

DeKalb County Historic Preservation Commission

Monday, December 16, 2024- 6:00 P.M.

Staff Report

Regular Agenda

B. 831 Clifton Road, John Plaster. Demolish and construct a nonhistoric carriage house, install landscaping in back and front yards and install retaining walls. **1247342.**

Built in 1930 (15 243 02 015)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

- 11-23 831 Clifton Road, Lucinda Bray. Construct swimming pool and install fence and gate. 1246732. **Approve.**
- 03-24 831 Clifton Road, Monty Dannenberg. Construct addition, install dormers, change rear roofline, modify windows and entryways on main property, and install new shutters and siding on carriage house. 1246926. **Partial Approval, Partial Deferral, Partial Denial.**
- 04-24 831 Clifton Road, Monty Dannenberg. Install dormers and modify windows. 1246926. **Approved.**
- 08-24 831 Clifton Road, John Plaster. Renovate and construct an addition on a historic house, demolish carriage house, and install pool in backyard. 1247157. **Approved with Modification.**

Summary

The applicant proposes the following work:

1. Demolish and construct a nonhistoric carriage house. The current carriage house, constructed in the 1960's and located in the backyard towards the western property line, will be demolished. A new carriage house, composed of a garage on the lower level and a studio living area on the upper level, will be constructed in the backyard in the rear corner along the eastern property line. The lower level of the carriage house will be constructed with a painted brick veneer, a set of three garage doors facing towards the western property line with jack arches above each one, and with two pillars on either side with limestone spheres on top and a decorative wall between the two pillars. The lower portion of the carriage house will be constructed below the grade of the rear yard, making the upper portion of the carriage house on the same grade as the rear yard. The upper portion of the carriage house will be constructed with painted wood lattice siding, a standing seam copper mansard roof with copper and glass eaves to match the porte coche on the main structure, a secondary flat seam copper roof, and floor-to-ceiling French doors. Two large trees will be removed from the backyard to construct the new carriage house.
2. Install landscaping in the backyard. The landscaping of the backyard will include:
 - a. Install parking pad in the footprint of the previous nonhistoric carriage house. The parking pad will be constructed with pavers and asphalt.
 - b. Installing retaining walls. Two retaining walls measuring 5'6" in height will be installed along two sides of the proposed parking pad, running parallel along the western and Southern property lines.
 - c. Plant vegetation. The applicant proposes planting a number of trees, shrubs, vines, and flowering plants throughout the backyard. Approximately half of the proposed plantings come from the recommended vegetation list within the Druid Hills Design Manual, with the other portion not conforming to the recommended list.

- d. Install fencing. A small section of 54" metal fencing will be installed in the northeastern corner of the backyard, along the eastern property line.
3. Install swimming pool. An oval 12'x36' swimming pool will be installed in the backyard, in the courtyard area between the main house and the proposed carriage house structure.
4. Install landscaping in the front yard. The landscaping of the backyard will include:
 - a. Installing retaining walls. A 30" painted brick retaining wall will be installed close to the front entrance of the main house, alongside the pathway leading to the front stairs. A 30" painted brick curved retaining wall will be installed lower down, connecting the proposed retaining wall and continuing to the eastern property line. Both retaining walls will fit within the existing grading of the front yard and will not be visible from the right of way.
 - b. Plant vegetation. The applicant proposes planting a number of trees, shrubs, vines, and flowering plants throughout the backyard. Approximately half of the proposed plantings come from the recommended vegetation list within the Druid Hills Design Manual, with the other portion not conforming to the recommended list.
 - c. Repave driveway. The current driveway will be resurfaced with concrete and a granite border. The location, orientation, and size of the driveway will remain unchanged.

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 8.2 *Trees* (p78) Recommendation - The mature hardwood forest within the Druid Hills Local Historic District should be perpetuated through a district-wide replanting program. Trees should be replaced when mature trees are lost to age or damage or are removed for safety reasons. Replacement trees should be of identical or similar varieties to the original trees. A diversity of tree types is recommended to perpetuate the existing character of most tree groupings. Replacement trees of adequate size (1.5" caliper minimum) are recommended. Existing ordinances that provide for the protection and replacement of the district's tree resources should be applied to development activities within Druid Hills.
- 9.3 *Vegetation* (p83) Recommendation – The plant list is intended to assist in the selection of appropriate plant materials. Olmsted's list and the list from the Georgia Landscapes Project provide guidance in selecting materials appropriate for historic landscape projects. There are other sources that can be consulted to identify additional plants used by Olmsted in Druid Hills, such as historic planting plans and particularly the archival record at the Olmsted National Historic Site in Brookline, Massachusetts. The Olmsted list presented in this document should be considered a beginning. Residents of Druid Hills are encouraged to add to this list with historic plants that can be documented as having been used by Olmsted. The native list should be used for natural areas within the district, such as creek corridors and drainage ways. Places within the district where the retention of healthy ecological environments is critical are best landscaped with native varieties. Since native plants have been available since the colony of Georgia was established in 1733, native plants are also appropriate for historic landscapes.
- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use.

- 9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to “soften” the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.
- 9.5 *Parking* (p90) Guideline - Parking should be addressed in a manner that does not distract from the overall character of the district. Parking to serve private residential lots should be accommodated on-site, when at all possible, using the pathway of original drives and parking. Front yard parking should not be allowed unless it is a public safety issue. When front yard parking is necessary, it should be added in a manner that does not destroy the unbroken landscaped character of the front yard spaces in Druid Hills. Rear yard spaces should be considered for expansion of parking areas.
- 9.5 *Parking* (p90) Guideline - Curb cuts should not be added or expanded in order to protect the character of the district's streets.
- 9.5 *Parking* (p90) Recommendation - It is preferable to expand an existing driveway for parking rather than to add a separate parking pad, since the result is usually less paved surface. Plant materials can be added around parking spaces to visually buffer the parking from the street.
- 9.5 *Parking* (p90) Recommendation - In surfacing new parking areas, the use of impervious paving materials is discouraged. The intent is to limit the amount of run-off within the district's watershed. Consideration should be given to the use of porous materials that allow water penetration and preserve the open character of the landscape.
- 9.6 *Accessory Buildings* (p91) Guideline - New accessory buildings, such as garages and storage houses, are to be located in rear yard spaces and visually buffered from adjacent property owners and the public right-of-way. Accessory buildings that complement the architecture of the adjacent residence do not require the same level of buffering and may remain more visible within the local district. If the new building will be visible from the street, it should respect the established setbacks and orientations of the historic buildings in the area.
- 9.6 *Accessory Buildings* (p91) Recommendation - Recreational structures, such as tree houses and play houses, should be added only to rear yard spaces in a manner that is compatible with the architecture and siting patterns of the adjacent area.
- 9.7 *Residential Landscape Design* (p91) Recommendation - For residential yards, created without the assistance of landscape designers, historic landscape plans for other residential lots within the district should be used for guidance. These plans can be interpreted to create a new landscape plan that is based on historic traditions. Care should be taken to select designs for yards of similar size containing houses of similar style and scale.
- 9.7 *Residential Landscape Design* (p92) Recommendation - Residential yards, originally created by noted landscape designers, will require special attention. Original plans and specifications should be used, if they can be located, in updating plantings. Suggested steps to follow in the redesign of residential landscapes are noted below:
- 1) Understand the original landscape design through historic research; for example, try to locate original plans and specifications and historic photographs;
 - 2) Compare the existing landscape with the documented historic landscape;
 - 3) Identify any features that are part of the historic landscape;
 - 4) Be sensitive to the potential of archaeological features (Refer to Chapter 10.0: Archeology);
 - 5) Identify site needs, develop a program for the site (circulation versus planting zone); and
 - 6) Develop an updated plan for the landscape that retains as much historic material, as possible, and accommodates today's functional needs in a manner that is in the spirit of the historic design.

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: _____

Date Received: _____

Address of Subject Property: _____

Applicant: _____ E-Mail: _____

Applicant Mailing Address: _____

Applicant Phone: _____

Applicant's relationship to the owner: Owner Architect Contractor/Builder Other

Owner(s): _____ Email: _____

Owner(s): _____ Email: _____

Owner(s) Mailing Address: _____

Owner(s) Telephone Number: _____

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

- | | | | | | |
|-------------------|--------------------------|------------------------|--------------------------|-----------------------------|--------------------------|
| New construction | <input type="checkbox"/> | New Accessory Building | <input type="checkbox"/> | Other Building Changes | <input type="checkbox"/> |
| Demolition | <input type="checkbox"/> | Landscaping | <input type="checkbox"/> | Other Environmental Changes | <input type="checkbox"/> |
| Addition | <input type="checkbox"/> | Fence/Wall | <input type="checkbox"/> | Other | <input type="checkbox"/> |
| Moving a Building | <input type="checkbox"/> | Sign Installation | <input type="checkbox"/> | | |

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjvennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: 

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: _____

being owner(s) of the property at: _____

hereby delegate authority to: _____

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): _____

Date: _____

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail pvjennings@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, ¼"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

