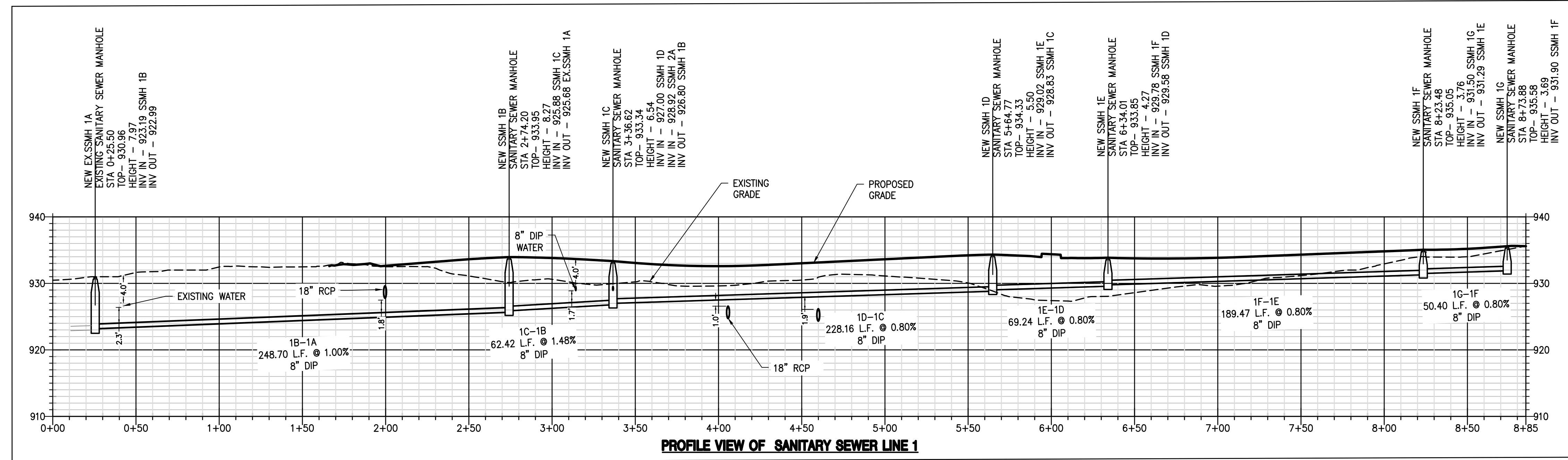
Utility Notes:

- ALL CONSTRUCTION TO CONFORM TO THE DEKALB COUNTY PUBLIC UTILITIES (WATER DIVISION) SPECIFICATIONS AND IN ACCORDANCE WITH UTILITY HAVING JURISDICTION STANDARD & ORDINANCE.
- SEWER PIPE SHALL HAVE GRAVEL BEDDING.
- TRANSITION JOINTS BETWEEN SEWER PIPES OF DIFFERENT MATERIALS SHALL BE ACCOMPLISHED BY THE USE OF ADAPTERS. CONCRETE COLLARS ARE NOT ACCEPTABLE.
- SANITARY SEWER PIPE SHALL BE ASTM D3034, RATED SDR 35 WITH INTEGRAL BELL, BELL & SPIGOT TYPE JOINTS (WITH RUBBER), OR DUCTILE IRON (D.I.) PIPE (CLASS 52) WITH PUSH-ON OR MECHANICAL JOINTS UNLESS OTHERWISE NOTED.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF WATER SERVICE WITH GOVERNING JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COSTS TO THE OWNER.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- CONTRACTOR TO KEEP EXISTING UTILITIES ACTIVE UNTIL NEW LINE IS CONSTRUCTED AND SWITCHOVER OCCURS.
- THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.
- DOMESTIC WATER SERVICE TO BE PROVIDED BY DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT.
- ELECTRICAL & TELEPHONE LINES BURIED MINIMUM 36" & MAXIMUM 48" BELOW FINISHED GRADE. (CONTRACTOR TO COORDINATE ALL OTHER INSTALLATION WITH UTILITY CONTRACTOR)
- ALL PARKING LIGHT POLES, TRANSFORMER, AND CONDUITS TO BE INSTALLED PER ELECTRICAL PLANS. ITEMS ARE SHOWN ON THIS SHEET FOR REFERENCE ONLY.
- CONTRACTOR TO NOTIFY THE WATER AND SEWER CONSTRUCTION INSPECTOR AT 770-274-9024, 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- AS BUILT WATER AND SEWER PLANS ARE REQUIRED BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO NOTIFY THE UTILITY COORDINATOR AT 404-508-3622 FOR ROADS AND DRAINAGE INFORMATION.
- CONTACT THE COUNTY FOR WORK WITHIN THE RIGHT-OF-WAY
- PRIOR TO CONSTRUCTION OF ANY UTILITY FACILITIES WITHIN THE RIGHT-OF-WAY OF ANY COUNTY MAINTAINED ROADWAY A PERMIT MUST BE OBTAINED FROM THE UTILITY COORDINATOR
- PRIOR TO CONSTRUCTION OF WATER MAINS AND SANITARY SEWER LINES FINAL DESIGN APPROVAL MUST BE OBTAINED FROM DEPARTMENT OF WATERSHED MANAGEMENT
- NOTIFY WATER AND SEWER INSPECTOR AT 770-621-7212 PRIOR TO START OF CONSTRUCTION

DeKalb County Notes:

- ALL DESIGN AND CONSTRUCTION FOR WATER, SEWER, FIRE LANES, LIFT STATIONS AND BACKFLOW PREVENTION SHALL COMPLY WITH CITY OF STONECREST DEPARTMENT OF WATERSHED MANAGEMENT DESIGN STANDARDS 2009 EDITION. VERSION 1.0. ACTUAL FIELD CONDITIONS COULD DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE CONSTRUCTION INSPECTOR.
- TO PURCHASE A COPY OF THE DESIGN STANDARDS, PLEASE CALL (770)414-2383 OR (770) 621-7272.
- DEVELOPER SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" (IF APPLICABLE) IN HARD COPY AND ELECTRONIC (AUTOCAD OR MICROSTATION FORMAT), AS WELL AS RECORD ALL EASEMENTS THAT WILL BE DEDICATED TO DEKALB COUNTY IN THE COURT HOUSE, PRIOR TO APPROVAL OF AS BUILT PLANS.
- FIRE LANES, F.O.G., BACKFLOW PREVENTION, AND LIFT STATION REQUIRE A SEPARATE REVIEW.
- F.O.G COMPLIANCE (GREASE TRAP) REVIEW & APPROVAL - CALL (404)687-7150 OR (404)687-7157.
- PROJECTS INVOLVING CONSTRUCTION OF TOWN HOMES AND/OR CONDOMINIUMS ARE REQUIRED TO HAVE INDIVIDUAL METERS FOR EACH UNIT.
- FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW & APPROVAL BY THE COUNTY ENGINEER, BEFORE CHANGES IMPLEMENTED.
- FOR PROJECTS WITHIN CITIES, DEVELOPER SHALL PROVIDE A MAINTENANCE BOND TO DEKALB COUNTY FOR WATERSHED UTILITIES PRIOR TO APPROVAL OF AS BUILT PLANS.
- CONTRACTOR MUST JET CLEAN & TV SANITARY SEWER LINES AFTER CONNECTIONS ARE MADE TO THE EXISTING SEWER TIE-IN POINTS. TRACER WIRE TO BE INSTALLED OVER NON-FERROUS/PVC PIPE.
- CONTRACTOR MUST NOTIFY WATER & SEWER CONSTRUCTION INSPECTOR AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- POTABLE WATER MAINS SHALL MAINTAIN A TEN (10') FOOT HORIZONTAL AND EIGHTEEN (18") INCH VERTICAL CLEARANCE FROM NON-POTABLE PIPELINES.
- IDENTIFY THE TREATMENT PLANT THAT SERVES THE PROPERTY.
- SEWER LATERALS OUTSIDE THE BUILDING REQUIRE A SEPARATE PLUMBING PERMIT.
- PRIOR TO CONSTRUCTION OF ANY UTILITY FACILITIES WITHIN THE RIGHT OF WAY OF ANY COUNTY MAINTAINED ROADWAY A PERMIT MUST BE OBTAINED FROM THE UTILITY COORDINATOR.
- PRIOR TO CONSTRUCTION OF WATER MAINS AND SANITARY SEWER LINES FINAL DESIGN APPROVAL MUST BE OBTAINED FROM DEPARTMENT.
- NOTIFY WATER AND SEWER INSPECTOR AT 770-621-7212 PRIOR TO START OF CONSTRUCTION.
- CALL AT&T BEFORE STARTING CONSTRUCTION. CALL 811 FOR UTILITY LOCATION AT LEAST THREE DAYS BEFORE THE START OF THE WORK

