

DeKalb County Historic Preservation Commission

Monday, December 16, 2024- 6:00 P.M.

Staff Report

Regular Agenda

C. 1741 South Ponce de Leon Avenue, FIELD Landscape Architecture. Install swimming pool, construct deck, construct outdoor kitchen, and install landscaping in backyard. **1247343**

Built in 1930 (15 238 01 016)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

05-20 1741 South Ponce de Leon Avenue (DH), Warner McConaughey/Hammersmith. Replace all the windows. 1243943. **Approved**

08-20 1741 South Ponce de Leon Avenue (DH), Warren McConaughey/Hammersmith. Replace garage and install gate across driveway. 1244189. **Approved**

Summary

The applicant proposed the following work; all work will be completed on the rear of the property and will not be visible from the right of way:

1. Install swimming pool. The existing circular courtyard and fountain located in the backyard will be removed and a swimming pool will be installed. The swimming pool will measure 18' x 40' in size, will be located behind the main structure, and will not be visible from the right of way.
2. Construct a patio in the backyard. A limestone paver patio will be constructed in the backyard of the property, on the rear of the house. The patio area will include a built-in outdoor kitchen element, connecting to the rear of the house.
3. Landscape backyard. The landscaping will include:
 - a. Installing retaining walls. A 6' brick wall with a limestone cap will be installed around the perimeter of the proposed patio and swimming pool area. A secondary 6' brick and limestone retaining wall will be installed running along the brick wall, surrounding the patio and swimming pool area.
 - b. Install pathway. A paver pathway with planted joints will be installed beginning at the front-left corner of the main structure and continuing to the back yard along the edge of the patio area and the side-property line.
 - c. Install stairway. A set of limestone lawn steps will be installed coming from the patio and swimming pool area and leading onto the rear backyard.
 - d. Install new plantings. The plantings will include a number of shrubs and ground coverings, all located within the perimeter of the backyard and will not be visible from the right of way.

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

It should be noted that the height of the proposed walls located in the rear yard may require a variance in accordance with DeKalb Code Section 5.4.7., however, this does not have any bearing on the Historic

Preservation Commission's determination, or the recommendation of staff, based on the guidelines established by the Druid Hills Design Manual.

Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 8.2 *Trees* (p78) Recommendation - The mature hardwood forest within the Druid Hills Local Historic District should be perpetuated through a district-wide replanting program. Trees should be replaced when mature trees are lost to age or damage or are removed for safety reasons. Replacement trees should be of identical or similar varieties to the original trees. A diversity of tree types is recommended to perpetuate the existing character of most tree groupings. Replacement trees of adequate size (1.5" caliper minimum) are recommended. Existing ordinances that provide for the protection and replacement of the district's tree resources should be applied to development activities within Druid Hills.
- 9.3 *Vegetation* (p83) Recommendation – The plant list is intended to assist in the selection of appropriate plant materials. Olmsted's list and the list from the Georgia Landscapes Project provide guidance in selecting materials appropriate for historic landscape projects. There are other sources that can be consulted to identify additional plants used by Olmsted in Druid Hills, such as historic planting plans and particularly the archival record at the Olmsted National Historic Site in Brookline, Massachusetts. The Olmsted list presented in this document should be considered a beginning. Residents of Druid Hills are encouraged to add to this list with historic plants that can be documented as having been used by Olmsted. The native list should be used for natural areas within the district, such as creek corridors and drainage ways. Places within the district where the retention of healthy ecological environments is critical are best landscaped with native varieties. Since native plants have been available since the colony of Georgia was established in 1733, native plants are also appropriate for historic landscapes.
- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use.
- 9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to "soften" the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.
- 9.7 *Residential Landscape Design* (p91) Recommendation - For residential yards, created without the assistance of landscape designers, historic landscape plans for other residential lots within the district should be used for guidance. These plans can be interpreted to create a new landscape plan that is based on historic traditions. Care should be taken to select designs for yards of similar size containing houses of similar style and scale.
- 9.7 *Residential Landscape Design* (p92) Recommendation - Residential yards, originally created by noted landscape designers, will require special attention. Original plans and specifications should be used, if they can be located, in updating plantings. Suggested steps to follow in the redesign of residential landscapes are noted below:
- 1) Understand the original landscape design through historic research; for example, try to locate original plans and specifications and historic photographs;
 - 2) Compare the existing landscape with the documented historic landscape;
 - 3) Identify any features that are part of the historic landscape;
 - 4) Be sensitive to the potential of archaeological features (Refer to Chapter 10.0: Archeology);
 - 5) Identify site needs, develop a program for the site (circulation versus planting zone); and

- 6) Develop an updated plan for the landscape that retains as much historic material, as possible, and accommodates today's functional needs in a manner that is in the spirit of the historic design.

