



Michael L. Thurmond

Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street,
Decatur, GA 30030

Wednesday, September 11, 2024

Planning Department Staff Analysis



Cedric Hudson

Interim Director

N4. Case No: A-24-1247149

Parcel ID(s): 18 314 01 012

Commission District 01 Super District 07

Applicant: Carlos A. Barrios, P.E. - Barrios Engineering, LLC
7575 Dr. Phillips Boulevard,
Suite 260
Orlando, FL 32819

Owner: BT-OH LLC; ATTN CORP REAL ESTATE (RPT)
55 Glenlake Parkway NE
Atlanta, GA 30328

Project Name: 3930 Pleasantdale - Shipment Facility

Location: 3930 Pleasantdale Road, Atlanta, GA 30340

Request: Application by Barrios Engineering, LLC to request a variance from Section 14-432 (b) (3) (b) of the DeKalb County Zoning Ordinance to allow structure to be built within the floodplain to facilitate construction of package sorting building within the OD (Office-Distribution) zoning district.

Staff Recommendation: Withdrawal without prejudice



Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: Carlos A. Barrios, P.E. - Barrios Engineering, LLC
Mailing Address: 7575 Dr. Phillips Blvd., Ste. 260
City/State/Zip Code: Orlando, FL 32819
Email: debip@barriosengineering.com
Telephone Home: 407-725-3474 Business: 407-386-2422

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: BT-OH LLC; ATTN CORP REAL ESTATE (RPT)
Address (Mailing): 55 Glenlake Parkway NE, Atlanta, GA 30328
Email: slalley@ups.com Telephone Home: _____ Business: 630-667-3663

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 3930 Pleasantdale Road City: Atlanta State: FL Zip: 30340
District(s): 18 Land Lot(s): 314,315 Block: _____ Parcel: 18 314 01 012
Zoning Classification: I5 Commission District & Super District: Commission 1; Super Commission 7

CHECK TYPE OF HEARING REQUESTED:

- VARIANCE (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
- OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 07/24/2024

Applicant Signature: Sean Lalley

DATE: _____

Applicant Signature: _____

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.


DATE: 7/24/2024

Applicant/Agent
Signature: 

TO WHOM IT MAY CONCERN:

(I) (WE): BT-OH LLC (Wholly owned indirect subsidiary of United Parcel Service, Inc.)
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.


Notary Public Exp: 03/10/2025

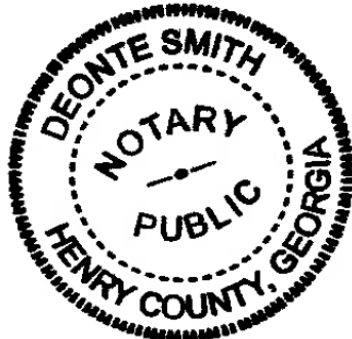
Sean Lalley
Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature





July 29, 2024

LETTER OF INTENT

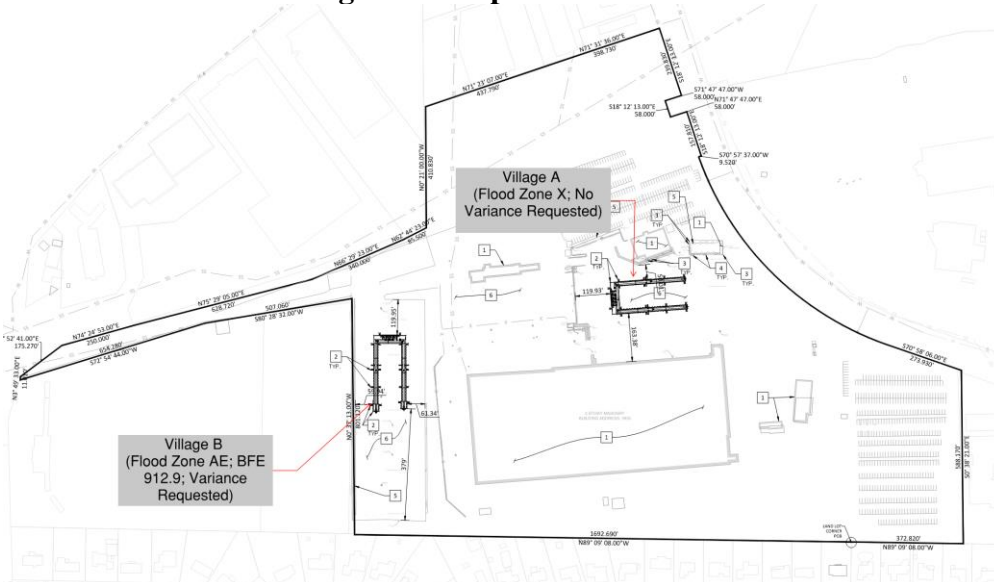
DEKALB COUNTY
Planning and Sustainability
178 Sams Street
Decatur, GA 30030
PH: (404) 371-2155