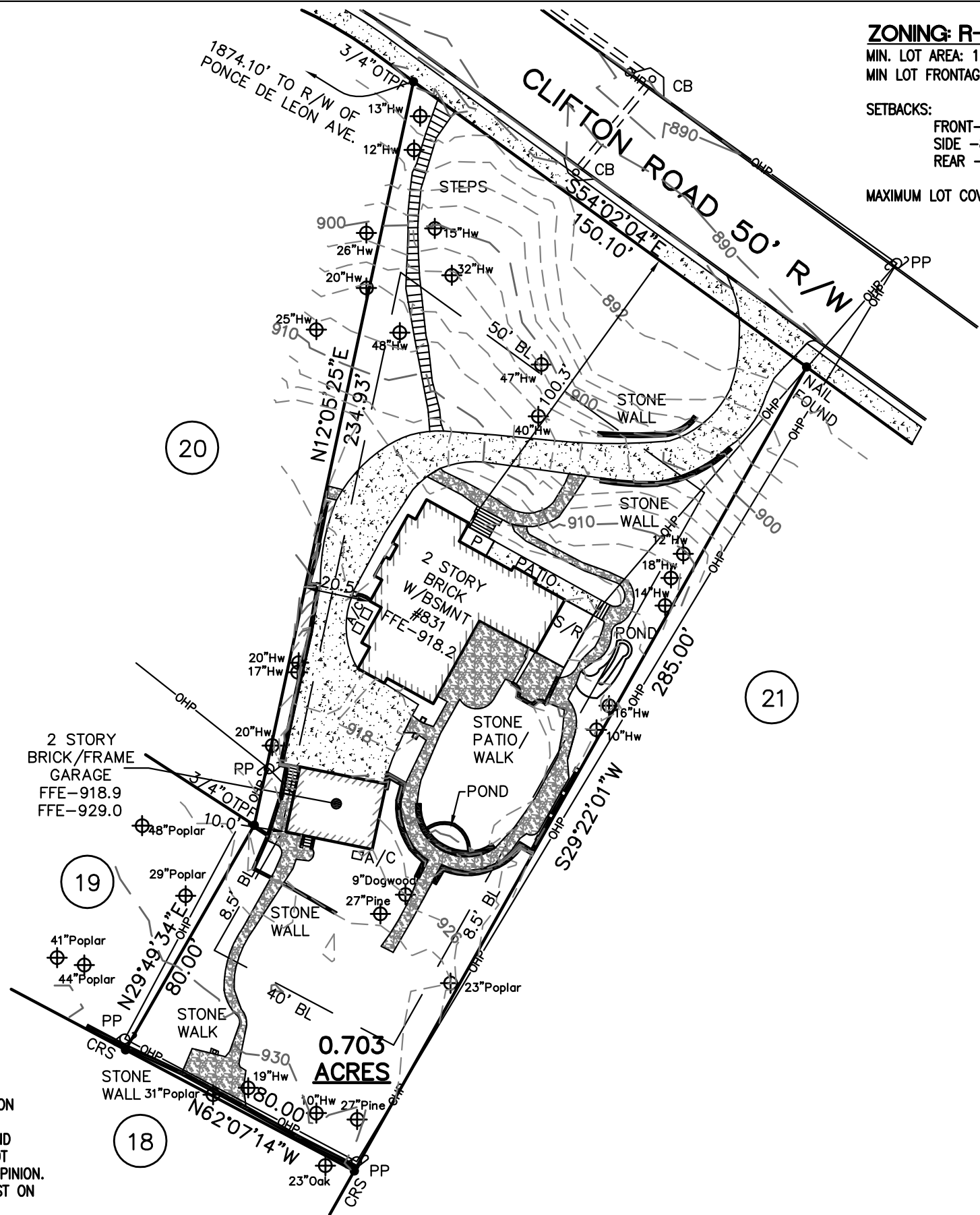
I have reviewed the HPC calendar.

LEGEND

- RBF REBAR FOUND (1/2" REBAR)
- CRS CAPPED REBAR SET (1/2" REBAR)
- CRBF CAPPED REBAR FOUND
- OTF OPEN TOP FOUND
- CTF CRIMP TOP FOUND
- ☆ LIGHT POLE
- BL BUILDING LINE
- C.L.F. CHAIN LINK FENCE
- R/W RIGHT-OF-WAY
- TPED PHONE PEDASTAL
- CATV CABLE BOX
- WM WATER METER
- PB TRANSFORMER
- U/E UTILITY EASEMENT
- (12.34'D) DEED DISTANCE
- 12.34'(M) MEASURED DISTANCE
- DE DRAINAGE EASEMENT
- SSE SEWER EASEMENT
- HW HEADWALL
- JB JUNCTION BOX
- CB CATCH BASIN
- YI YARD INLET
- P PORCH
- C/P CARPORT
- P.E. POOL EQUIPMENT



NOTE: THE PUBLIC RECORDS REFERENCED HEREON REFLECT ONLY THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON, AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR OPINION. EASEMENTS OR OTHER ENCUMBRANCES MAY EXIST ON PUBLIC RECORD BUT NOT BE SHOWN HEREON.



ZONING: R-85

MIN. LOT AREA: 12,000 SF
MIN LOT FRONTAGE: 85'

SETBACKS:
FRONT-5 FEET
SIDE -8.5 FEET
REAR -40 FEET

MAXIMUM LOT COVERAGE: 35%

GENERAL NOTES

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE BY LATITUDES AND DEPARTURES AND IS FOUND ACCURATE TO WITHIN ONE FOOT IN 214,516 FEET.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000± FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE.

A NIKON - TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE OR STRUCTURE.

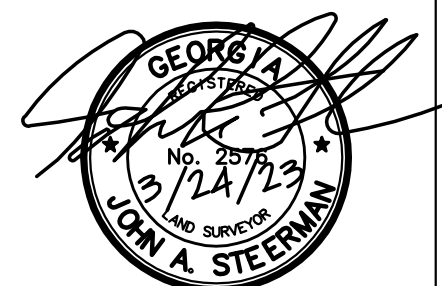
CERTIFICATION IS MADE TO PERSON(S) NAMED ON THIS PLAT AND IS NOT TRANSFERABLE TO OTHERS.

UTILITIES SHOWN ARE LOCATIONS OF GROUND IDENTIFIABLE ITEMS. ADDITIONAL UTILITES MAY EXIST ABOVE OR BELOW GROUND. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR THE COMPLETENESS OF THIS DATA.

THIS PROPERTY IS SUBJECT TO ALL RIGHT OF WAYS AND EASEMENTS SHOWN OR NOT SHOWN, RECORDED OR UNRECORDED

FLOOD NOTE:

BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE WITHIN A FEMA/FIRM SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 13089C0064K DATED 8/15/19