24 HOUR EMERGENCY CONTACT: ALEX CIUCA 404-775-4687
SKETCH PLAT - AP#1246866



Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC:**
211 Frazier Street
Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

Prepared For:
MAPLEWOOD MAREIS, LLC
ALEX CIUCA
404-775-4687
ALEX.CIUCA23@GMAIL.COM

SEWER PROFILES & NOTES

DATE	REVISIONS
01-30-24	08-28-23 COUNTY COMMENTS
AS SHOWN	09-19-23 COUNTY COMMENTS
DRAWN JS	11-7-24 COUNTY COMMENTS
CHECKED GHB	



CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
4147 MAPLEWOOD DRIVE
LAND LOT 158, 15TH DISTRICT
DEKALB COUNTY, GA, 30035



Know what's below.
Call before you dig.

CVE PI # 21-803

SHEET NO.

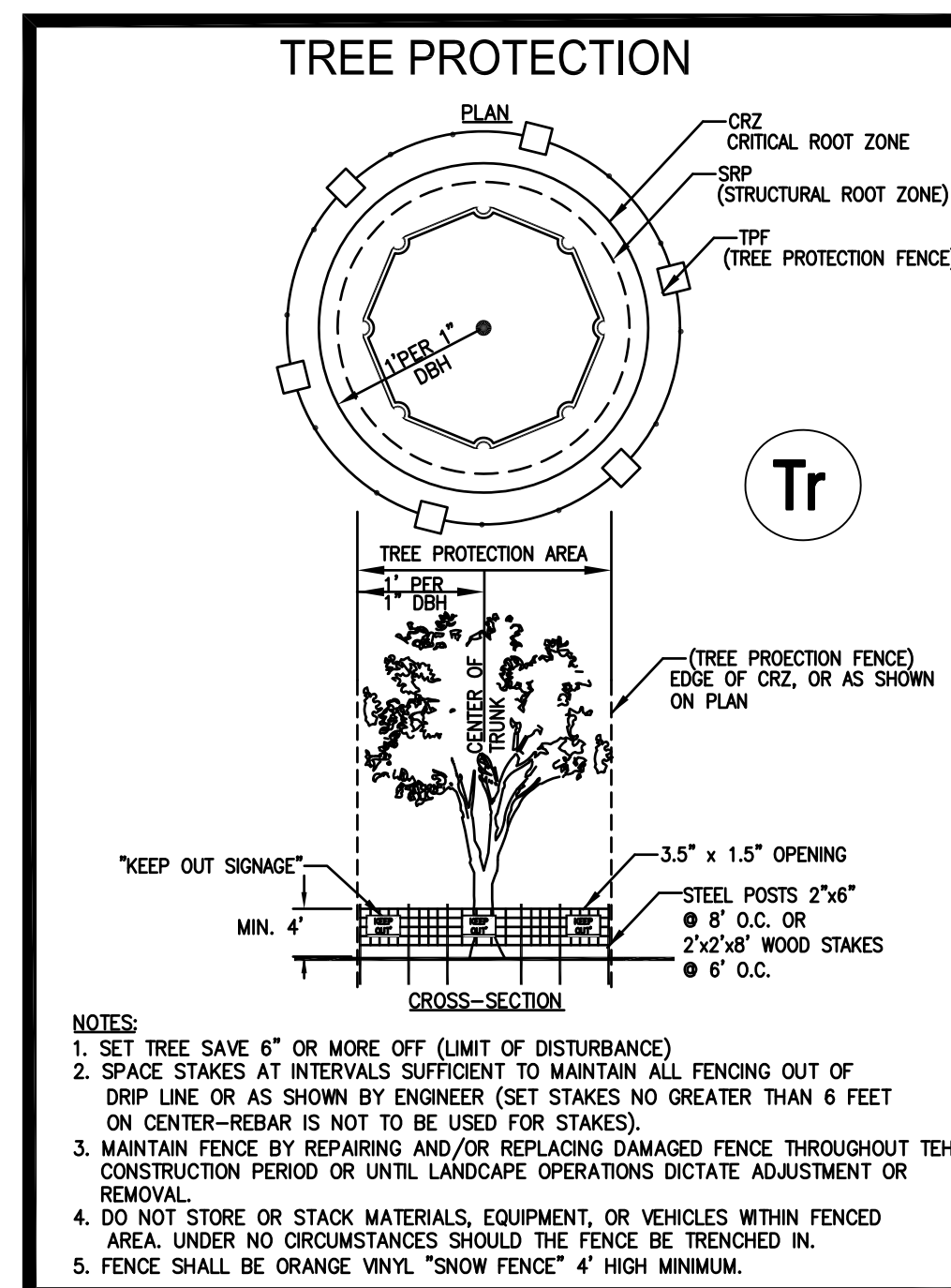
C-3.1

SEE SHEET T-2 FOR DEKALB COUNTY TREE NOTES

Existing Tree Data Table					Existing Tree Data Table				
Location	Tree #	DBH	Species	% Impact	Location	Tree #	DBH	Species	% Impact
Site 1	1	8	Pine	100%	Site 176	176	20	Maple	100%
Site 2	2	12	Pine	100%	Site 177	177	20	Maple	100%
Site 3	3	8	Hardwood	100%	Site 178	178	20	Pine	100%
Site 4	4	8	Hardwood	100%	Site 179	179	20	Pine	100%
Site 5	5	8	Hardwood	100%	Site 180	180	20	Pine	100%
Site 6	6	8	Hardwood	100%	Site 181	181	20	Pine	100%
Site 7	7	8	Hardwood	100%	Site 182	182	20	Pine	100%
Site 8	8	8	Hardwood	100%	Site 183	183	20	Pine	100%
Site 9	9	8	Hardwood	100%	Site 184	184	20	Pine	100%
Site 10	10	8	Hardwood	100%	Site 185	185	20	Pine	100%
Site 11	11	8	Hardwood	100%	Site 186	186	20	Pine	100%
Site 12	12	8	Hardwood	100%	Site 187	187	20	Pine	100%
Site 13	13	8	Hardwood	100%	Site 188	188	20	Pine	100%
Site 14	14	8	Hardwood	100%	Site 189	189	20	Pine	100%
Site 15	15	8	Hardwood	100%	Site 190	190	20	Pine	100%
Site 16	16	8	Hardwood	100%	Site 191	191	20	Pine	100%
Site 17	17	8	Hardwood	100%	Site 192	192	20	Pine	100%
Site 18	18	8	Hardwood	100%	Site 193	193	20	Pine	100%
Site 19	19	8	Hardwood	100%	Site 194	194	20	Pine	100%
Site 20	20	8	Hardwood	100%	Site 195	195	20	Pine	100%
Site 21	21	8	Hardwood	100%	Site 196	196	20	Pine	100%
Site 22	22	8	Hardwood	100%	Site 197	197	20	Pine	100%
Site 23	23	8	Hardwood	100%	Site 198	198	20	Pine	100%
Site 24	24	8	Hardwood	100%	Site 199	199	20	Pine	100%
Site 25	25	8	Hardwood	100%	Site 200	200	20	Pine	100%
Site 26	26	8	Hardwood	100%	Site 201	201	20	Pine	100%
Site 27	27	8	Hardwood	100%	Site 202	202	20	Pine	100%
Site 28	28	8	Hardwood	100%	Site 203	203	20	Pine	100%
Site 29	29	8	Hardwood	100%	Site 204	204	20	Pine	100%
Site 30	30	8	Hardwood	100%	Site 205	205	20	Pine	100%
Site 31	31	8	Hardwood	100%	Site 206	206	20	Pine	100%
Site 32	32	8	Hardwood	100%	Site 207	207	20	Pine	100%
Site 33	33	8	Hardwood	100%	Site 208	208	20	Pine	100%
Site 34	34	8	Hardwood	100%	Site 209	209	20	Pine	100%
Site 35	35	8	Hardwood	100%	Site 210	210	20	Pine	100%
Site 36	36	8	Hardwood	100%	Site 211	211	20	Pine	100%
Site 37	37	8	Hardwood	100%	Site 212	212	20	Pine	100%
Site 38	38	8	Hardwood	100%	Site 213	213	20	Pine	100%
Site 39	39	8	Hardwood	100%	Site 214	214	20	Pine	100%
Site 40	40	8	Hardwood	100%	Site 215	215	20	Pine	100%
Site 41	41	8	Hardwood	100%	Site 216	216	20	Pine	100%
Site 42	42	8	Hardwood	100%	Site 217	217	20	Pine	100%
Site 43	43	8	Hardwood	100%	Site 218	218	20	Pine	100%
Site 44	44	8	Hardwood	100%	Site 219	219	20	Pine	100%
Site 45	45	8	Hardwood	100%	Site 220	220	20	Pine	100%
Site 46	46	8	Hardwood	100%	Site 221	221	20	Pine	100%
Site 47	47	8	Hardwood	100%	Site 222	222	20	Pine	100%
Site 48	48	8	Hardwood	100%	Site 223	223	20	Pine	100%
Site 49	49	8	Hardwood	100%	Site 224	224	20	Pine	100%
Site 50	50	8	Hardwood	100%	Site 225	225	20	Pine	100%
Site 51	51	8	Hardwood	100%	Site 226	226	20	Pine	100%
Site 52	52	8	Hardwood	100%	Site 227	227	20	Pine	100%
Site 53	53	8	Hardwood	100%	Site 228	228	20	Pine	100%
Site 54	54	8	Hardwood	100%	Site 229	229	20	Pine	100%
Site 55	55	8	Hardwood	100%	Site 230	230	20	Pine	100%
Site 56	56	8	Hardwood	100%	Site 231	231	20	Pine	100%
Site 57	57	8	Hardwood	100%	Site 232	232	20	Pine	100%
Site 58	58	8	Hardwood	100%	Site 233	233	20	Pine	100%