RE: Floodplain Variance - UPS– 3930 Pleasantdale Road, Atlanta, GA

As part of its commitment to Dekalb County, Georgia, and the Southeastern United States, UPS will be renovating the existing package sorting building at 3930 Pleasantdale Road, Atlanta GA with new conveyor belt systems. To ensure continued package delivery while renovations prevent package sorting in the existing building, UPS operations require the installation of two prefabricated, modular buildings (termed “Villages”) in the existing trailer staging areas at 3930 Pleasantdale Road for 18-24 months.

One of the proposed modular buildings (Village A) will be placed north of the existing distribution facility and south of the customer service center, outside of the floodplain. However, to maintain the needed loading areas around the package sorting Villages, a second modular building (Village B) will need to be located on the western parking lot on the parcel which is in Flood Zone AE with a BFE of 912.96 feet. Please see Figure 1 for the proposed locations

Figure 1. Proposed Site Plan





Requested Variance

As a result, UPS is requesting a variance from Section 14-432(b)(3)b. of the Dekalb County Code of Ordinances. UPS specifically requests a variance from the requirement to design buildings in the floodplain to be watertight (dry floodproofed) and to be capable of resisting hydrostatic and hydrodynamic loads and the effect of buoyancy. UPS instead proposes that the building be elevated 22” (1.8 feet) and be able to automatically equalized hydrostatic flood forces on exterior walls (wet floodproofed) in accordance with the standards identified in Section 14-432(b)(3)c. Section 14-432(b)(3)b and (b)(3)c have been reproduced below with the relevant sections emphasized.

b. *Non-residential buildings.* New construction or substantial improvements of principal buildings, including manufactured homes, shall not be allowed within the limits of the future-conditions floodplain unless all requirements of sections 14-430, 14-431 and 14-442 have been met. If all of the requirements of sections 14-430, 14-431 and 14-442 have been met, any new construction or substantial improvements shall have the lowest floor, including basement, elevated no lower than either (1) one (1) foot above the base flood elevation or (2) at least as high as the future-conditions flood elevation, whichever is higher. Should solid foundation perimeter walls be used to elevate the structure, openings sufficient to equalize the hydrologic flood forces on exterior walls and facilitate the unimpeded movements of floodwaters shall be provided in accordance with the standards of subsection (c).

New construction or substantial improvements that have met all of the requirements of sections 14-430, 14-431 and 14-442 may be floodproofed in lieu of elevation. The structure, together with attendant utility and sanitary facilities, **must be designed to be watertight to one (1) foot above the base flood elevation**, or at least as high as the future-conditions flood elevation, whichever is higher, **with walls substantially impermeable to the passage of water and structural components having the capability of resisting hydrostatic and hydrodynamic loads and the capability of resisting hydrostatic and hydrodynamic loads and the effect of buoyancy.** A registered professional engineer or architect shall certify that the design and methods of construction are in accordance with accepted standards of practice for meeting the provisions above, and shall provide such certification to the floodplain coordinator.

c. *Elevated buildings.* New construction or substantial improvements with partially or fully enclosed areas below the lowest floor (excluding basements) that are usable solely for parking of vehicles, building access or storage, and which are subject to flooding, **shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwater.** Designs for meeting these requirements shall follow the guidelines in FEMA Technical Bulletins TB 1-93 and TB-7-93, and must exceed the following minimum criteria:

(i) Have a minimum of two (2) openings having a total net area of not less than one (1) square inch for every square foot of enclosed area subject to flooding. The bottom of all openings shall be no higher than one (1) foot above grade. Openings may be equipped with screens, louvers, valves or other coverings or devices provided that they permit the automatic entry and exit of floodwater; and



- (ii) The interior portion of such enclosed area shall not be partitioned or finished into separate rooms; and
- (iii) The designs must be certified by a currently state-registered professional engineer or currently state-registered architect.

Section 14-445 – Criteria

Section 14-445(a) provides criteria for consideration to grant a variance of the Floodplain Ordinance.