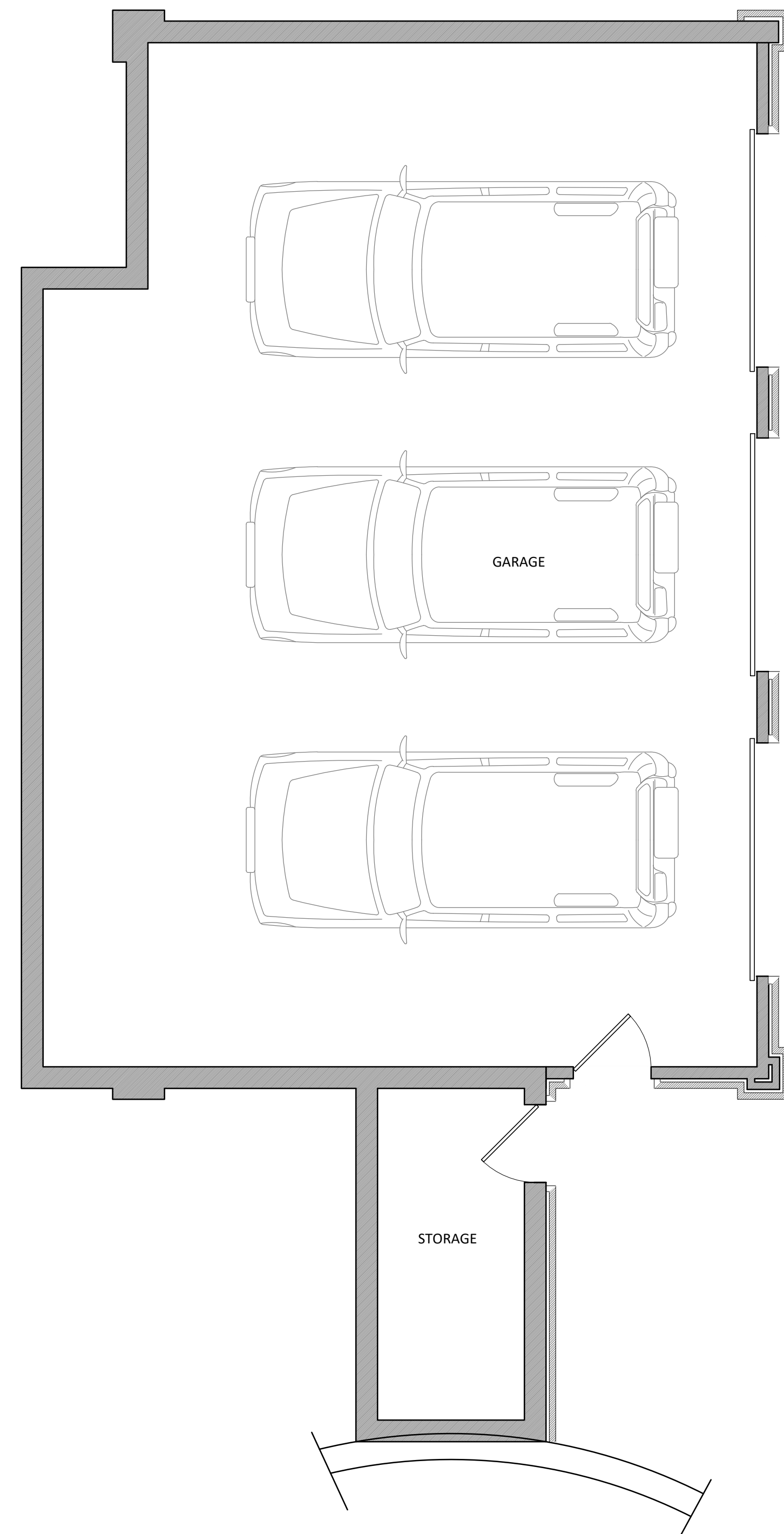


IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

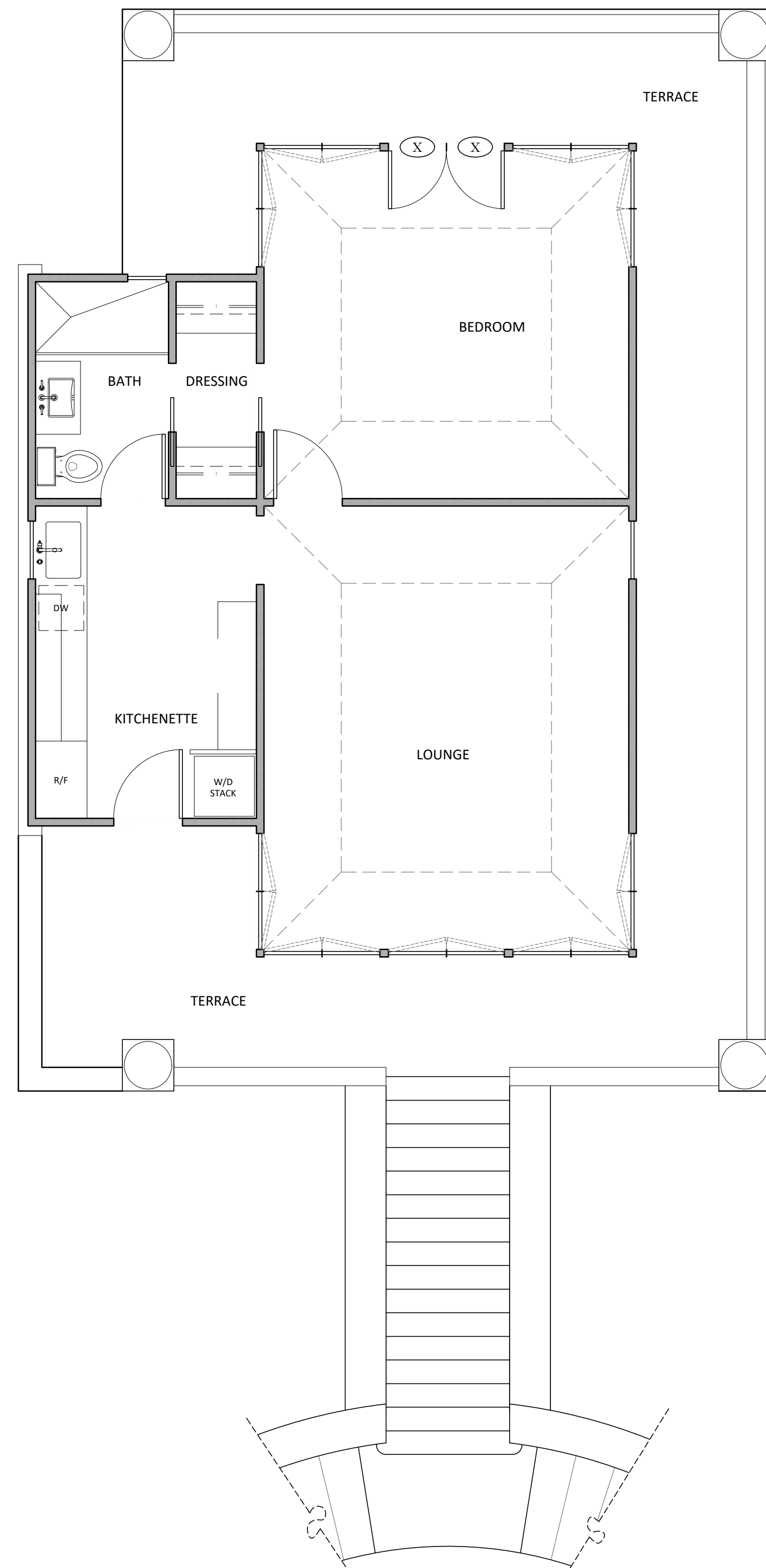
SCI Development Services
ENGINEERS - SURVEYORS - LAND PLANNERS
2020 WESTSIDE COURT-STE E-SNELLVILLE GEORGIA 30078
(770) 736-7666 MAIL@SURVEYCONCEPTS.NET

PROJECT: 56021
DWG BY: DCP
CHKD BY: JAS
DATE: 3/20/23
SCALE: 1"=40'

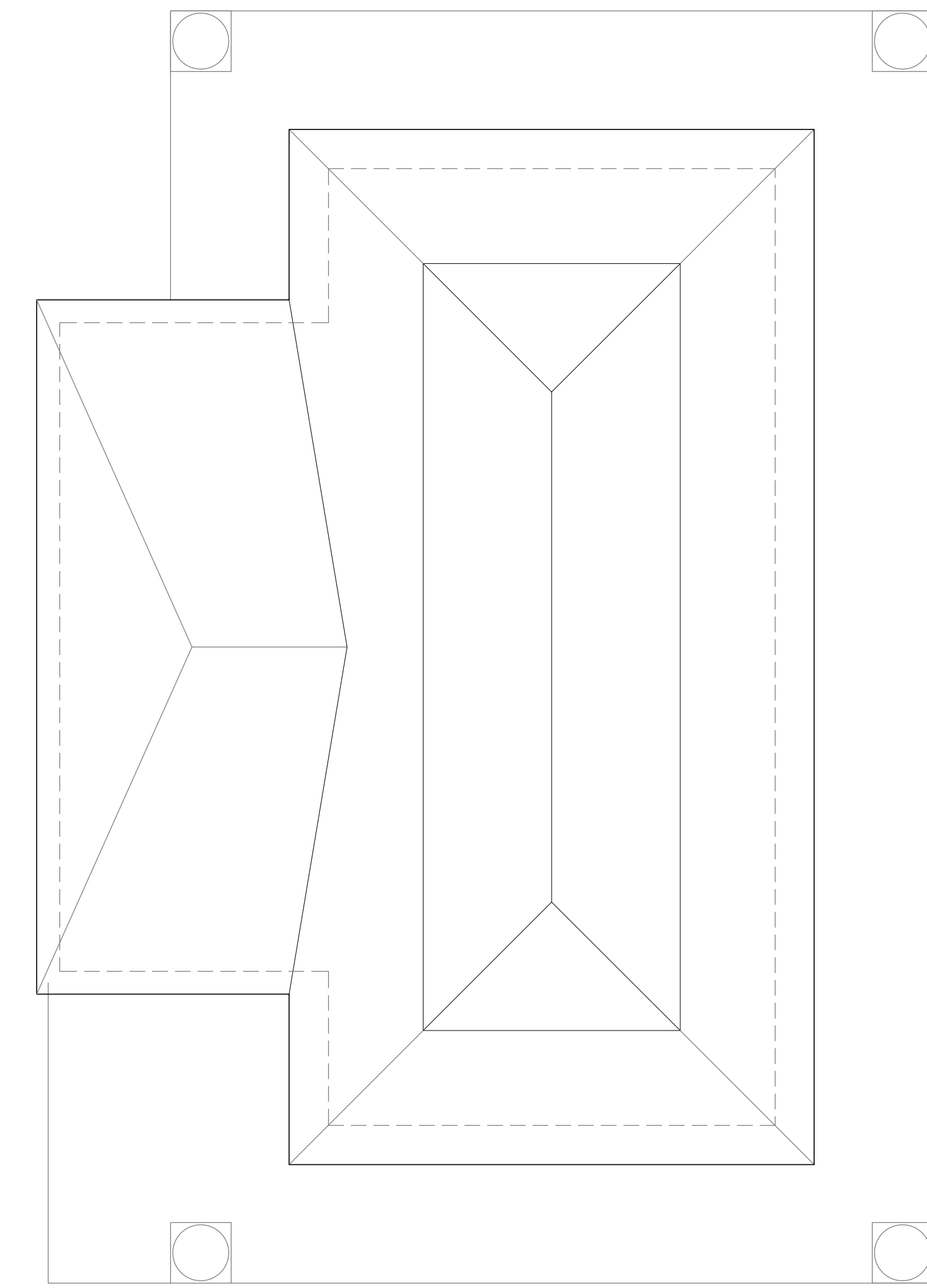
SURVEY FOR:
DUSTIN GOOSSENS
LOT 20-A, BLOCK 15
SUBDIVISION: DRUID HILLS
LAND LOT 243, 15th DISTRICT
DEKALB COUNTY, GEORGIA
REFERENCED IN DEED BOOK 30786, PAGE 774



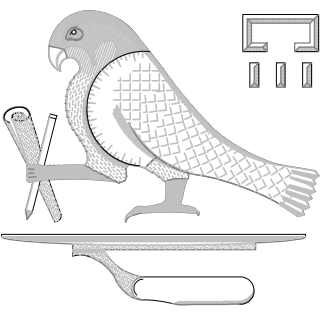
garage floor plan 1
1/4" = 1'-0" A1.4



carriage house floor plan 2
1/4" = 1'-0" A1.4



carriage house roof plan 3
1/4" = 1'-0" A1.4



JOHN B. PLASTER

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A renovation for

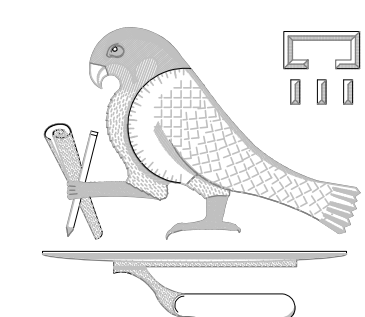
**Kelly Monical &
Dustin Goossens**

831 Clifton Road
Atlanta, GA

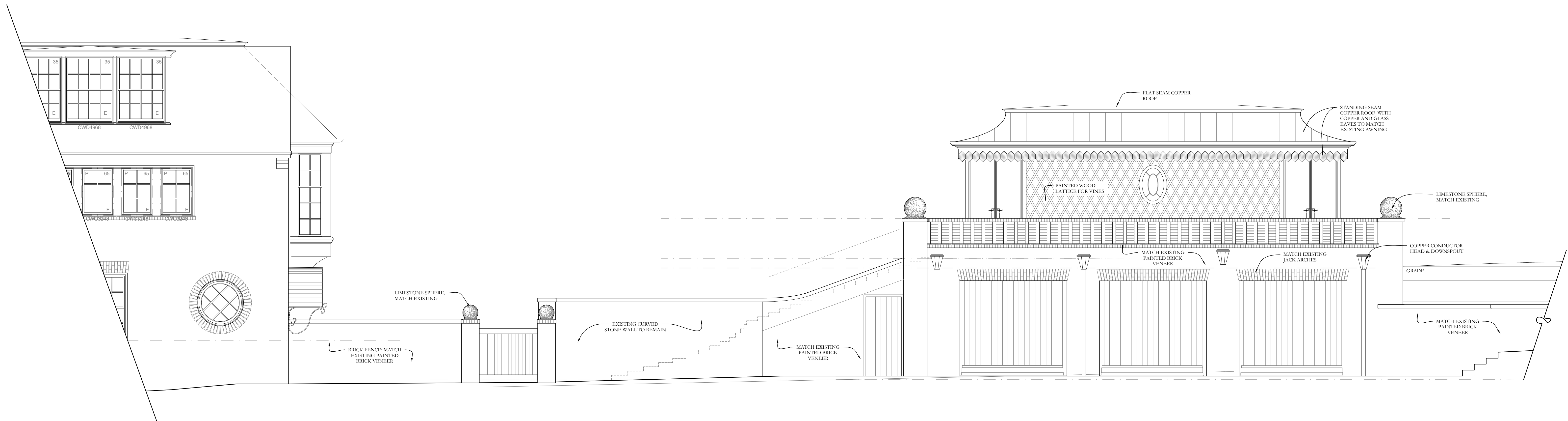
Preliminary Pricing 2024-09-04
Druid Hills Review 2024-11-24