Site 59	59	8	Hardwood	100%	Site 234	234	20	Pine	100%
Site 60	60	8	Hardwood	100%	Site 235	235	20	Pine	100%
Site 61	61	8	Hardwood	100%	Site 236	236	20	Pine	100%
Site 62	62	8	Hardwood	100%	Site 237	237	20	Pine	100%
Site 63	63	8	Hardwood	100%	Site 238	238	20	Pine	100%
Site 64	64	8	Hardwood	100%	Site 239	239	20	Pine	100%
Site 65	65	8	Hardwood	100%	Site 240	240	20	Pine	100%
Site 66	66	8	Hardwood	100%	Site 241	241	20	Pine	100%
Site 67	67	8	Hardwood	100%	Site 242	242	20	Pine	100%
Site 68	68	8	Hardwood	100%	Site 243	243	20	Pine	100%
Site 69	69	8	Hardwood	100%	Site 244	244	20	Pine	100%
Site 70	70	8	Hardwood	100%	Site 245	245	20	Pine	100%
Site 71	71	8	Hardwood	100%	Site 246	246	20	Pine	100%
Site 72	72	8	Hardwood	100%	Site 247	247	20	Pine	100%
Site 73	73	8	Hardwood	100%	Site 248	248	20	Pine	100%
Site 74	74	8	Hardwood	100%	Site 249	249	20	Pine	100%
Site 75	75	8	Hardwood	100%	Site 250	250	20	Pine	100%
Site 76	76	8	Hardwood	100%	Site 251	251	20	Pine	100%
Site 77	77	8	Hardwood	100%	Site 252	252	20	Pine	100%
Site 78	78	8	Hardwood	100%	Site 253	253	20	Pine	100%
Site 79	79	8	Hardwood	100%	Site 254	254	20	Pine	100%
Site 80	80	8	Hardwood	100%	Site 255	255	20	Pine	100%
Site 81	81	8	Hardwood	100%	Site 256	256	20	Pine	100%
Site 82	82	8	Hardwood	100%	Site 257	257	20	Pine	100%
Site 83	83	8	Hardwood	100%	Site 258	258	20	Pine	100%
Site 84	84	8	Hardwood	100%	Site 259	259	20	Pine	100%
Site 85	85	8	Hardwood	100%	Site 260	260	20	Pine	100%
Site 86	86	8	Hardwood	100%	Site 261	261	20	Pine	100%
Site 87	87	8	Hardwood	100%	Site 262	262	20	Pine	100%
Site 88	88	8	Hardwood	100%	Site 263	263	20	Pine	100%
Site 89	89	8	Hardwood	100%	Site 264	264	20	Pine	100%
Site 90	90	8	Hardwood	100%	Site 265	265	20	Pine	100%
Site 91	91	8	Hardwood	100%	Site 266	266	20	Pine	100%
Site 92	92	8	Hardwood	100%	Site 267	267	20	Pine	100%
Site 93	93	8	Hardwood	100%	Site 268	268	20	Pine	100%
Site 94	94	8	Hardwood	100%	Site 269	269	20	Pine	100%
Site 95	95	8	Hardwood	100%	Site 270	270	20	Pine	100%
Site 96	96	8	Hardwood	100%	Site 271	271	20	Pine	100%
Site 97	97	8	Hardwood	100%	Site 272	272	20	Pine	100%
Site 98	98	8	Hardwood	100%	Site 273	273	20	Pine	100%
Site 99	99	8	Hardwood	100%	Site 274	274	20	Pine	100%
Site 100	100	8	Hardwood	100%	Site 275	275	20	Pine	100%
Site 101	101	8	Hardwood	100%	Site 276	276	20	Pine	100%
Site 102	102	8	Hardwood	100%	Site 277	277	20	Pine	100%
Site 103	103	8	Hardwood	100%	Site 278	278	20	Pine	100%
Site 104	104	8	Hardwood	100%	Site 279	279	20	Pine	100%
Site 105	105	8	Hardwood	100%	Site 280	280	20	Pine	100%
Site 106	106	8	Hardwood	100%	Site 281	281	20	Pine	100%
Site 107	107	8	Hardwood	100%	Site 282	282	20	Pine	100%
Site 108	108	8	Hardwood	100%	Site 283	283	20	Pine	100%
Site 109	109	8	Hardwood	100%	Site 284	284	20	Pine	100%
Site 110	110	8	Hardwood	100%	Site 285	285	20	Pine	100%
Site 111	111	8	Hardwood	100%	Site 286	286	20	Pine	100%
Site 112	112	8	Hardwood	100%	Site 287	287	20	Pine	100%
Site 113	113	8	Hardwood	100%	Site 288	288	20	Pine	100%
Site 114	114	8	Hardwood	100%	Site 289	289	20	Pine	100%
Site 115	115	8	Hardwood	100%	Site 290	290	20	Pine	100%
Site 116	116	8	Hardwood	100%	Site 291	291	20	Pine	100%
Site 117	117	8	Hardwood	100%	Site 292	292	20	Pine	100%
Site 118	118	8	Hardwood	100%	Site 293	293	20	Pine	100%
Site 119	119	8	Hardwood	100%	Site 294	294	20	Pine	100%
Site 120	120	8	Hardwood	100%	Site 295	295	20	Pine	100%
Site 121	121	8	Hardwood	100%	Site 296	296	20	Pine	100%
Site 122	122	8	Hardwood	100%	Site 297	297	20	Pine	100%
Site 123	123	8	Hardwood	100%	Site 298	298	20	Pine	100%
Site 124	124	8	Hardwood	100%	Site 299	299	20	Pine	100%
Site 125	125	8	Hardwood	100%	Site 300	300	20	Pine	100%
Site 126	126	8	Hardwood	100%	Site 301	301	20	Pine	100%
Site 127	127	8	Hardwood	100%	Site 302	302	20	Pine	100%
Site 128	128	8	Hardwood	100%	Site 303	303	20	Pine	100%
Site 129	129	8	Hardwood	100%	Site 304	304	20	Pine	100%
Site 130	130	8	Hardwood	100%	Site 305	305	20	Pine	100%
Site 131	131	8	Hardwood	10					