(1) Danger that materials may be swept onto other lands to the injury of others;

The proposed modular, prefabricated building will be securely anchored to the ground and wet floodproofed in accordance with the requirements outlined for area subject to flooding under elevated buildings as described in Dekalb County Code Section 14-432(b)(3)c. This includes the installation of louvers that will allow water to flow in in the event of flooding and for water pressure to equalize, preventing the building from being swept away during a flood event.

(2) Danger of life and property due to flooding or erosion damage;

As part of UPS's commitment to continuing its safety-culture, UPS has a proactive emergency response program which includes closing operations in severe inclement weather. On-site safety coordinators/managers constantly monitor weather conditions. In the event of potential flooding, managers will direct staff toward the existing buildings on site which are out of the flood plain and associated danger. Additionally, UPS accepts the increased risk of water damage with the understanding that this building is temporary and that the building will be wet floodproofed.

UPS proposes a compensation trench south of the proposed building that (according to the HECRAS model) will reduce water elevations during the 100-year storm in 12 of the 14 cross sections affected by the proposed modular, prefabricated building. For one cross-section, the model shows no change, and the final cross section shows an acceptable 0.01-foot rise in water elevations during the 100-year storm (Dekalb Code Section 14-431). Thus, the flood compensation volume reduces the danger from flooding to adjacent/downstream properties.

The proposed building will not increase the danger of erosion damage. The proposed improvements will not affect the amount of pervious and impervious areas. There will be no site improvements.

(3) Susceptibility of the proposed facility and its contents to flood damage and the effects of such damage on the existing individual owner and future owners of the property;

UPS has installed similar modular, prefabricated buildings in flood zones at other locations across the United State. The proposed building is proposed to be wet flood proofed. The conveyor belt systems can withstand inundation should flooding occur. Should damage occur UPS is aware of its sole responsibility for such damage and is self-insured for up to \$10 million.



The proposed buildings are only used for package sorting and do not store any packages. When sorting occurs, packages are unloaded, continue along conveyors belts, and are loaded into another vehicle for delivery or reprocessing elsewhere. Additionally, the proposed building will be used for two sorting shifts (approximately 5 hours each) reducing the amount of time people are in the building compared to the 24-hour work that occurs in the existing building.

UPS proposes limiting the variance to the 24-month period during which renovations will occur in the main building onsite which ensures that there will be no risk to future owners of the property. UPS has been proud to serve the community from 3930 Pleasantdale Road for over 40 years and plans to remain on-site long-term as evidenced by the multimillion-dollar investments which necessitate the proposed building.

Even more so, the compensation trench which will remain after the building is removed in 24 months will reduce the risk of flooding for the site after the proposed building is removed. Thus, UPS would be the property-owner during the proposed term of the variance, and any future owners after UPS's continued long-term presence would benefit from the additional storage of the proposed trench and not have any increased risk from the proposed building.

(4) Importance of the services provided by the proposed facility to the community;

The granting of the variance is necessary for UPS to provide continued service to Dekalb County and the greater region. UPS provides shipping services to almost every industry in the United States from building supplies to electronics to healthcare supplies including medicines. Many of these deliveries are time-sensitive; thus, UPS must ensure they maintain the necessary capacity during the renovation of their main building. To maintain the capacity at UPS Pleasantdale, UPS would need to locate the proposed temporary building over the floodplain as shown in Figure 1. Criteria 6 below provides additional details as to the lack of alternate options for locating the proposed building.

As mentioned before UPS managers constantly monitor the weather, in the event that severe weather would present imminent flooding, UPS will temporarily suspend operations in the proposed building for the duration of the flood risk.

(5) Necessity of the facility to a waterfront location, where applicable;

N/A; the proposed site is not waterfront.

(6) Availability of alternative locations for the proposed use that are not subject to flooding or erosion damage;

The Dekalb County Code requires that buildings in the floodplain be elevated, watertight (dry floodproofed), or relocated. UPS cannot elevate the building (beyond their existing 22-inch floor elevation) because the buildings must be at the same elevation as the brown delivery trucks that load and unload into the buildings. Thus, it is not feasible to elevate the buildings to achieve strict compliance with the floodplain code.