ROOF PLANS

A1.4



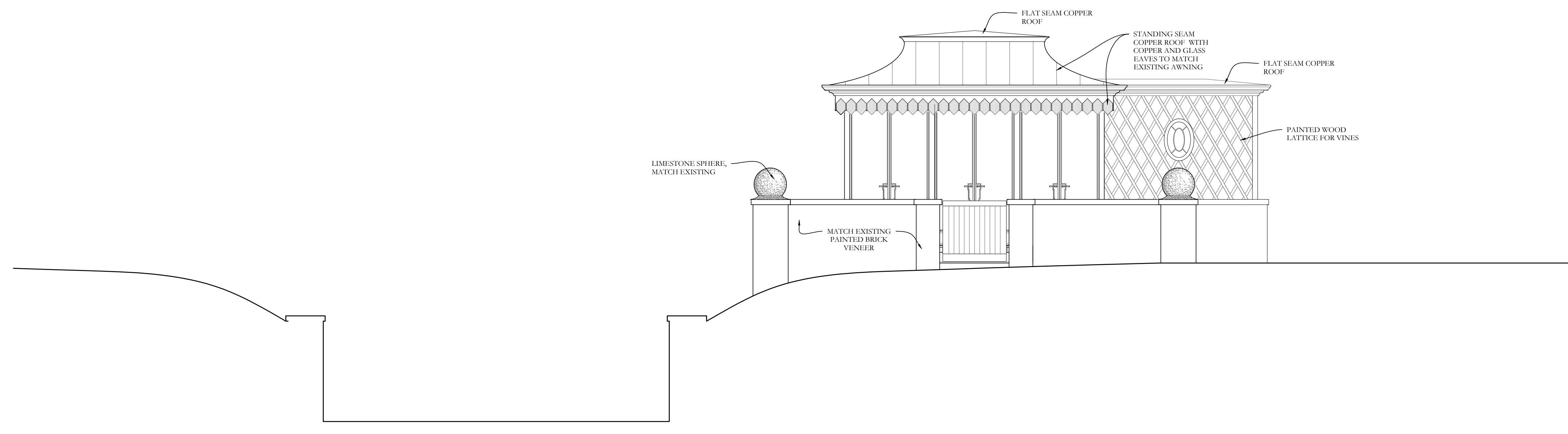
JOHN B. PLASTER



carriage house - motorcourt elevation

1/4" = 1'-0"

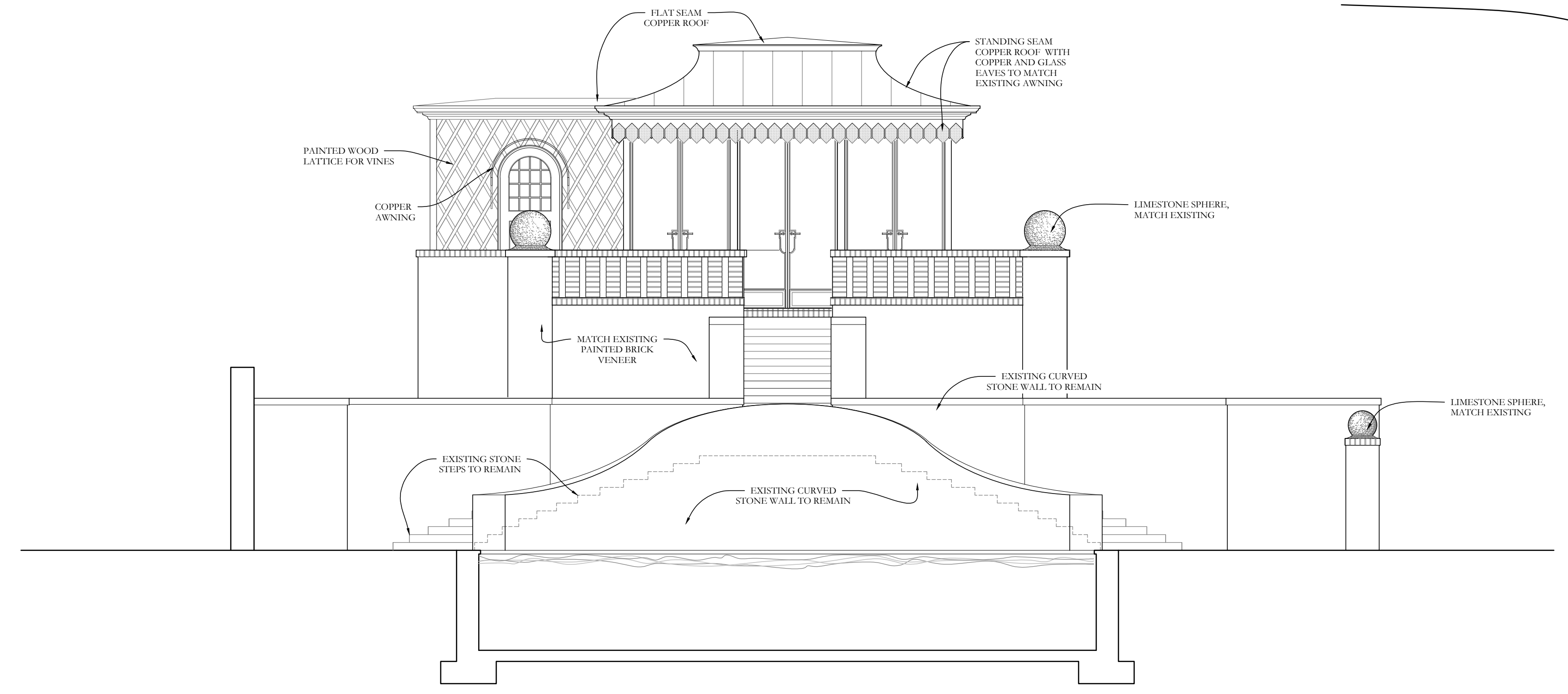
1
A2.3



carriage house - rear elevation

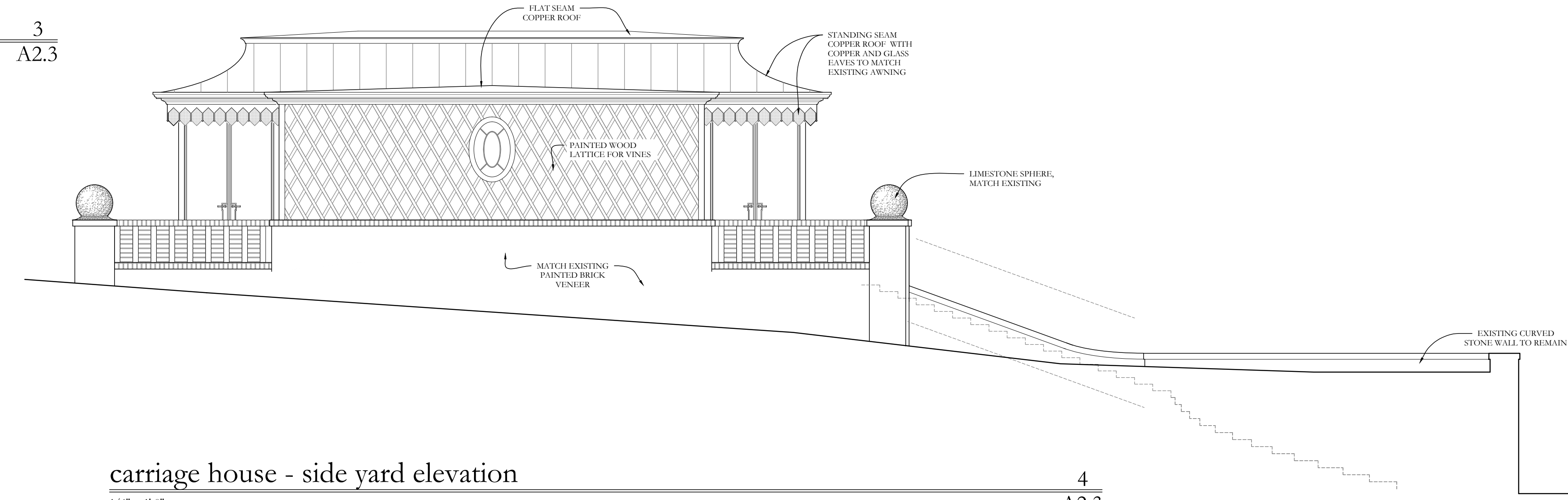
1/4" = 1'-0"

2
A2.3



carriage house - pool elevation

1/4" = 1'-0"



carriage house - side yard elevation

1/4" = 1'-0"

4
A2.3

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A renovation for
Kelly Monical & Dustin Goossens
704-287-2026
831 Clifton Road
Atlanta, GA

Druid Hills Review 2024-07-23
Preliminary Pricing 2024-09-04
Druid Hills Review 2024-11-24