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: _____ Date Received: _____

Address of Subject Property: _____

Applicant: _____ E-Mail: _____

Applicant Mailing Address: _____

Applicant Phone: _____

Applicant's relationship to the owner: Owner Architect Contractor/Builder Other

Owner(s): _____ Email: _____

Owner(s): _____ Email: _____

Owner(s) Mailing Address: _____

Owner(s) Telephone Number: _____

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

- | | | | | | |
|-------------------|--------------------------|------------------------|--------------------------|-----------------------------|--------------------------|
| New construction | <input type="checkbox"/> | New Accessory Building | <input type="checkbox"/> | Other Building Changes | <input type="checkbox"/> |
| Demolition | <input type="checkbox"/> | Landscaping | <input type="checkbox"/> | Other Environmental Changes | <input type="checkbox"/> |
| Addition | <input type="checkbox"/> | Fence/Wall | <input type="checkbox"/> | Other | <input type="checkbox"/> |
| Moving a Building | <input type="checkbox"/> | Sign Installation | <input type="checkbox"/> | | |

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: Davis Bishop

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

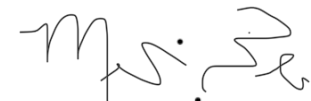
This form is required if the individual making the request is **not** the owner of the property.

I/ We: _____

being owner(s) of the property at: _____

hereby delegate authority to: _____

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):  _____

Date: _____

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail pvjennings@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, ¼"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.



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PROJECT:
BERLIN RESIDENCE

1741 S PONCE DE LEON
ATLANTA, GA 30307

DRAWING TITLE:
PERMIT COVER SHEET

DRAWN BY: DB/RL
CHECKED BY: BF

SCALE:

RELEASES:
1. 11/13/24 COA PERMIT

SHEET:

L-CO

BERLIN RESIDENCE

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
FOR A SINGLE FAMILY RESIDENCE LOCATED AT

1741 SOUTH PONCE DE LEON AVE NE
ATLANTA, GA 30307

GENERAL SCOPE OF WORK:

DEMOLITION:
-EXISTING PAVING AND RETAINING WALLS

PROPOSED NEW CONSTRUCTION:
-NEW POOL AND POOL DECK
-NEW RETAINING WALLS
-NEW STEPS AND LANDSCAPE STEPS

24 HR CONTACT:

MELISSA BERLIN: 678-633-8014

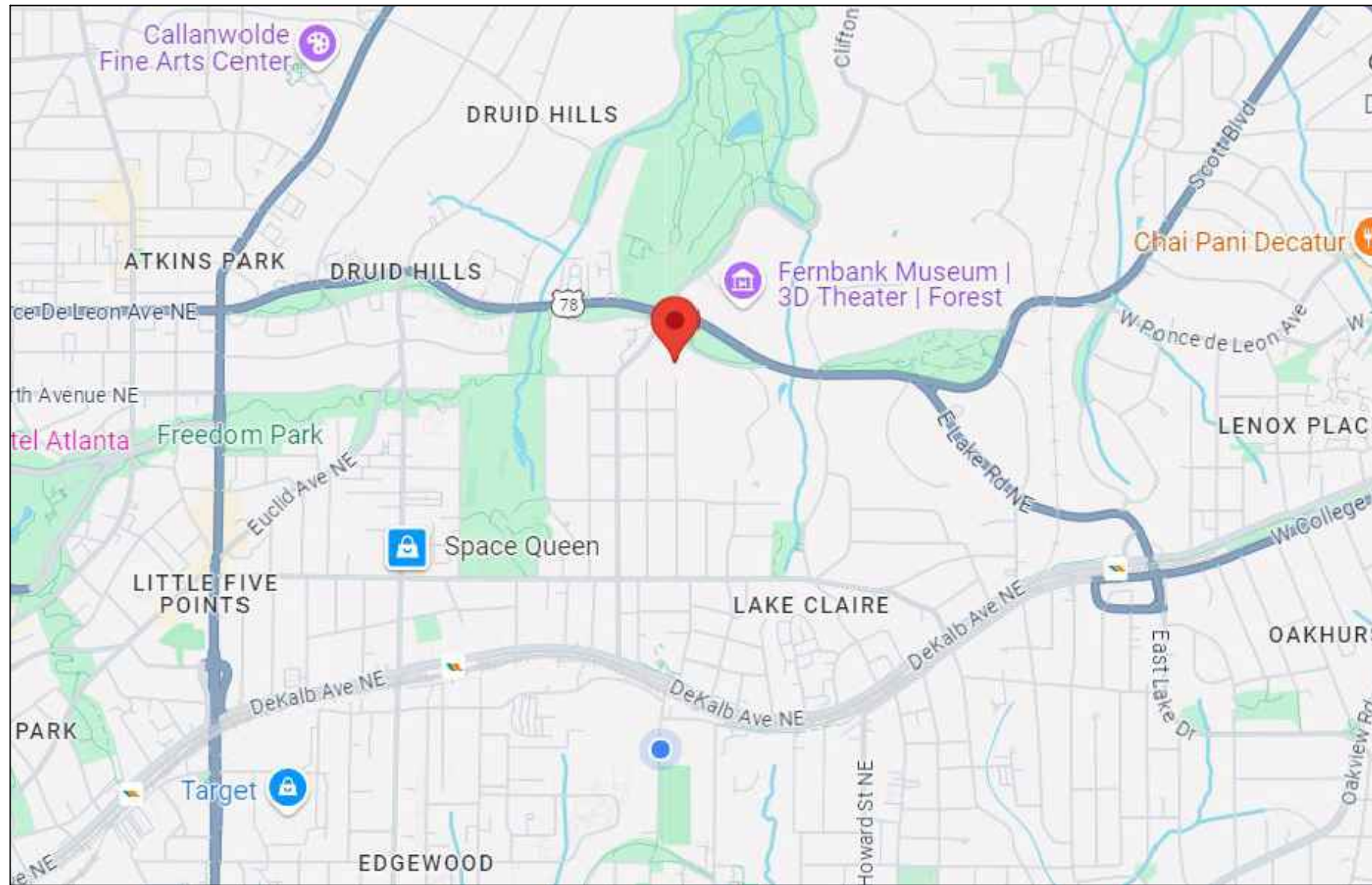
ZONING: R-85
MINIMUM LOT SIZE: 12,000 SF
SETBACKS
FRONT: 85'
SIDE: 7.5'
REAR: 40'
MAX COVERAGE: 35%

LIST OF DRAWINGS:

1. L-CO - PERMIT COVER SHEET
2. L-EX-1 - SURVEY BY MCCLUNG SURVEYING
3. L-EX-2 - EXISTING CONDITIONS - SITE PHOTOS
4. L-1.00 - SITE PLAN
5. L-5.00 - MATERIALS

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL FIRE CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
NATIONAL ELECTRICAL CODE, 2020 EDITION, WITH GEORGIA AMENDMENTS (2021)
INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
NFPA 101 – LIFE SAFETY CODE, 2018 EDITION, WITH STATE AMENDMENTS (2020)
INTERNATIONAL SWIMMING POOL & SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
GEORGIA ACCESSIBILITY CODES
GEORGIA AMENDMENTS PRESCRIPTIVE DECK DETAILS BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE



VICINITY MAP / N.T.S.

LANDSCAPE ARCHITECT:
FIELD LANDSCAPE ARCHITECTURE
195 ARIZONA AVE, UNIT LW4
ATLANTA, GA 30307
(706) 461 6631

SURVEYOR:
MCCLUNG SURVEYING
4833 SOUTH COBB DR SUITE 200
SMYRNA, GA 30080
(770) 434 3383



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GSWCC Georgia Soil and Water Conservation Commission
Brian H. Field
Level II Certified Design Professional
CERTIFICATION NUMBER: 0000077394
ISSUED: 02/19/2024 EXPIRES: 02/19/2027