DEKALB TREE NOTES

- NO ONE SHALL ENROACH, PLACE SOLVEMENTS, BUILDING, MACHINERY, BUILDING DEBRIS OR ANY OTHER MATERIAL WITHIN 6' OUTSIDE TREE PERIPHERY OF THE CRZ OR WITHIN ANY TREE SAVE AREA, TRANSITIONAL BUFFER ZONE, STREAM BUFFER, OR STATE BUFFER ZONE.
- ALL TREE FENCE AND OTHER TREE PROTECTION DEVICES MUST REMAIN IN FUNCTIONING CONDITION UNTIL COMPLETION OF THE PROJECT OR UNTIL THE CO IS ISSUED AND FINAL LANDSCAPING IS INSTALLED.
- A TREE THAT IS DESIGNATED TO BE SAVED, BUT IS DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO THE UNIT VALUE OF THE TREE REMOVED. ANY SPECIMEN TREE DAMAGED SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO 1.5 TIMES THE DBH OF THE DAMAGED SPECIMEN.
- ALL PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOT ZONE (CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
- NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS(CRZ).
- ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.
- THE PROTECTION SIGNS ARE TO BE PLACED AT LEAST EVERY 50' ALONG THE LENGTH OF THE TREE PROTECTION FENCE. THE SIGNS SHOULD BE IN LANGUAGE SO THAT ALL WORKERS ON SITE ARE ABLE TO UNDERSTAND.
- ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION



- NOTES:**
- SET TREE SAVE 6" OR MORE OFF (LIMIT OF DISTURBANCE)
 - SPACE STAKES AT INTERVALS SUFFICIENT TO MAINTAIN ALL FENCING OUT OF DRIP LINE OR AS SHOWN BY ENGINEER (SET STAKES NO GREATER THAN 6 FEET ON CENTER-REBAR IS NOT TO BE USED FOR STAKES).
 - MAINTAIN FENCE BY REPAIRING AND/OR REPLACING DAMAGED FENCE THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL LANDSCAPE OPERATIONS DICTATE ADJUSTMENT OR REMOVAL.
 - DO NOT STORE OR STACK MATERIALS, EQUIPMENT, OR VEHICLES WITHIN FENCED AREA. UNDER NO CIRCUMSTANCES SHOULD THE FENCE BE TRENCHED IN.
 - FENCE SHALL BE ORANGE VINYL "SNOW FENCE" 4' HIGH MINIMUM.

TREE LEGEND:	TOTAL INCHES	LOCATION
- REPLACEMENT TREE: 4" RED MAPLE, 17 QTY	68"	RIGHT OF WAY MAPLE ROAD
- REPLACEMENT TREE: 4" RIVER BIRCH, 17 QTY	68"	RIGHT OF WAY MAPLE RIDGE
- REPLACEMENT TREE: 4" RED MAPLE, 15 QTY	60"	RIGHT OF WAY MAPLE RIDGE
- REPLACEMENT TREE: 4" EUROPEAN HORNBEAM 15 QTY	60"	RIGHT OF WAY MAPLE RIDGE
- REPLACEMENT TREE: 4" AMERICAN ELM, 15 QTY	60"	RIGHT OF WAY MAPLE RIDGE
- REPLACEMENT TREE: 4" WHITE OAK, 17 QTY	68"	RIGHT OF WAY MAPLE RIDGE
TOTAL PLANTED INCHES ONSITE FOR DENSITY COMPLIANCE:	384"	