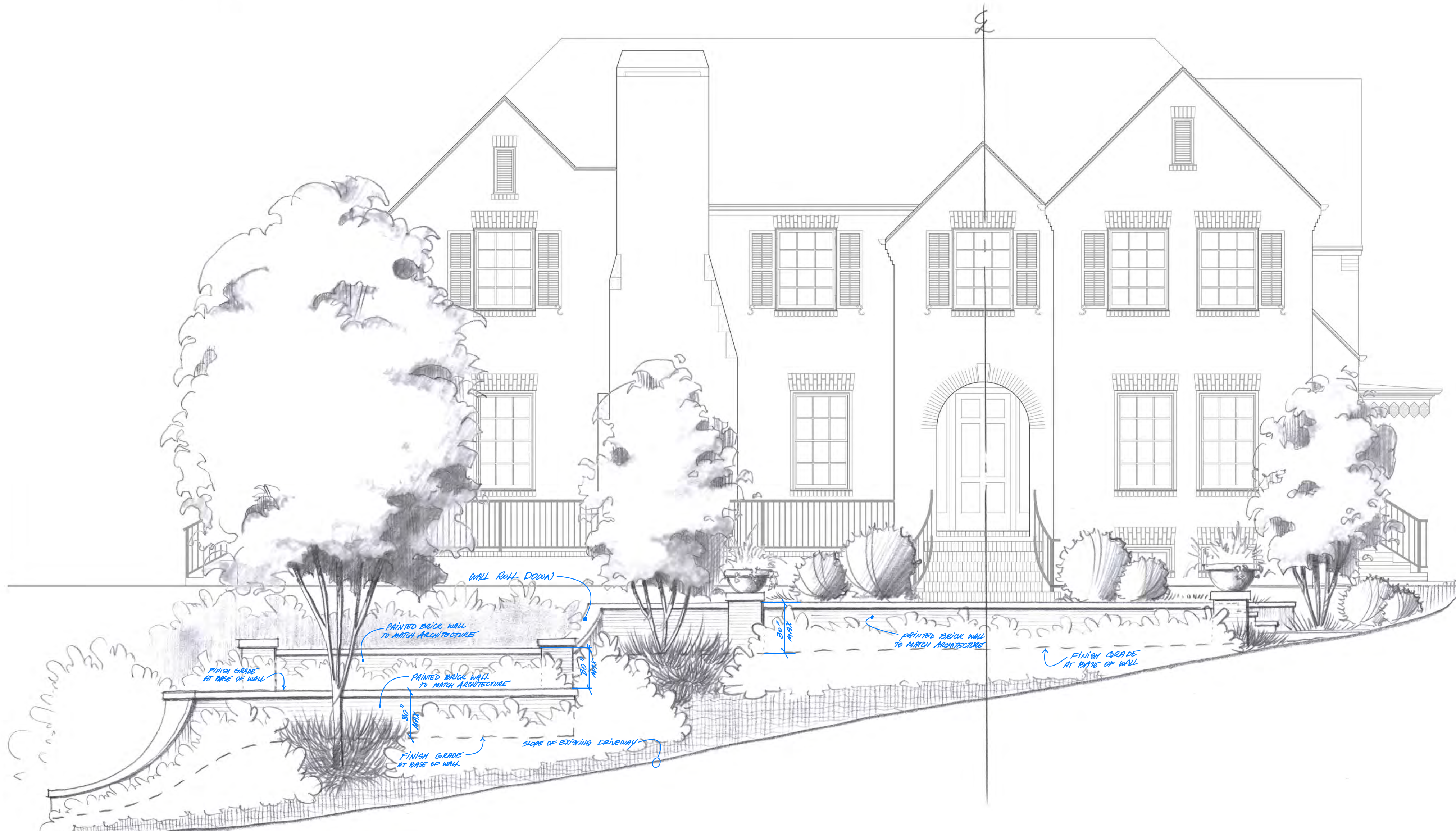
CARRIAGE HOUSE ELEVATIONS

A2.3

MONICAL RESIDENCE

831 CILFTON ROAD • ATLANTA, GEORGIA
ILLUSTRATIVE MASTER PLAN

NOVEMBER 22, 2024
SCALE: 1/4" = 1'-0"



S W H

THE MONICAL RESIDENCE

831 CILFTON ROAD | 30307 ALTANTA, GEORGIA

SITE INSPIRATION BOOK

2024 . II.II

STEPHEN W HACKNEY LANDSCAPE ARCHITECTURE, LLC.

2110 Keller Bend Road, Knoxville TN 37922 - stephenwhackney.com - 865-257-9494

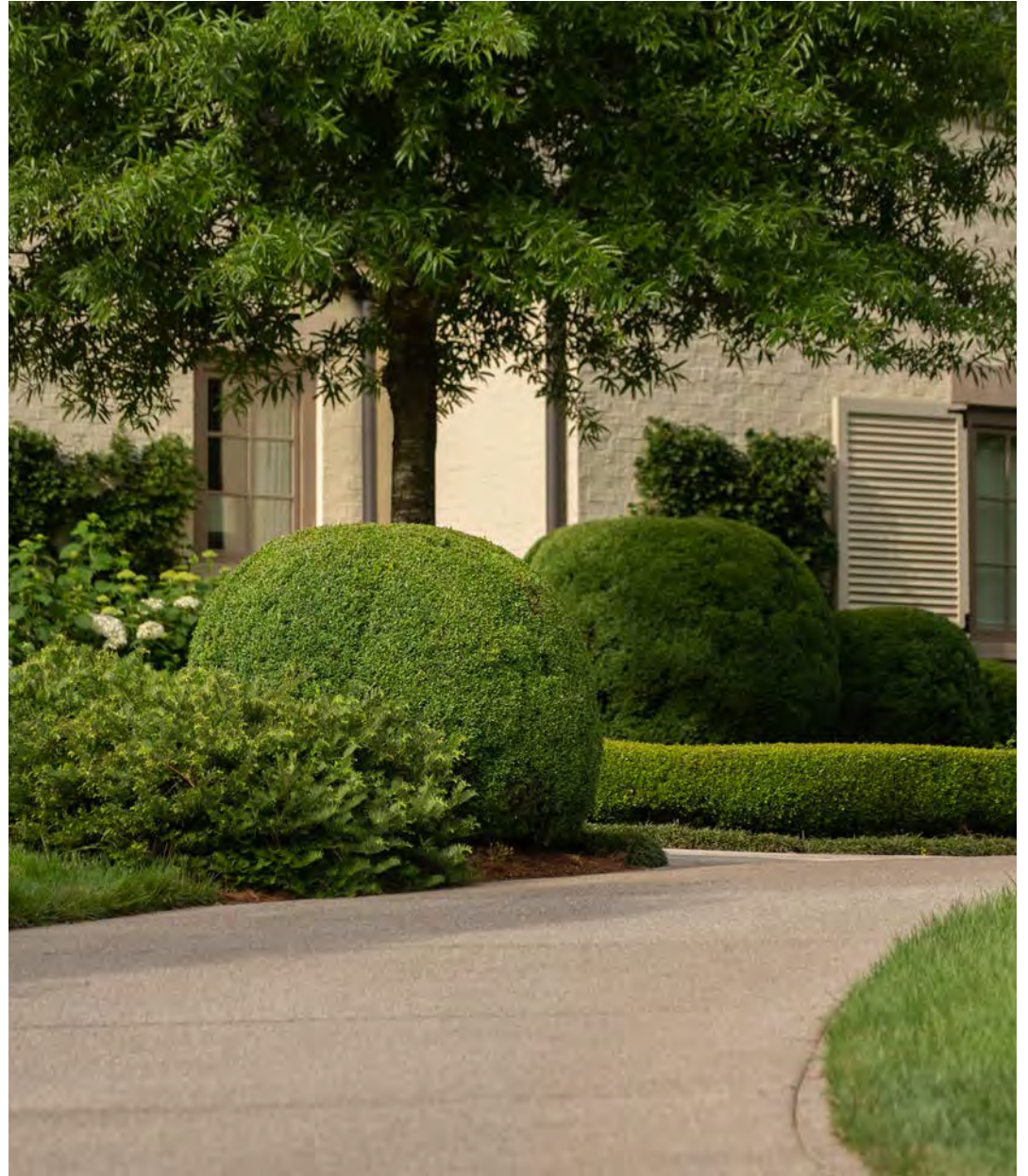
ENTRY SEQUENCE



COLUMN INSPIRATION



DRIVEWAY COBBLE APRON DETAIL



CURVING DRIVEWAY

MONICAL RESIDENCE
831 CILFTON ROAD | 30307 ATLANTA, GEORGIA
NOVEMBER 11, 2024



STACKED STONE RETAINING WALL



DRIVEWAY PLANTING INSPIRATION



PAINTED BRICK WALL WITH STONE CAP

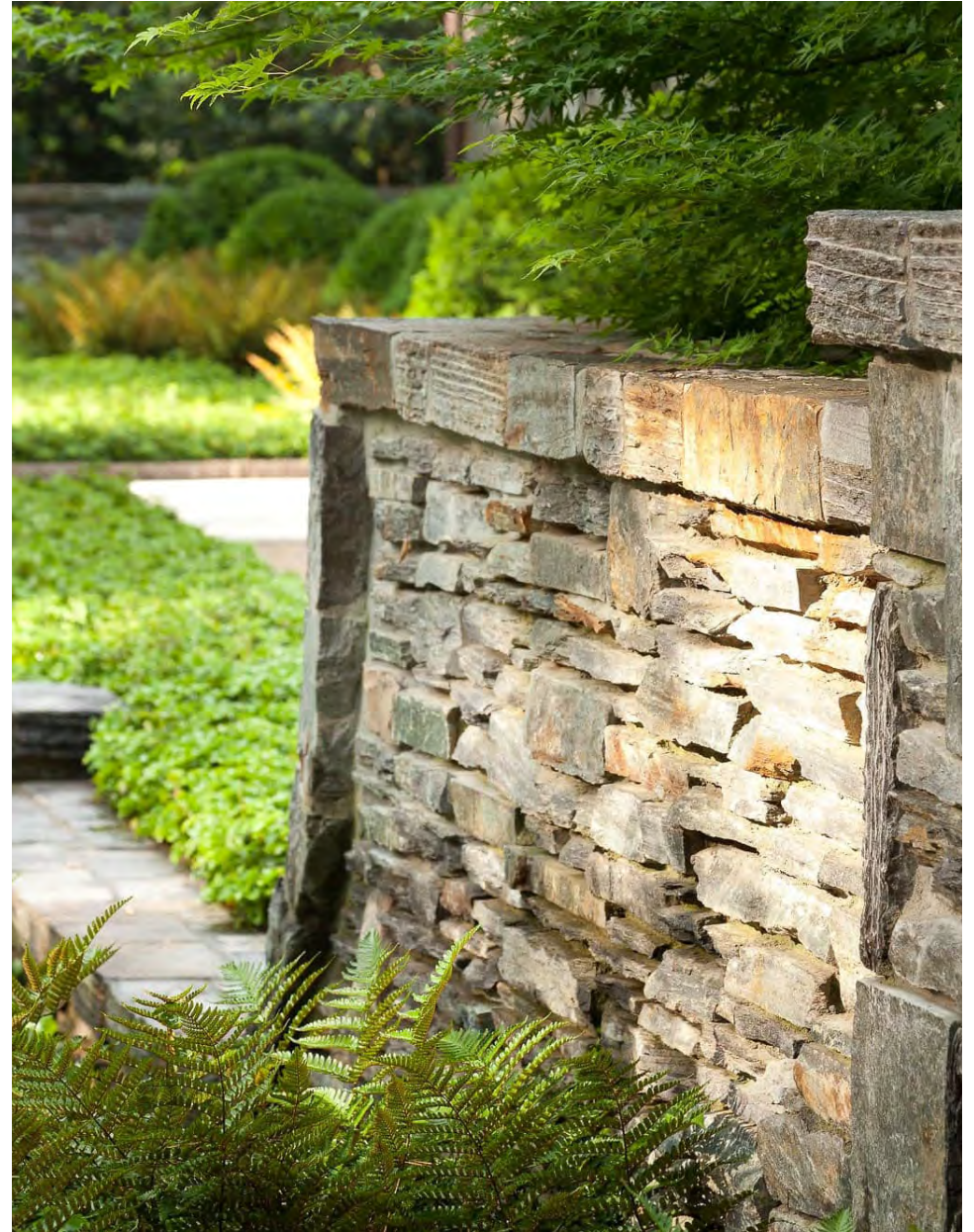
MONICAL RESIDENCE
831 CILFTON ROAD | 30307 ATLANTA, GEORGIA
NOVEMBER 11, 2024



FLOWERING SHRUBS



IRREGULAR STONE PATH AT DRIVEWAY



ROLL DOWN WALL

MONICAL RESIDENCE
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NOVEMBER 11, 2024