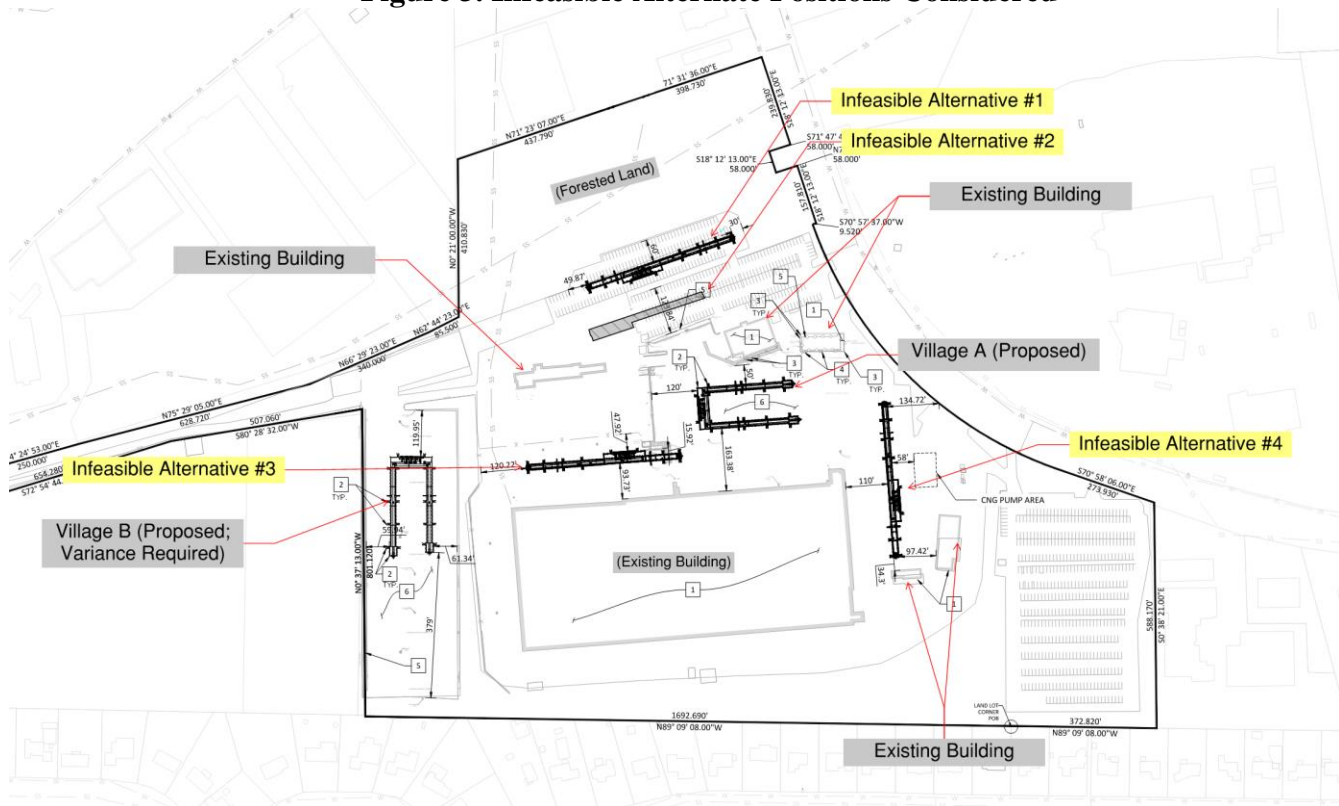
Similarly, the code allows buildings to be dry-floodproofed where they are watertight at expected flood levels to prevent damage. Because the function of the proposed building is to allow packages to be sorted from one UPS vehicle to another UPS vehicle, the building has around 90 roll up doors that are each 5 x 8 feet. It is not feasible for the 90 roll-up doors to be watertight as would be required for strict compliance with the code.

Because elevation and dry floodproofing are not feasible due to the nature and use of the building, UPS, the next option is relocation. UPS's first consideration was the shifting of package sorting to other UPS sites in Metro Atlanta including Roswell, Atlanta, Woodstock, Fulton Industrial Boulevard, and Forest Park. Indeed, UPS will be maximizing the proportion of

The final option would be the relocation of the proposed building. The UPS site at 3930 Pleasantdale Road has major changes in elevation that reduces the areas of the site where enough flat space is available to locate a modular prefabricated modular building for package sorting while the existing building undergoes renovations. As shown in Figure 1 above, the existing buildings and the other modular prefabricated Building B to be installed on the site (included in this variance) already occupy much of the available space. The site also has significant elevation changes (particularly in the easternmost parking lot) which further reduce areas of relatively flat space to relocate the proposed building. Likewise, there are many fixed obstacles like compressed natural gas filling stations, existing storm drains, and landscaping that must be worked around or be an exceptional burden to relocate for a 24-month temporary building.