ONSITE SPECIMEN TREES - DESTROYED		
TREE NO.	TREE SIZE (INCH)	SPECIE
10	30	Poplar
21	30	Oak
50	30	Pine
51	36	Oak
53	36	Oak
162	30	Hardwood
172	30	Oak
177	30	Hardwood
181	30	Oak
184	30	Oak
185	30	Pine
189	36	Hardwood
193	30	Oak
194	30	Oak
197	36	Oak
336	36	Oak
347	30	Maple
17	540	

TREE SUMMARY:

TOTAL ONSITE TREES = 342
 TOTAL ONSITE INCHES = 5,735 INCHES

TREES DESTROYED = 254
 INCHES DESTROYED = 4,367 INCHES

TREES TO REMAIN = 88
 INCHES TO REMAIN = 1,368 INCHES

REQUIRED TREES TO REMAIN = 120"/ACRE x 8.40 ACRES = 1,008 INCHES

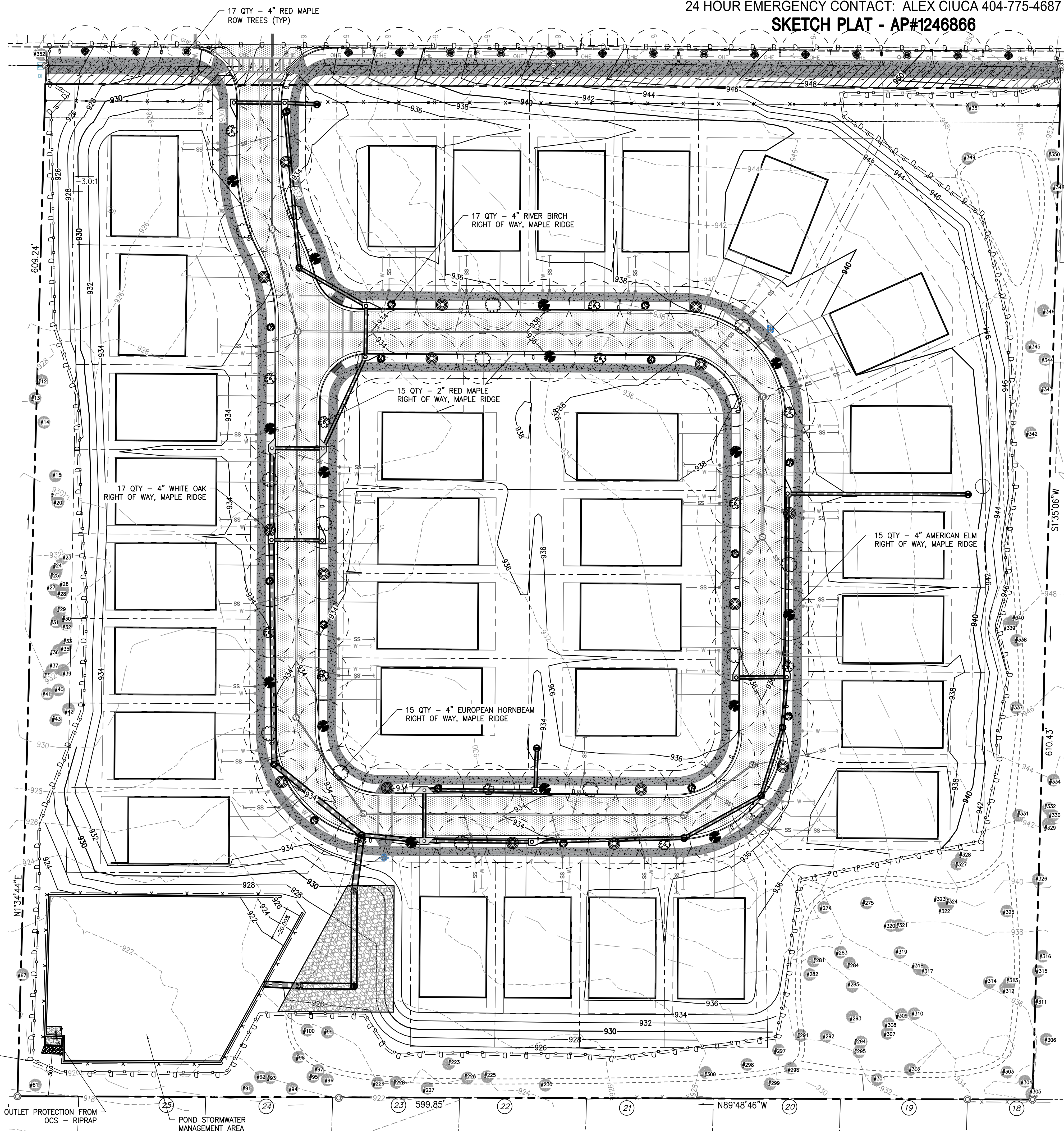
SURPLUS INCHES = 1,368" - 1,008" = 360 INCHES

SPECIMEN TREE INCHES TO REPLACE = 540 x 1.5 = 810 INCHES

REPLACEMENT TREES = 384 INCHES (SEE ABOVE)

OWED INCHES = 810 - 360 - 384 = 66 INCHES

COST OWED = \$100/INCH x 66 INCHES = \$6,600



24 HOUR EMERGENCY CONTACT: ALEX CIUCA 404-775-4687

SKETCH PLAT - AP#1246866

Prepared By:
**CRESCENT VIEW
 ENGINEERING, LLC.**
 211 Fraser Street
 Marietta, GA 30060
 678-324-9410
 www.crescentvieweng.com

Prepared For:
MAPLEWOOD MAREIS, LLC
 ALEX CIUCA
 404-775-4687
 ALEX.CIUCA23@GMAIL.COM

TREE REPLACEMENT PLAN

DATE	REVISIONS
01-30-24	AS SHOWN
09-19-24	COUNTY COMMENTS
11-7-24	ARBORIST COMMENTS
	GHB

CONSTRUCTION PLANS FOR:
MAPLEWOOD DRIVE SUBDIVISION
 4147 MAPLEWOOD DRIVE
 LAND LOT 158, 15TH DISTRICT
 DEKALB COUNTY, GA. 30035

CVE P# 21-803

SHEET NO.
T-2

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Chief Executive Officer
Michael Thurmond

SKETCH PLAT APPLICATION

Application Fee: \$300 plus \$10 per lot created.

Only digital copies will be accepted.

Contact plansustain@dekalbcountyga.gov for any questions regarding submittal requirements.

Project Name Maplewood Drive Subdivision

Project Address 4127-4173 Maplewood Drive Decatur, GA 30035

Parcel ID Number(s) 1515802005, 1515802006, 1518802007, 151802051, 151802008, 1515802009

Proposed Use Construction of 31 single family home development

Date(s) of Pre-Application Meeting(s) November 11, 2023

Site Acreage 8.40 Acre(s) No. of Lots 33 No. of Units 31

Public Sewer (Y/N?) Y Septic (Y/N?) N

Property Owner Maplewood Mareis, LLC Phone 404-775-4687

Address 4127-4173 Maplewood Drive

City Decatur State GA Zip 30035

Agent Authorized to Receive All Notifications Emily Sidner

Address 211 Frasier St. SE Phone 678-324-8410

City Marietta State GA Zip 30060

Developer Maplewood Mareis, LLC. Phone 404-775-4687

Address 4127-4173 Maplewood Drive

City Decatur State GA Zip 30035

Engineer/Architect Crescent View Engineering, LLC Phone 678-324-8410

Address 211 Frasier St. SE

City Marietta State GA Zip 30060

Applicant Emily Sidner

Company Name Crescent View Engineering, LLC. Phone 678-324-8410

Address 211 Frasier St. SE

City Marietta State GA Zip 30060

SIGNATURE OF APPLICANT _____ **Date** _____

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

SKETCH PLAT APPLICATION AUTHORIZATION

Only digital copies will be accepted.