CURVED WALL



BOXWOOD MASSING

MONICAL RESIDENCE
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NOVEMBER 11, 2024

MOTOR COURT



MOTOR COURT INSPIRATION

MONICAL RESIDENCE
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NOVEMBER 11, 2024



ESPALIER WALL PLANTING



COBBLE MOTOR COURT APRON

POOL



POOL PLANTING INSPIRATION



POOL DETAIL AND POT AT COPING



POOL STYLE



ELEVATED POOL COPING

MONICAL RESIDENCE
831 CILFTON ROAD | 30307 ATLANTA, GEORGIA
NOVEMBER 11, 2024



STONE STAIRS



FURNITURE LAYOUT INSPIRATION



IRREGULAR STEPPING STONES WITH PLANTED JOINTS

MONICAL RESIDENCE
831 CILFTON ROAD | 30307 ATLANTA, GEORGIA
NOVEMBER 11, 2024



LION MASK



EXISTING STONE STEPS



EXISTING STACKED STONE WALL

MONICAL RESIDENCE
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NOVEMBER 11, 2024

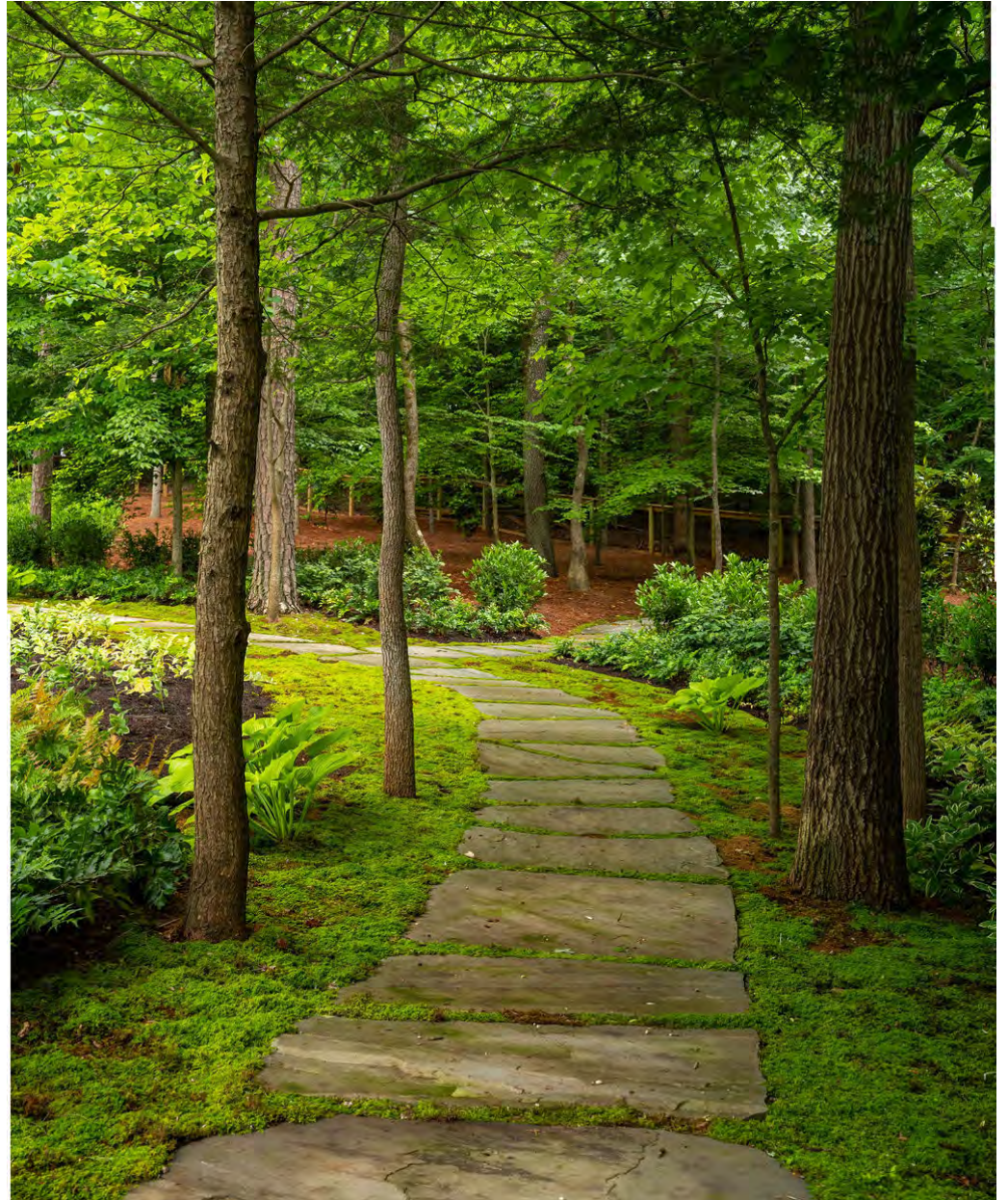
REAR COURTYARD



PLANTING INSPIRATION



PLANTING INSPIRATION



IRREGULAR STONE PATH WITH PLANTED JOINTS

MONICAL RESIDENCE
831 CILFTON ROAD | 30307 ATLANTA, GEORGIA
NOVEMBER 11, 2024



STONE STAIRS

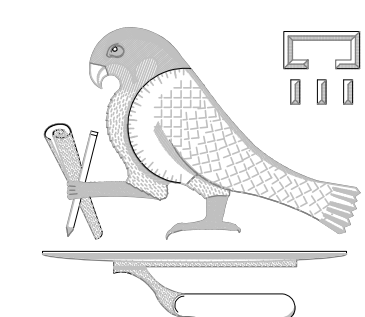


SEATING INSPIRATION



IRREGULAR STONES WITH PLANTED JOINTS

MONICAL RESIDENCE
831 CILFTON ROAD | 30307 ATLANTA, GEORGIA
NOVEMBER 11, 2024



JOHN B. PLASTER

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A renovation for

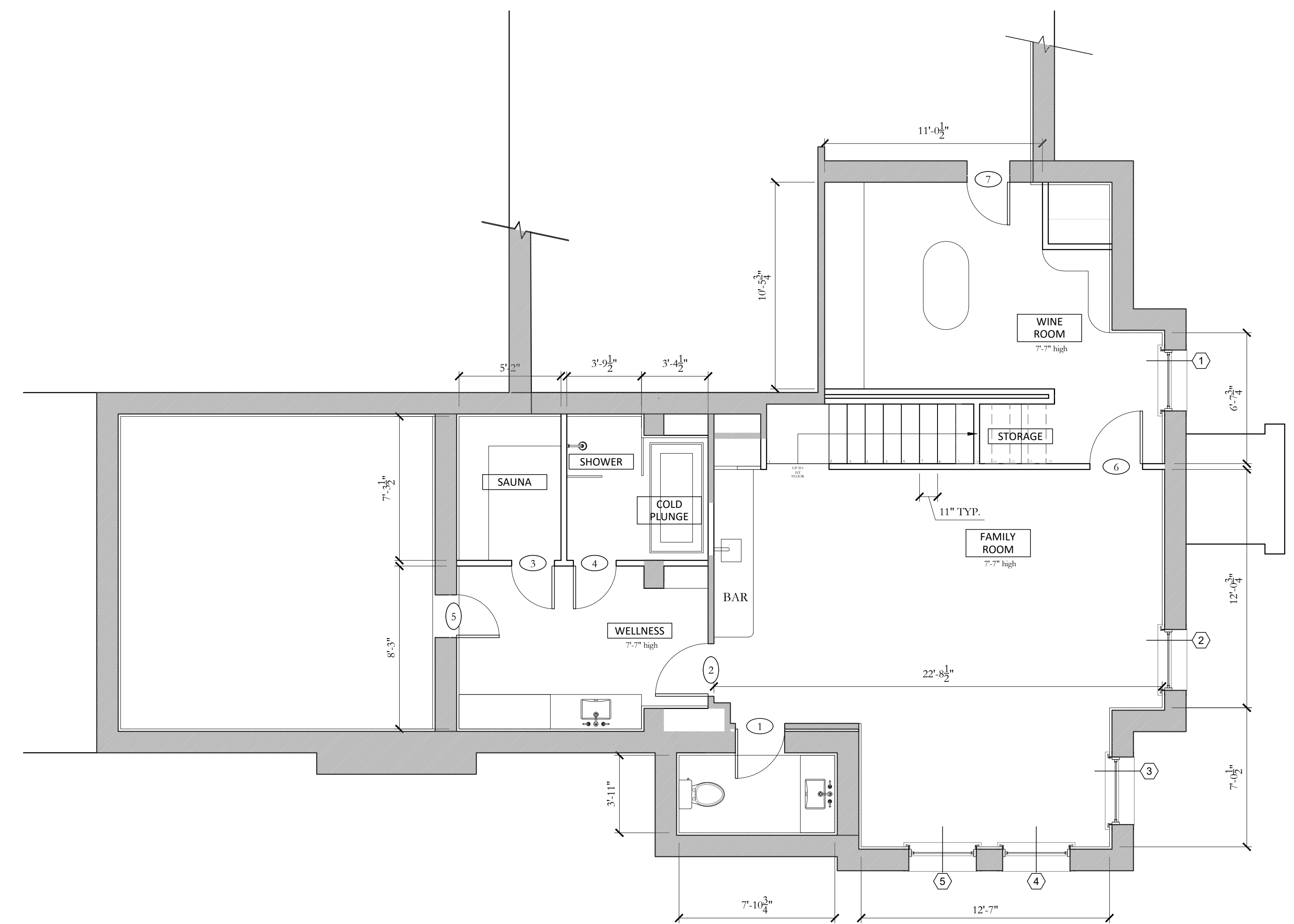
Kelly Monical & Dustin Goossens
704-287-2026