UPS standards require 60 feet of clear space for brown delivery trucks and 120 feet for trailers around these modular prefabricated buildings' truck docks. Around loading docks on existing buildings, 60 feet would also be required; thus, around existing loading docks 120 feet of space is required between loading docks. Buildings also cannot be placed over slopes of more than 5% across the prefabricated modular building. These requirements ensure that vehicles are able to safely pull up to and away from the building. When severe site conditions dictate, this distance can be reduced to a minimum of 55 feet. Barrios Engineering, in coordination with UPS, has extensively reviewed other locations on site to locate the proposed Building B as shown in Figure 3.

Figure 3. Infeasible Alternate Positions Considered



(7) Compatibility of the proposed use with existing and anticipated development;

The proposed modular prefabricated building would support the existing distribution facilities at 3930 Pleasantdale Road. The proposed building and variance to support the location of the proposed building support UPS's existing operations as they are upgraded to meet future shipping demands. The proposed building is temporary and will be removed in 24 months once the renovations in the existing building are completed and sorting can return to the existing (but renovated building).

The proposed building complies with the existing setback requirements and is shielded from other properties by existing landscaping. Additionally, the proposed building is farther away from the residential uses to the south than the existing primary package-sorting building on site. The granting of the requested variance would not increase the risk of flooding to other properties with the proposed compensation trench. Likewise, the proposed building would not increase vehicular traffic to the parcel nor increase the package sorting capability of 3930 Pleasantdale Road compared to the existing pre-renovation capacity. Instead, the proposed building would allow UPS operations to maintain timely, local deliveries while the existing building is not operational due to renovations.



(8) Relationship of the proposed use to the comprehensive plan and floodplain management program for that area;

Dekalb County's Comprehensive Plan – Land Use (p. 45) specifies that in Light Industrial future land uses that future industrial use (like the distribution in the proposed building) should be situated primarily in existing industrial districts. The proposed variance would ensure that the traffic and impacts from UPS's essential distribution services remain on their current site and do not impact additional communities.

The Comprehensive Plan – Plan Land Use also identified Stormwater Management as a goal under the Natural Resources and Sustainability Category (p.6). The proposed compensation trench would reduce stormwater elevations under the 100-year storm event as discussed in Criteria 2 above. Thus, this variance would be consistent with reducing the impact of drainage issues from new development on other sites.

(9) Safety of access to the property in time of flood for ordinary and emergency vehicles;

Access to the parcel, as a whole, will continue as the status quo. The other buildings on-site are not downstream of the proposed building. Only trailer staging remains downstream of the proposed building. The proposed compensation trench will ensure that the residential properties to the south are not adversely affected. Access to the proposed building is via the existing on-site driveway to the north of the proposed building. This access is at a higher elevation than the proposed building.

(10) Expected heights, velocity, duration, rate of rise, and sediment transport of the flood waters expected at the site; and

During a 100-year storm, the expected height of flooding would be 4.9 feet with a velocity of 0.59 feet per second.

(11) Costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.

No additional costs to governmental services are expected from the proposed variance. Utilities for the proposed building are coming from existing utility connection on the UPS site; thus, any damage from flooding would be on private infrastructure owned by UPS. Additionally, the compensation trench will ensure that offsite flood conditions are not worsened by the proposed building.

By approving the proposed variance, UPS would be able to maintain its existing level of distribution while renovations occur in the main building. Without the variance, UPS package sorting capacity at 3930 Pleasantdale Road would be significantly reduced. Thus, a denial of this variance would decrease UPS's capacity to sort and deliver packages to Dekalb County and the greater region in the event of emergency, thereby reducing the community's ability to recover post emergency. The UPS Network delivers essential supplies necessary for communities to recover after emergencies including flooding.



Section 14-446 – Conditions for Variance

Section 14-446 provides four additional criteria (A to D) for variances to the flood plain ordinance. Criteria A and B are not relevant because the site is neither a historic structure nor functionally dependent use (e.g., docks or port facilities). Criteria C specifies that no variances may be issued in the floodway. The proposed building and variance are in the floodplain (not floodway) and thus do not contravene Criteria C.

Criteria D requires that variance be the minimum necessary variance to afford relief. The proposed variance is the minimum necessary variance. The Floodplain ordinances as written would require elevation or dry floodproofing to 912.9 feet in elevation which is 4.9 feet above the 908-foot elevation of the proposed location. The proposed buildings will be elevated 22 inches (1.8 feet) above the ground; thus, the variance is asking to wet floodproof 3.1 feet of building height rather than the full building height in the flood plain.