Contact plansustain@dekalbcountyga.gov for any questions regarding submittal requirements.

To whom it may concern:

I/We, MAPLEWOOD MAREIS, LLC.

being owner(s) of the property described below or attached, hereby delegate authority to:

CRESCENT VIEW ENGINEERING, LLC.

to file an application in my/our behalf.

List of all Parcel ID Number(s): 1515802005, 2626902006, 15158802007, 1515802051, 1515802008, 1515802009
1515802005, 2626902006, 15158802007, 1515802051, 1515802008, 1515802009

 _____ Notary Public		 _____ Owner
_____ Notary Public		_____ Owner
_____ Notary Public		_____ Owner
_____ Notary Public		_____ Owner
_____ Notary Public		_____ Owner

All applications for Sketch Plats must be submitted by the owner of the affected property or the authorized agent of the owner. Such authorization shall be notarized and attached to the application.



CERTIFICATE OF CONFORMITY

Only digital copies will be accepted.

Contact plansustain@dekalbcountyga.gov for any questions regarding submittal requirements.

I, GEORGE H. BALTZ III, the engineer/surveyor
for the subdivision known as 4127-4173 MAPLEWOOD DRIVE,
located in Land Lot 158 of the 15 District, hereby
certify that no lots platted within the subdivision are non-conforming or will result in
any non-conforming lots.



Signature

GEORGE H. BALTZ III

Name (Please Print)

211 FRASIER ST. SE

Address

MARIETTA GA 30060

City State Zip

DEPARTMENT OF PLANNING & SUSTAINABILITY

Chief Executive Officer
Michael Thurmond

Interim Director
Cedric Hudson

DATE: December 8, 2023

To Whom It May Concern:

This is to confirm that on November 14, 2023, the DeKalb County Board of Commissioners approved the following application:

Z-23-1246544 2023-0874 Commission District 03 Super District 07
15-158-02-005, 006, 007, 051, 008 & 009
4127, 4139, 4147, 4149, 4163, & 4173 MAPLEWOOD DRIVE
DECATUR, GEORGIA 30035

Application of Alex Ciuca c/o Battle Law, P.C. to rezone properties from R-75 (Residential Medium Lot- 75) zoning district to RSM (Small Lot Residential Mix) zoning district to allow for the construction of single-family, detached homes.

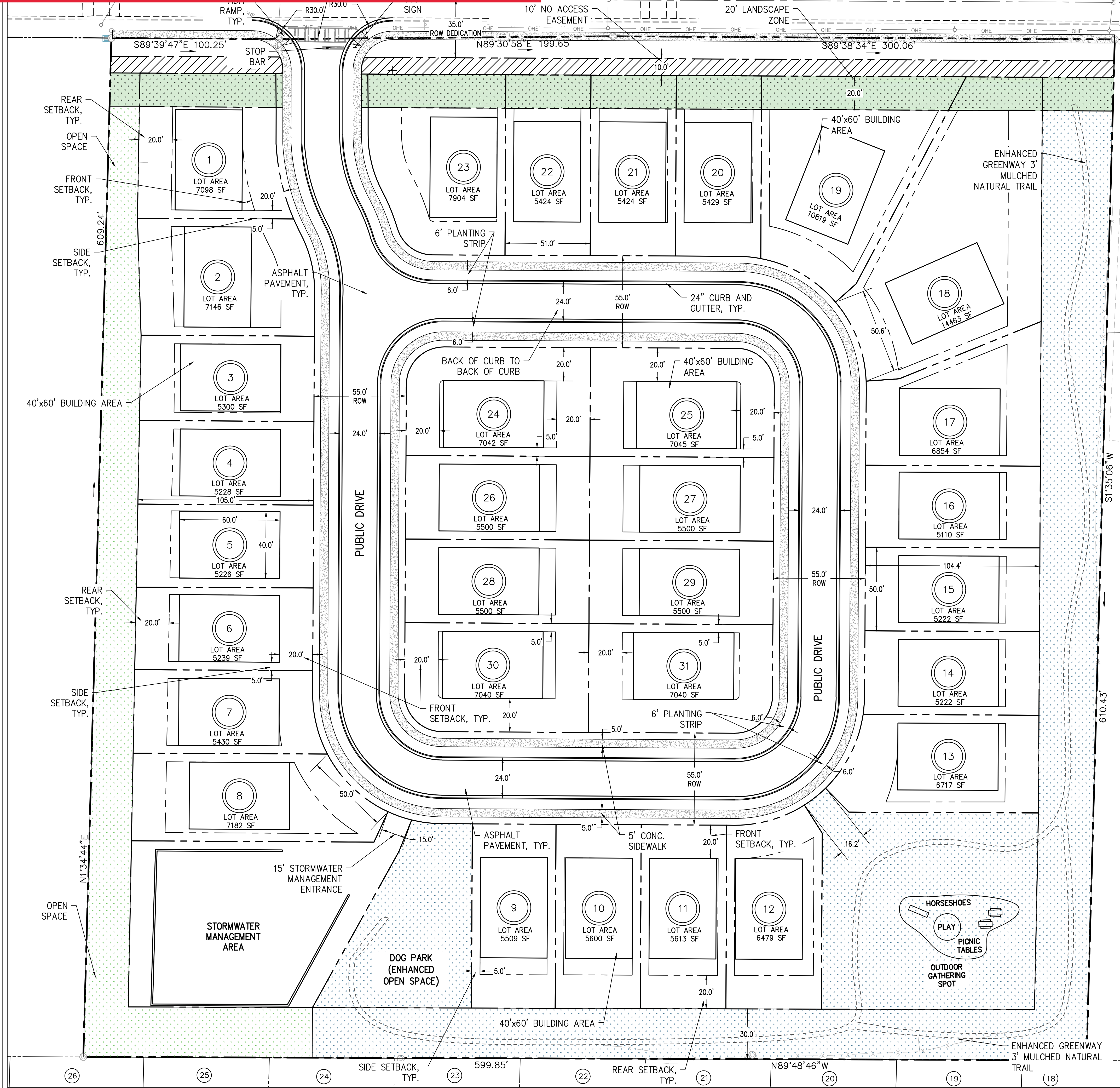
The application was approved on November 14, 2023, with the following conditions:

1. No more than thirty-one (31) single-family, detached dwellings shall be constructed in general conformance to the site plan dated 10/18/2023.
2. Approval of this rezoning application by the Board of Commissioners has no bearing on the requirements for other regulatory approvals under the authority of the Planning Commission, the Zoning Board of Appeals, or other entity whose decision should be based on the merits of the application under review by each entity.
3. A ten-foot no-access easement and a 20-foot-wide landscape strip shall be provided as shown on the site plan, in combination with a six-foot-high decorative fence, or a five-foot-high landscaped berm, to screen the rear view of houses from Maplewood Drive.
4. A minimum of 20 percent open space shall be provided. Fifty (50) percent of the provided open space shall be enhanced open space as shown on the site plan. A minimum distance of 30 feet shall be provided between the rear lot lines of Lots 9-13 and the southern property line of the overall development site. Nature trails shall be provided as shown.
5. Building elevations shall be in general conformance with the designs included with the application; building materials shall consist of brick, stucco, and/or cementitious siding.