831 Clifton Road
Atlanta, GA

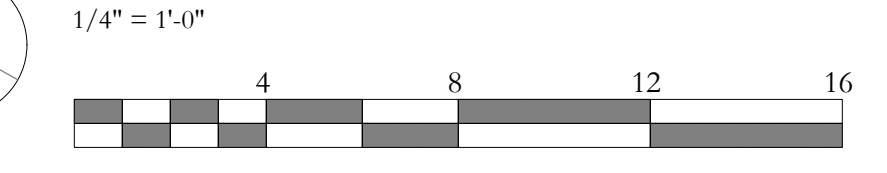
Druid Hills Review 2024-07-23

BASEMENT & MAIN FLOOR PLANS

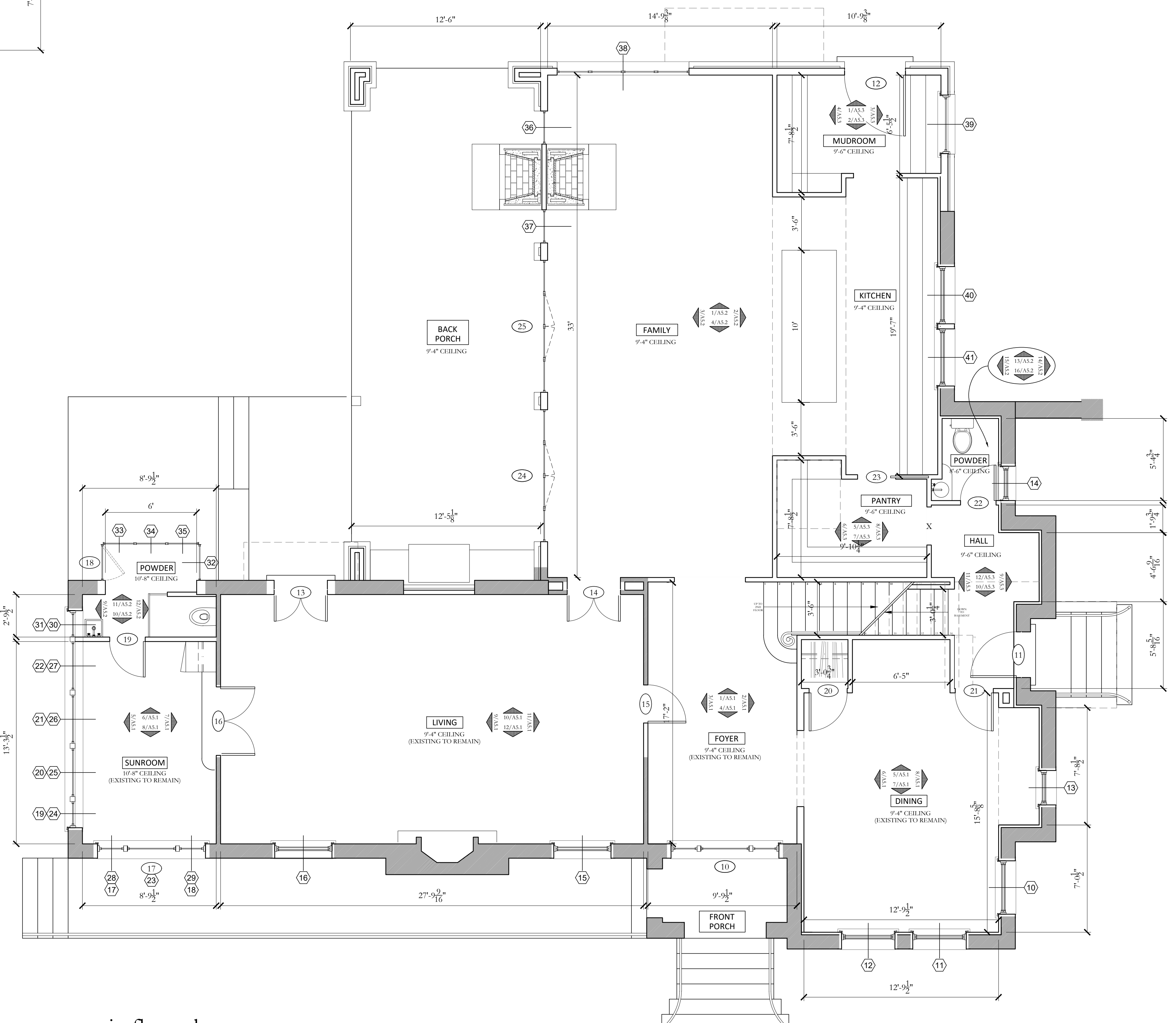
A1.1



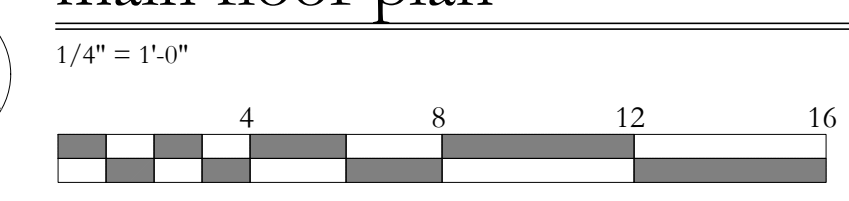
basement floor plan



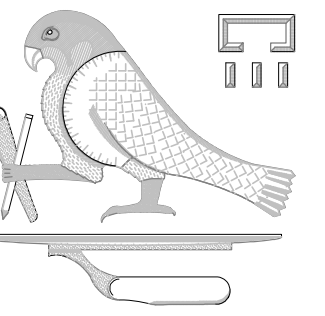
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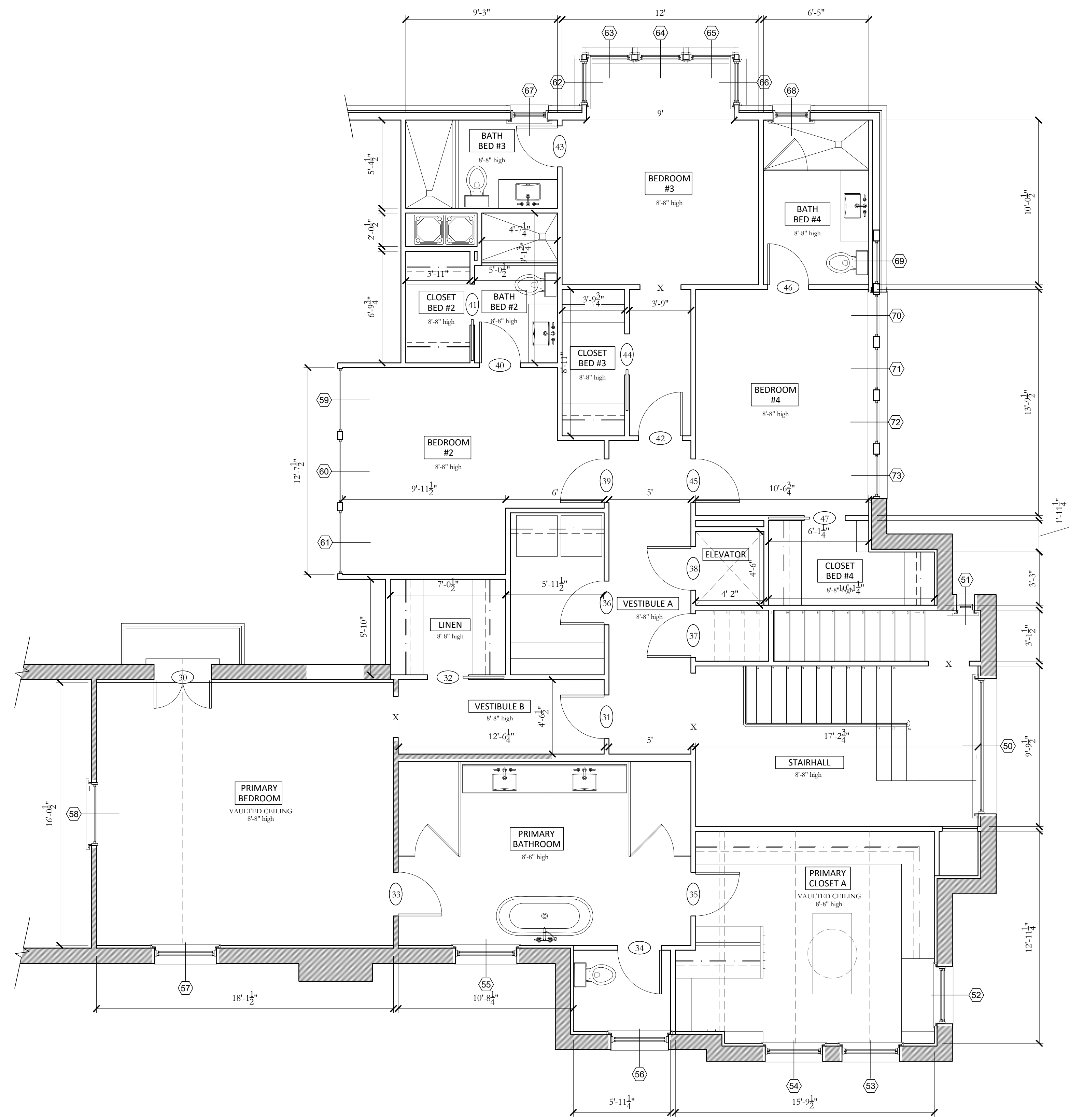
main floor plan