The requested variance proposes to wet floodproof the portion of the building that is not elevated to comply with the floodplain management program's intent to reduce danger to property and safety in the event of flooding. A compensation trench is also proposed in accordance with the floodplain ordinance to compensate for reduced storage volume in the floodplain. Finally, UPS proposes a 24-month limit to the variance. After which, the proposed building in the floodplain will be relocated to another UPS location in the United States.

Section 14-447 – Variance Procedures

Section 14-447 specifies the procedures for obtaining a variance from Dekalb County's floodplain ordinances. Subsections B, G, and H of Section 14-447 provide additional criteria for the consideration of variance.

Section 14-447(b) Public Good

Section 14-447(b) specifies that no variance or relief from the floodplain ordinances unless the relief can be granted without "substantial detriment to the public good and without substantial impairment to the intent and purpose of this chapter." As discussed in the Section 14-445 criteria, the proposed variance would not increase flooding risk to surrounding properties or impair the ability of emergency response. Additionally, the proposed variance is time-limited and proposes partial elevation and wet floodproofing for the remainder of the portion of the building subject to flooding. Thus, the variance complies with the purpose of the floodplain management program as stated in Section 14-408.

Section 14-447(g) Criteria

(1) A finding of good and sufficient cause;

Strict application of the Dekalb County floodplain ordinances would impede UPS's ability to provide the essential package distribution network that 3930 Pleasantdale Road is used for. UPS seeks relief in a time-limited manner to ensure that operations at the site and thus Dekalb County more generally continue.



(2) A determination that failure to grant the variance would result in undue and exceptional hardship;

Should the variance not be granted, UPS's distribution capacity in Dekalb County would be severely reduced. The proposed variance would substitute dry floodproofing with a combination of elevation and wet-floodproofing. In doing so, the proposed variance would remain within the intent of the floodplain ordinance to reduce the risks from flooding to people, property, and public expenditures. Not granting the variance would require dry floodproofing or elevation of the building. With around 90 roll-up doors that are 5 feet by 8 feet wide, making the building watertight is exceptionally complicated. These roll-up doors are fundamental to the nature of the building. Likewise, the building cannot be elevated more than its current 22 inches, because package delivery vehicles must be able to unload level with the interior of the proposed building and its conveyor belt system.

(3) A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisance, or cause fraud or victimize the public;

As discussed in the Section 14-445 criteria, the proposed variance would not increase flood heights, cause additional danger to the public, or require additional public expense.

(4) The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute with the limitations upon other properties;

The variance proposes a combination of elevating the building (1.8 feet) and wet floodproofing for the remaining 3.1 feet of flood elevation. The proposed variance is limited to 24 months and would not increase the risk to other properties.

(5) The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements; and

The variance would not increase flood risks to the public and surrounding properties. The variance would use an alternative flood-proofing method to reduce risk from flooding to the proposed structure. The secure anchoring of the structure and the compensation trench ensure that the public welfare and other properties are not adversely affected.

(6) The strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners

UPS seeks this variance to shift package sorting operations from its existing building to the proposed temporary building to ensure continued operations. The strict application of this code would require the proposed building to be incapable of its package sorting use.

Section 14-447(h) – Proposed Conditions

Section 14-447(h) authorizes the Zoning Board of Appeals to attach conditions to variances that are granted. Understanding the nature of its request, UPS suggests that the below listed conditions be attached to its approval.

1. After 24 months, the proposed building shall be removed from the site.



2. The portions of the building that are not elevated above the flood conditions shall be wet-floodproofed in accordance with the wet-floodproofing standards found in Section 14-432(b)(3)c.

Conclusion

UPS request a variance to Section 14-432(b)(3)b to allow wet flood proofing instead of dry floodproofing or elevation for the proposed building for a maximum of 24 months. The proposed variance and proposed conditions ensure that the proposed building still meets the intent of the floodplain management program. The proposed variance is the least variance required to ensure UPS is able to enjoy their property rights of their property at 3930 Pleasantdale Road.

Sincerely,

JD Salazar

JD Salazar

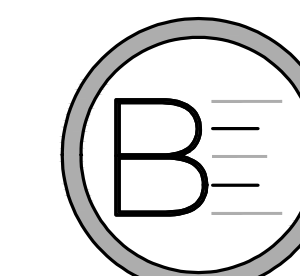
Urban Planner

BARRIOS ENGINEERING, LLC

CONTRACTOR SHALL READ ALL NOTES AND BECOME FAMILIAR WITH THIS DOCUMENT PRIOR TO PROVIDING PRICE FOR CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OF ANY AMBIGUITY OR DISCREPANCY PRIOR TO PROVIDING COST ESTIMATE. REQUEST FOR INFORMATION (RFIs) SHALL BE SUBMITTED PRIOR TO CONSTRUCTION.