CONCEPT SITE PLAN WITH Z-23-1246544

24 HOUR EMERGENCY CONTACT: ALEX CIUCA 404-775-4687

MAPLEWOOD DRIVE (R/W VARIES)



SITE NOTES:

- THE SITE CONTAINS: 358,761 SQ FT = 8.24 ACRES
TOTAL DISTURBED ACREAGE: TBD ACRES
- SITE ADDRESS: 4127-4173 MAPLEWOOD DRIVE, DEKALB COUNTY, 30035
- EXISTING ZONING: R-75
- SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY THOMAS & HUTTON, DATED 5-26-22.
- HORIZONTAL DATUM IS NAD83 GEORGIA GRID WEST ZONE. VERTICAL DATUM IS NAVD88.
- PART OF THIS SITE IS LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 1308900151 J DATED MAY 16, 2013 FOR DEKALB COUNTY, GEORGIA.
- THERE ARE EXISTING EASEMENTS, STATE WATER BUFFERS, STREAM BUFFERS OR FLOODPLAIN BUFFER THAT APPLY TO THIS PROPERTY.
- TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
- THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
- CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
- ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
- UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
- THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

ZONING CONFORMANCE:

SITE ZONING:	PROPOSED R-SM ZONING
DENSITY UNITS/ACRE:	PROPOSED DENSITY: 3.76 UNITS/ACRE
MINIMUM OPEN SPACE:	20% (MIN)
BUILDING SETBACKS	
FRONT SETBACK (THOROUGHFARES AND ARTERIALS)	20 FT (MIN) / 30FT (MAX)
FRONT SETBACK (SUB):	20 FT (MIN)
SIDE SETBACK (INTERIOR LOT):	3 FT (MIN) WITH 10 FT SEPARATION BETWEEN BUILDINGS
SIDE SETBACK (CORNER LOT):	SAME AS FRONT
REAR SETBACK (WITHOUT ALLEY):	20 FEET (10FT WITH ALLEY)
LOT REQUIREMENTS	
MINIMUM LOT WIDTH:	50 FT (OR 20 FT COTTAGE)
MINIMUM LOT AREA:	5,000 SF (OR 2,000 SF COTTAGE)
MAXIMUM LOT COVERAGE:	50%
MINIMUM FLOOR AREA:	1,200 SF (OR 800 SF COTTAGE)
MAXIMUM HEIGHT OF BUILDING:	35 FEET

OPEN SPACE AREA
 ENHANCED USABLE OPEN SPACE AREA

Open Space	Area (Sq.Ft)	Enhanced open space	Area (Sq.Ft)
Enhanced Dog Park	7217	Enhanced Dog Park	7217
Enhanced Outdoor Gathering Spot	15367	Enhanced Outdoor Gathering Spot	15367
Enhanced Greenway	33460	Enhanced Greenway	33460
Landscape buffer around property	16527		
Total Open Space Requirement	71874	Total Enhanced Open Space Requirement	35937
Total Open Space Provided	72571	Total Enhanced Open Space Provided	56044

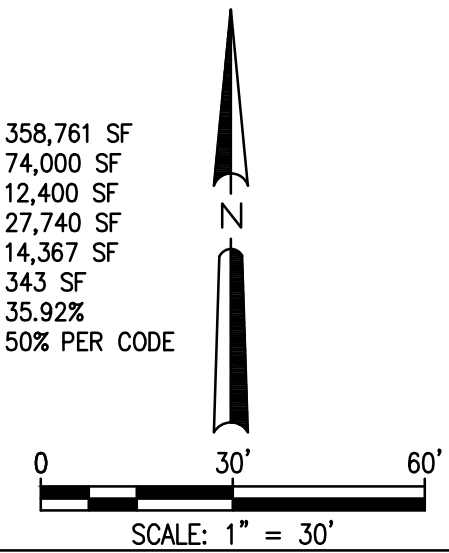
OPEN SPACE REQUIREMENTS:

- TOTAL LOT AREA = 358,761 SF
- REQUIRED OPEN SPACE = 20% (OR 71,874 SF)
- PROVIDED OPEN SPACE = 20.23% (OR 72,571 SF)
- PROVIDED ENHANCED OPEN SPACE = 74.47% OF PROVIDED OPEN SPACE (OR 56,044 SF)
- REQUIRED OPEN SPACE MAY BE USED IN A VARIETY OF WAYS, INCLUDING NATURAL AREAS FOR WILDLIFE AND ECOLOGICAL FUNCTIONS, PARKS, GARDENS, LANDSCAPES, MEDIAN, SQUARES, VILLAGE GREENS, COURTYARDS, RECREATIONAL SPACE, OR RECREATIONAL FACILITIES, PROVIDED THE USE IS CONSISTENT WITH THE REQUIREMENTS OF THIS PART (SECTION 14-275).
- NO MORE THAN TWENTY (20) PERCENT OF THE OPEN SPACE AREA MAY BE COVERED WITH AN IMPERVIOUS SURFACE. IMPERVIOUS SURFACES MAY INCLUDE PAVED TRAILS, BIKE PATHS OR MULTI-USE PATHS, BUILDINGS, PLAZAS, SWIMMING POOLS, OR ATHLETIC COURTS. IMPERVIOUS SURFACES IN OPEN SPACE MAY NOT INCLUDE SIDEWALKS ALONG PUBLIC RIGHTS OF WAY OR PARKING LOTS, STREETS, OR OTHER AREAS FOR MOTORIZED VEHICULAR USE (SECTION 14-276).
- PARKS, OPEN SPACE, MULTI-USE TRAILS, RECREATION AREAS AND CONSERVATION EASEMENTS MAY BE OFFERED FOR DEDICATION TO THE COUNTY BY THE PROPERTY OWNER (SECTION 14-278)
- A DEVELOPER MAY RESERVE AND OFFER PROPERTY WITHIN A SUBDIVISION AS A SITE FOR A CIVIC USE, INCLUDING BUT NOT LIMITED TO PUBLIC SCHOOLS, FIRE STATIONS, POLICE STATIONS, OR RECREATION CENTERS. (SECTION 14-286).