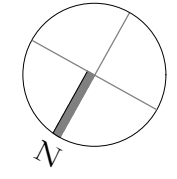
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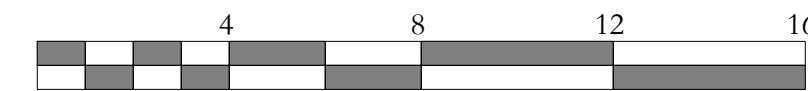
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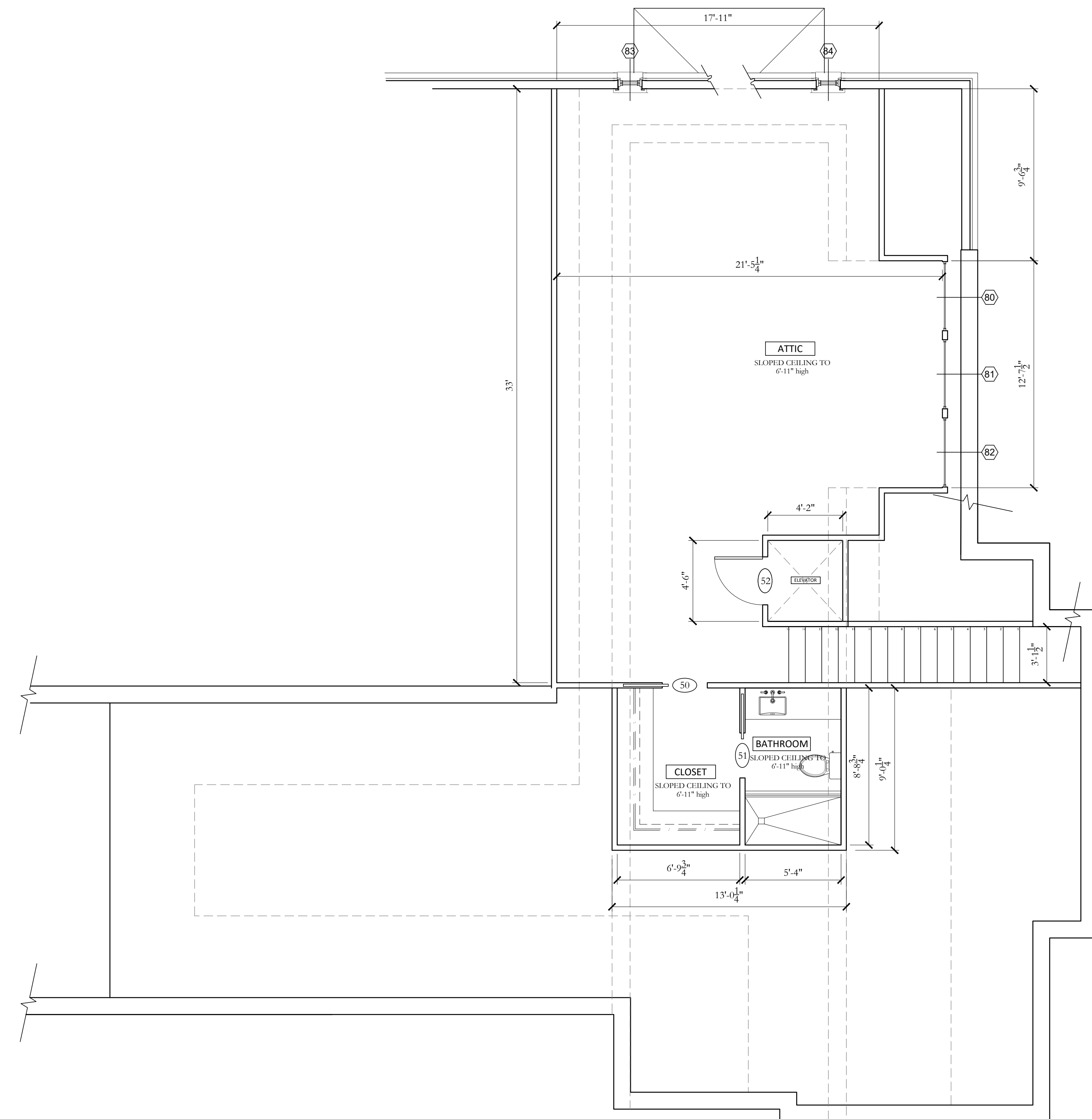
second floor plan



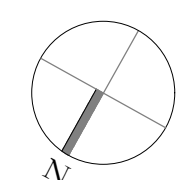
1/4" = 1'-0"



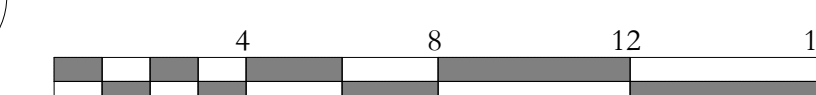
1
A1.2



attic floor plan



1/4" = 1'-0"



A1.2

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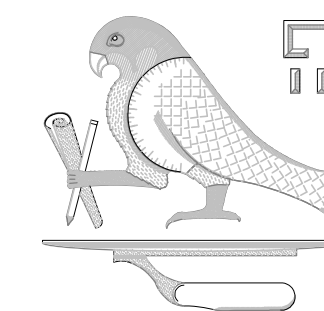
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SECOND & THIRD FLOOR PLANS

A1.2

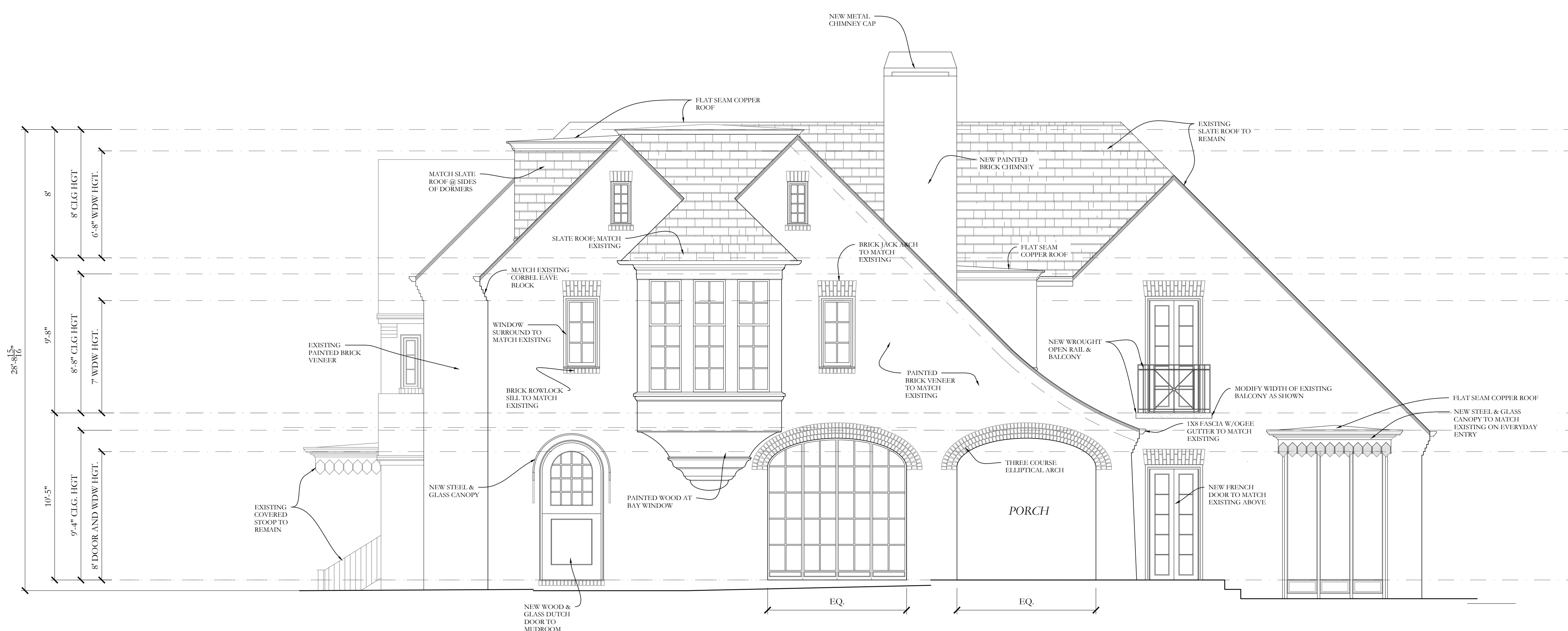
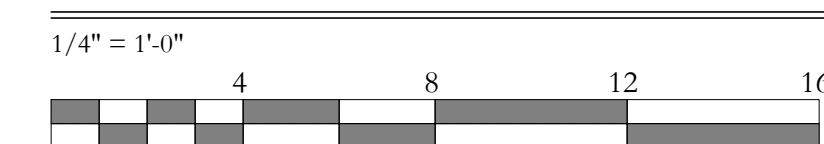


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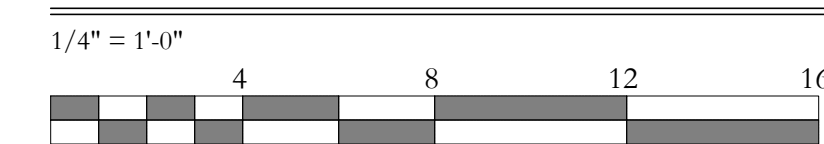
front elevation

1



rear elevation

2



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ELEVATIONS

A2.1

BOTANICAL NAME	COMMON NAME
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TREES

<i>Acer Rubrum</i> 'October Glory'	October Glory Red Maple
<i>Magnolia grandiflora</i> 'Southern Charm'	Teddy Bear Magnolia
<i>Magnolia grandiflora</i> 'Claudia Wannamaker'	Claudia Wannamaker Magnolia
<i>Ginkgo Biloba</i> 'The President'	Presidential Gold Ginkgo
<i>Magnolia virginiana</i> 'Green Shadow'	Green Shadow Sweetbay Magnolia
<i>Magnolia virginiana</i> 'Keltyk'	Keltyk Sweetbay Magnolia
<i>Pyrus communis</i> 'Kieffer'	Kieffer Pear Espalier
<i>Quercus Lyrata</i> 'Highbeam'	Highbeam Overcup Oak
<i>Quercus phellos</i> 'Hightower'	Hightower Willow Oak
<i>Osmanthis fragrans</i>	Tea Olive
<i>Cedrus Deodara</i> 'Wyndimere'	Wyndimere Deodar Cedar
<i>Ilex x</i> 'CONAF'	Oak Leaf Red Holly
<i>Ilex x</i> 'Nellie R. Stevens'	Nellie R Stevens Holly

SHRUBS & VINES

<i>Buxus sempervirens</i>	American Boxwood
<i>Camellia sasanqua</i> 'Setsugekka'	White Camellia
<i>Danae racemosa</i>	Danae
<i>Hydrangea arborescens</i> 'Incrediball'	Incrediball Hydrangea
<i>Parthenocissus tricuspidata</i> 'Veitchii'	Veitchii Boston Ivy
<i>Hydrangea anomala petiolaris</i>	Climbing Hydrangea
<i>Hydrangea paniculata</i> 'Bobo'	Bobo Hydrangea
<i>Ficus pumila</i>	Creeping Fig
<i>Rosa</i> 'The Fairy'	The Fairy Rose
<i>Forsythia suspensa</i>	Forsythia
<i>Trachelospermum jasminoides</i> 'Madison'	Madison Jasmine
<i>Rhododendron</i> 'GG Gerbing'	GG Gerbing Azalea
<i>Rosa</i> 'New Dawn'	New Dawn Climbing Rose

PERENNIALS, GROUNDCOVER, & BULBS

<i>Dryopteris erythrosora</i>	Autumn Fern
<i>Thelypteris kunthii</i>	Southern Shield Fern
<i>Hosta</i> 'Sum & Substance'	Sum & Substance Hosta
<i>Mazus reptans</i>	Blue Mazus
<i>Matteuccia struthiopteris</i>	Ostrich Fern
<i>Nepeta racemosa</i> 'Walker's Low'	Catmint 'Walker's Low'
<i>Ophiopogon japonicus</i> 'Nanus'	Dwarf Mondo Grass
<i>Ophiopogon japonicus</i>	Mondo Grass
<i>Pachysandra terminalis</i> 'Green Sheen'	Pachysandra
<i>Stachys Byzantina</i> 'Big Ears'	Big Ears Lamb's Ear

TURF

Square Feet	Fescue Mix
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