CONSTRUCTION SET

AP# 1247006



7575 DR. PHILLIPS BLVD, SUITE 260
ORLANDO, FL 32819
PHONE: 407-286-2610

ROBERTO ARCHILA, PE
7575 DR PHILLIPS BLVD, SUITE 260
ORLANDO FL 32819
Lic. # 29422

UNITED PARCEL SERVICE

3930 PLEASANTDALE ROAD
DORAVILLE, GA 30340
PARCEL No 18 314 01 012



Contact 811 before you dig.

CONSULTANTS

OWNER: BT - OH, LLC
Attention: CORPORATE REAL ESTATE (RPT)
55 GLENLAKE PKWY NE
ATLANTA, GEORGIA 30328
TELEPHONE: (404) 828-6000

APPLICANT: UNITED PARCEL SERVICE INC
SEAN LALLY
55 GLENLAKE PARKWAY
SANDY SPRINGS, GEORGIA 30328
TELEPHONE: (404) 828-6000

PROJECT MANAGER: SEAN LALLEY
55 GLENLAKE PARKWAY
SANDY SPRINGS, GEORGIA 30328
TELEPHONE: (630) 667-3663
EMAIL: SLALLEY@UPS.COM

ENGINEER OF RECORD: ROBERTO ARCHILA, P.E.
7575 DR. PHILLIPS BLVD. SUITE 260
ORLANDO, FL 32819
TELEPHONE: (407) 259-8283

UTILITY CONTACTS

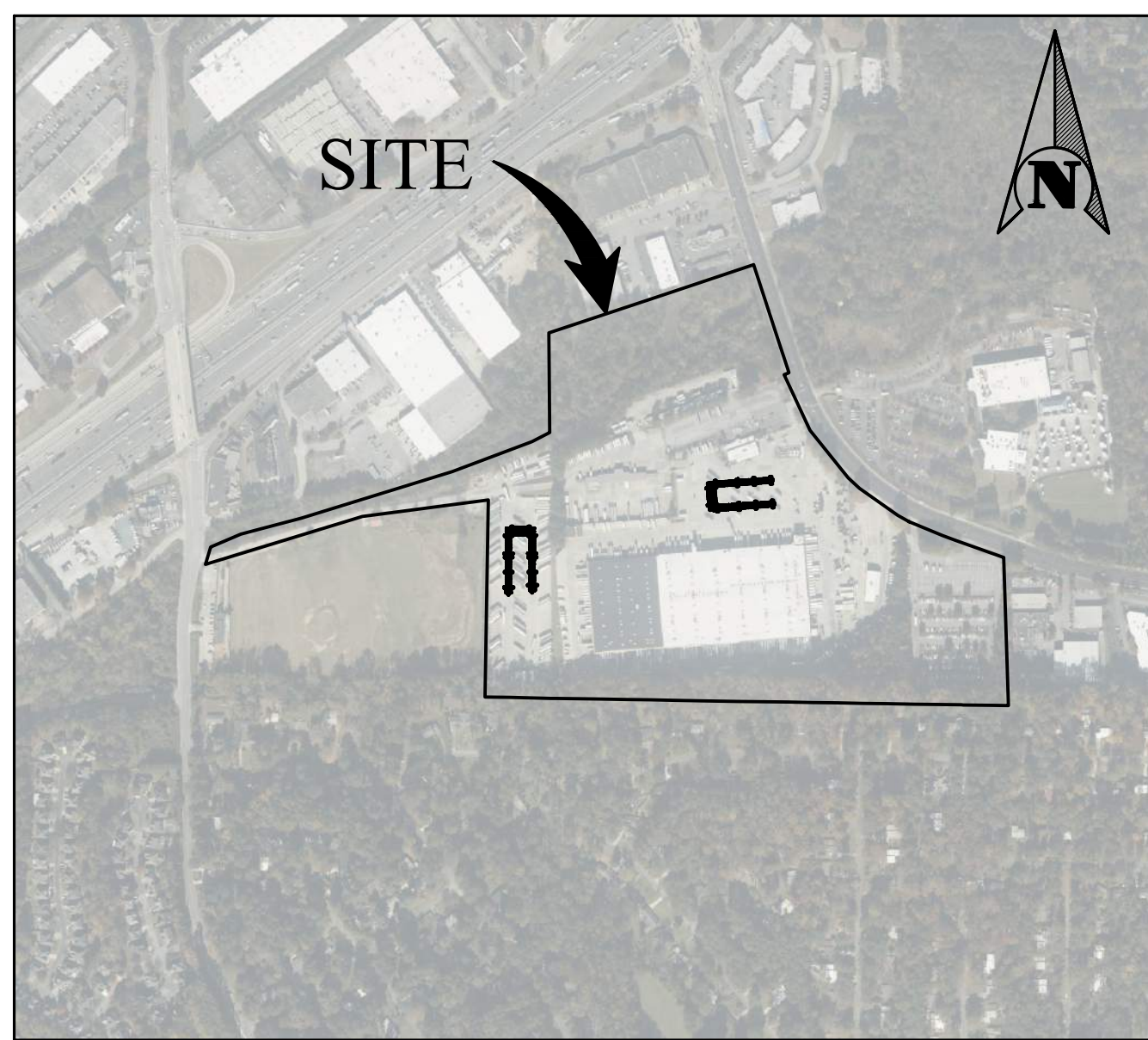
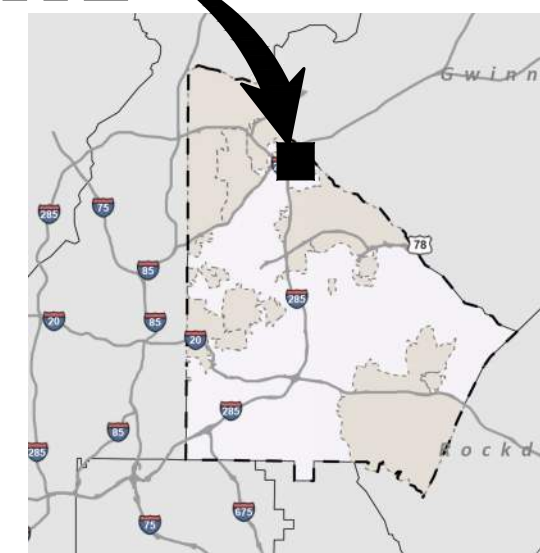
WATER: DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT
330 WEST PONCE DE LEON AVENUE
DECATUR, GEORGIA, 30030
TELEPHONE: (770) 414-2355