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PROJECT:
BERLIN RESIDENCE

1741 S PONCE DE LEON
ATLANTA, GA 30307

DRAWING TITLE:
SURVEY BY MCCLUNG SURVEYING

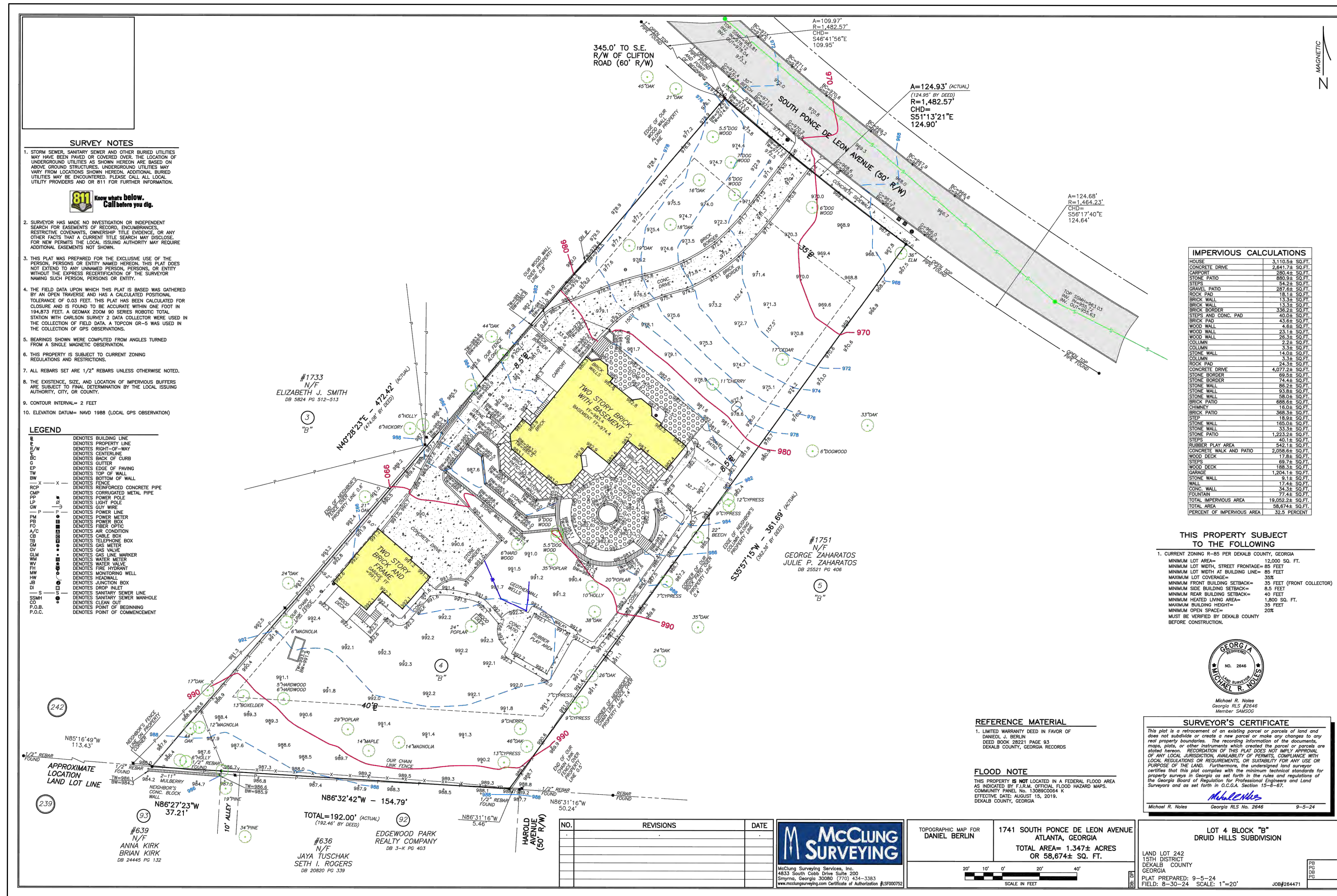
DRAWN BY: DB/RL
CHECKED BY: BF

SCALE: 1"=30'-0"

RELEASES:
1. 11/13/24 COA PERMIT

SHEET:

L-EX-1





FRONT HOUSE AND HOUSE FACADE



REAR AND EAST HOUSE FACADE



REAR AND WEST HOUSE FACADE



MOTORCOURT AND CARRIAGE HOUSE



BACK OF HOME FACING REAR OF PROPERTY



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DRAWING TITLE:

EXISTING CONDITIONS -
SITE PHOTOS

DRAWN BY: DB/RL	CHECKED BY: BF
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SCALE: N/A