IMPERVIOUS AREA:

TOTAL LOT AREA	= 358,761 SF
HOUSES	= 74,000 SF
DRIVEWAY	= 12,400 SF
ROAD WITH CURB AND GUTTER	= 27,740 SF
SIDEWALKS	= 14,367 SF
DETENTION WALLS	= 343 SF
PROPOSED IMPERVIOUS SUBDIVISION COVERAGE	= 35.92%
MAX IMPERVIOUS FOR THE TOTAL OF THE LOTS PER CODE	= 50% PER CODE

LOT I.D.	AREA (SQ.FT.)
LOT 1	7098
LOT 2	7146
LOT 3	5300
LOT 4	5228
LOT 5	5226
LOT 6	5239
LOT 7	5430
LOT 8	7182
LOT 9	5509
LOT 10	5600
LOT 11	5613
LOT 12	6479
LOT 13	6717
LOT 14	5222
LOT 15	5222
LOT 16	5110
LOT 17	6854
LOT 18	14463
LOT 19	10819
LOT 20	5429
LOT 21	5424
LOT 22	5424
LOT 23	7934
LOT 24	7042
LOT 25	7045
LOT 26	5500
LOT 27	5500
LOT 28	5500
LOT 29	5500
LOT 30	7040
LOT 31	7040
TOTAL LOT AREA	199805
AVG LOT AREA	6445 SQ.FT.

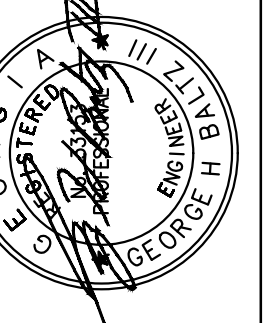


Prepared By:
CRESCENT VIEW ENGINEERING, LLC.
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Marietta, GA 30060
678-504-8410
www.crescentvieweng.com

Prepared For:
Alex Ciuca
404-775-4687
alex.ciuca23@gmail.com

SITE PLAN

DATE	10-18-23	REVISIONS	
SCALE	AS SHOWN	DRAWN	JS
CHECKED	GHB		



4127- 4173 Maplewood Drive
Land Lot 158, 15th District
DeKalb County, GA 30035

CVE PI # 21-803

SHEET NO.

C-1



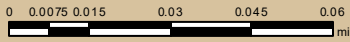








DeKalb County Parcel Map

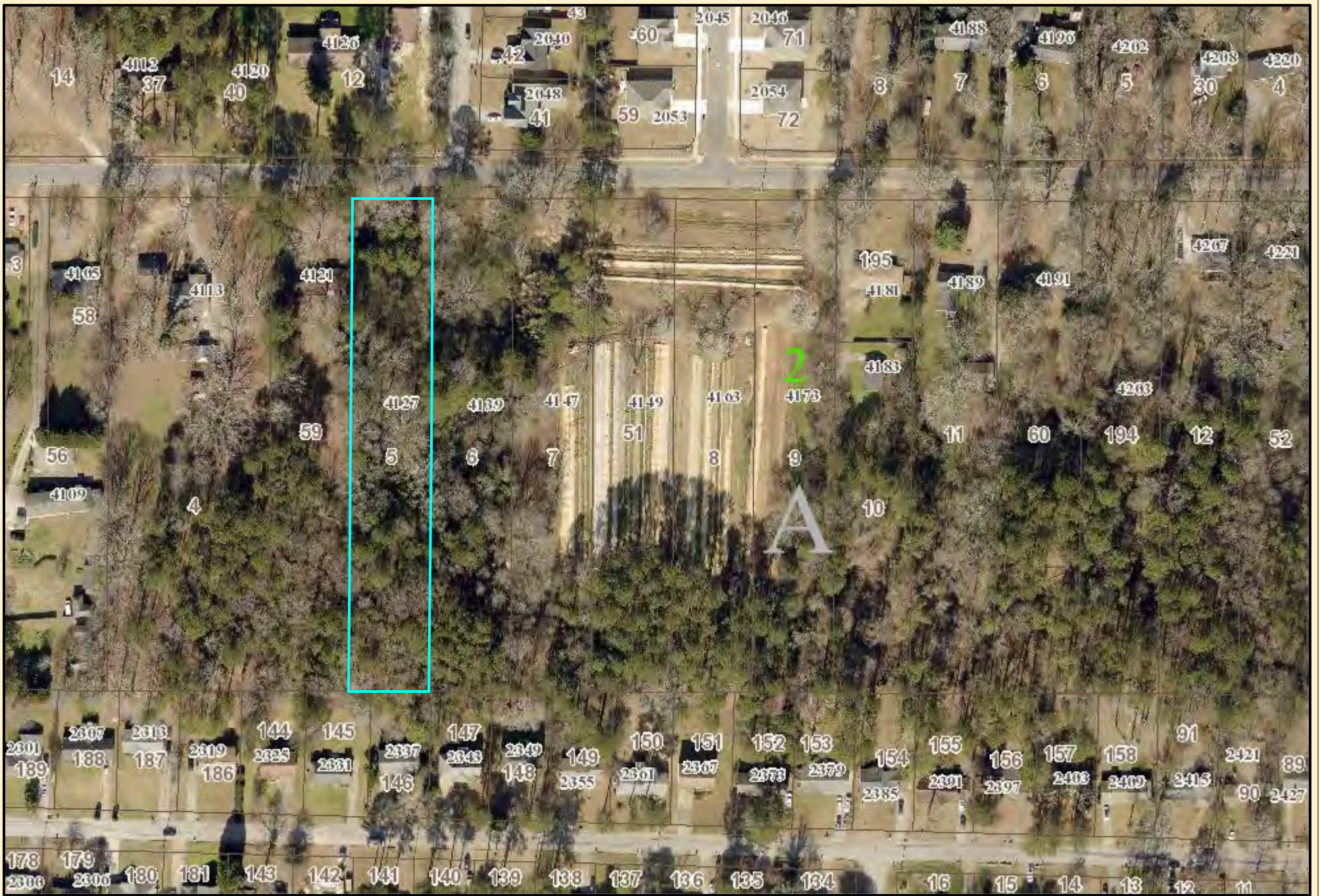


Date Printed: 7/7/2023

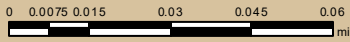


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DeKalb County Parcel Map



Date Printed: 7/7/2023



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SKETCH PLAT
A change is being proposed for this site.
Case Number: N1-P-Plat #1246866
Existing Zoning: RSM
Site Location:
4127, 4139, 4147, 4149, 4163 & 4173 Maplewood Dr
Purpose: (Refer to the attached application for details)
Planning Commission Public Meeting

TAKE ONE



SKETCH PLAT



A change is being proposed for this site.



Case Number: **N1. P-Plat #1246866**

Existing Zoning: RSM

Site Location:

4127, 4139, 4147, 4149, 4163 & 4173 Maplewood Dr

Purpose: Request to subdivide approximately 8.4 acres to construct up to 31 single-family detached dwellings.

CONTACT US
404.371.2155
www.dekalbcountyga.gov/planning-and-sustainability/planning

Planning Commission Sketch Plat Meeting

Date: 12/11/2024 Time: 6:00pm
Zoom ID: <https://dekalbcountyga.zoom.us/j/86330344636>
Phone: (888)-270-9936
Code: 691303