RELEASES:

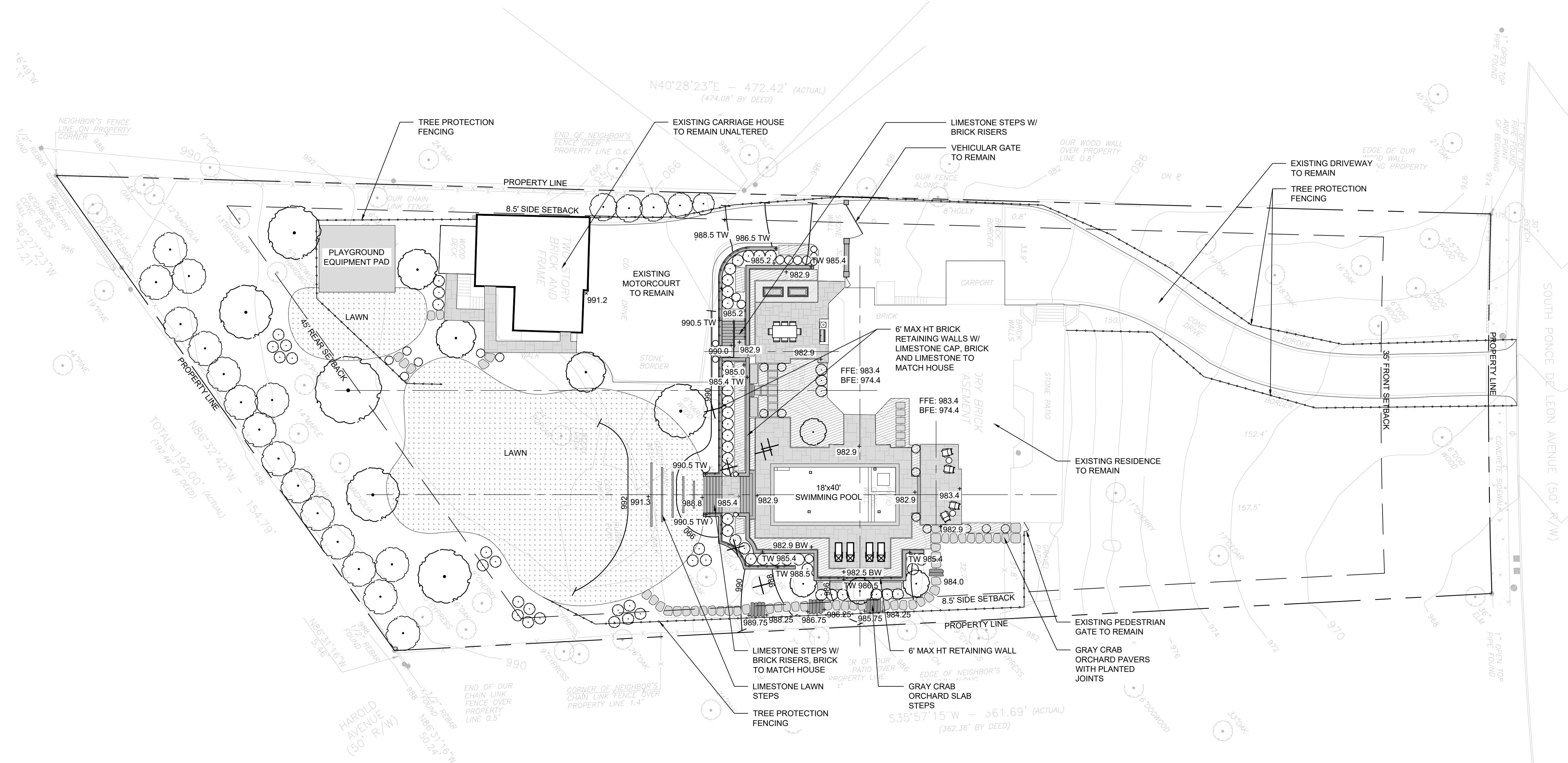
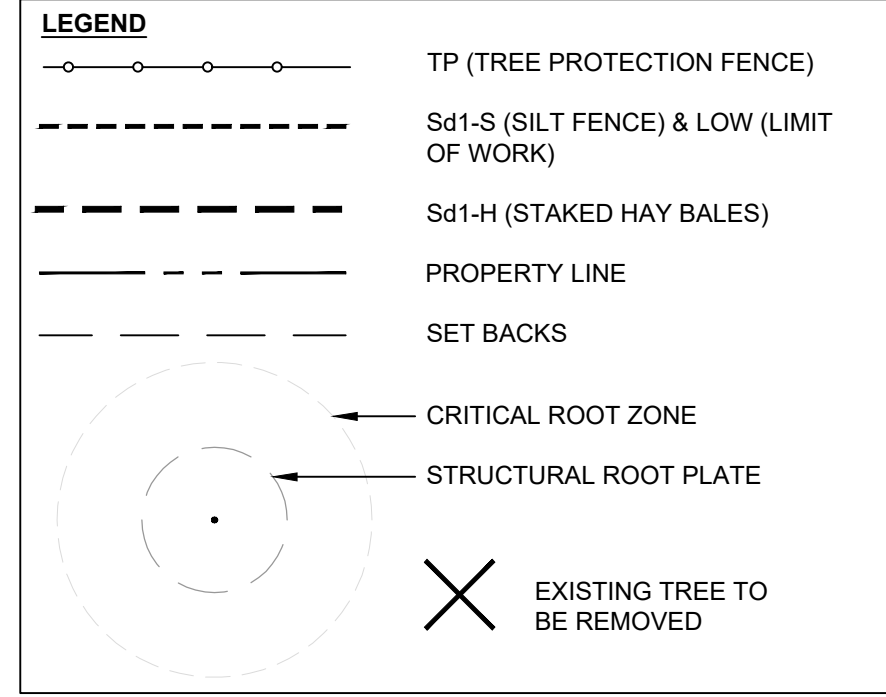
1.	11/13/24	COA PERMIT
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SHEET:

L-EX-2

ZONING:	R-85, (DRUID HILLS)
MINIMUM LOT SIZE:	12,000 SF
SETBACKS	
FRONT:	50 FT
SIDE:	8.5 FT
REAR:	40 FT
MAX COVERAGE:	35%

EXISTING LOT COVERAGE	
HOME FOOTPRINT:	3,110.5 SF
WALLS + HARDSCAPE:	8,018.7 SF
DRIVEWAY:	6,718.9 SF
GARAGE:	1,204.1 SF
TOTAL COVERAGE:	19,052 SF
LOT SIZE:	58,674 SF
COVERAGE PERCENTAGE:	32.5%
REMOVED IMPERVIOUS	
WALLS + HARDSCAPE:	3,270 SF
PROPOSED ADDITIONS	
SWIMMING POOL:	861 SF
POOL DECK + PATIOS:	1,940 SF
PAVERS:	455 SF
RETAINING WALLS:	363 SF
STEPS:	191 SF
LANDSCAPE STEPS:	38 SF
PLAYGROUND PAD:	550 SF
TOTAL PROPOSED:	4,398 SF
NEW COVERAGE PERCENTAGE:	34.4%

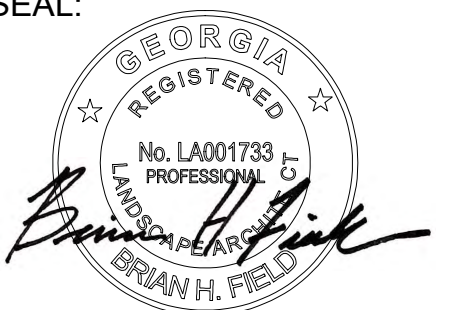


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DRAWING TITLE:
COA PERMIT SITE PLAN

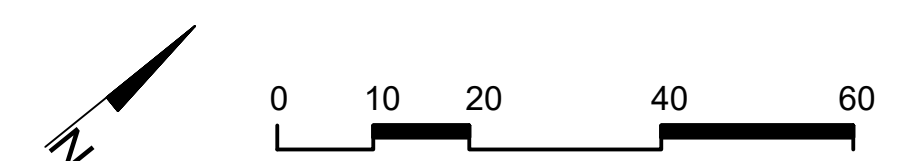
DRAWN BY: DB/RL
CHECKED BY: BF

SCALE: 1" = 20'-0"

RELEASES:
1. 11/13/2024 COA PERMIT

SHEET:

L-1.00





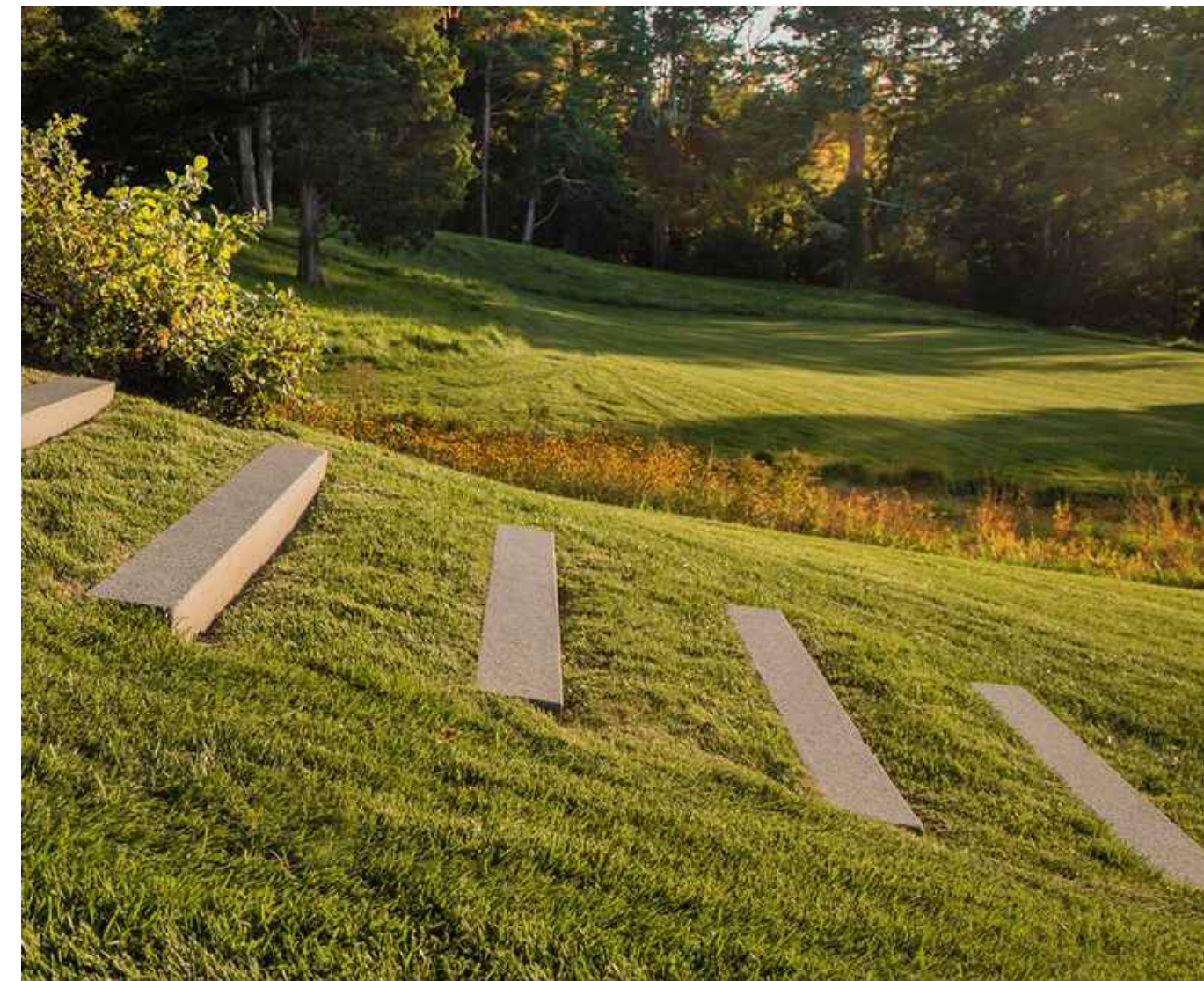
GRAY CRAB ORCHARD SLAB STEPS



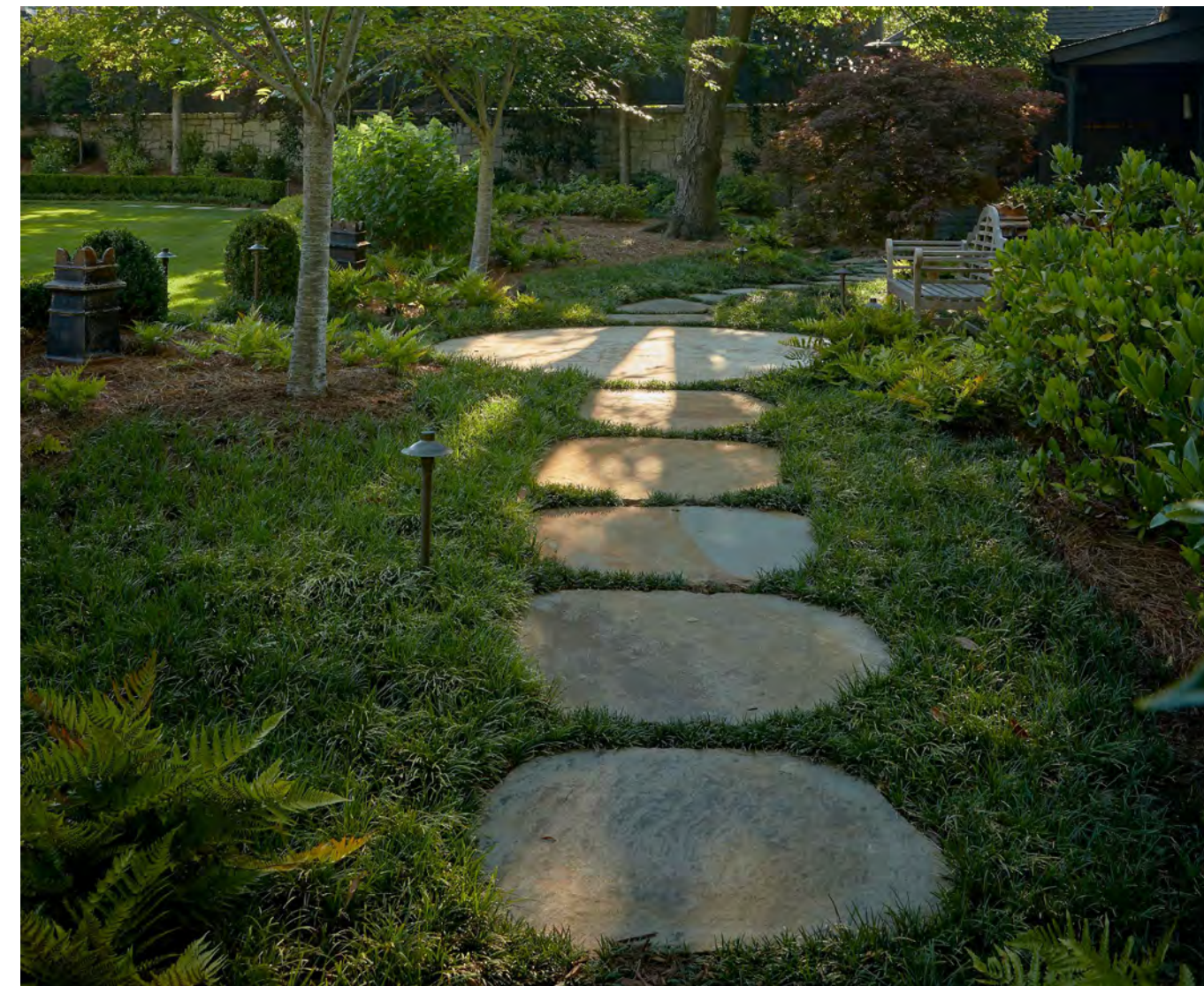
LIMESTONE PAVING



BRICK WALL WITH LIMESTONE CAP



LIMESTONE LAWN STEPS



GRAY CRAB ORCHARD STEPPING STONES

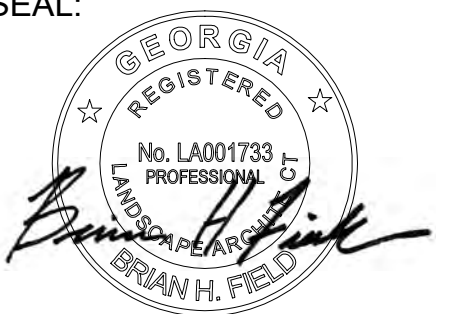


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1741 S PONCE DE LEON
ATLANTA, GA 30307

DRAWING TITLE:

PROPOSED MATERIALS

DRAWN BY: DB/RL
CHECKED BY: BF

SCALE: N/A

RELEASES:

1. 11/13/24 COA PERMIT

SHEET:

L-5.00