SEWER: DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT
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ELECTRIC: GEORGIA POWER
1697 MONTREAL CIRCLE
TUCKER GA 30084
TELEPHONE: (877) 365-3276

GAS UTILITY: ATLANTA GAS LIGHT
564 NORTH AVENUE NW
ATLANTA, GA 30354
TELEPHONE: (800) 599-3770

SITE



AERIAL MAP

NTS

SCOPE OF WORK:

ADDITION OF TWO 90 CAR VILLAGES TO ASSIST OPERATIONS WITH THE LOADING/UNLOADING OF PACKAGES ONTO/FROM UPS TRUCKS TO ALLOW UPS TO DO UPGRADES TO THE EXISTING BUILDING AND IMMEDIATELY REMOVED AFTER UPGRADES HAVE BEEN COMPLETED.

PERVIOUS VS IMPERVIOUS AREA NOTE:

ALL EXISTING PERVIOUS AND IMPERVIOUS AREAS WILL REMAIN UNDISTURBED. THE PROPOSED MDC WILL BE INSTALLED IN PIER FOUNDATIONS WITH A SEPARATION BETWEEN THE FINISH FLOOR ELEVATION AND THE EXISTING ASPHALT PAVEMENT OF APPROXIMATELY 18" ALLOWING THE STORMWATER RUNOFF TO MAINTAIN THE HISTORICAL PATH.

I ROBERTO ARCHILA, A PROFESSIONAL ENGINEER, ARCHITECT, OR LANDSCAPE ARCHITECT LICENSED IN THE STATE OF GEORGIA, HEREBY CERTIFY THAT I HAVE PERSONALLY REVIEWED THE ATTACHED SUBMITTAL PLANS FOR A LAND DISTURBANCE / DEVELOPMENT PERMIT. IN MY OPINION, THESE SUBMITTAL PLANS MEET ALL APPLICABLE REGULATIONS AND ORDINANCES OF DEKALB COUNTY. DEKALB COUNTY AND OTHER AFFECTED PARTIES MAY RELY ON THIS CERTIFICATION.

SIGNATURE
GEORGIA REGISTRATION# PE29422

ZONING INFORMATION

ZONING: OD - OFFICE DISTRIBUTION
OVERLAY DISTRICT: SUBURBAN DEVELOPMENT
PROPOSED USE: PACKAGE SORTING FACILITY

TOTAL PROPERTY AREA	2,552,616 SF	58.6 AC
TOTAL PROJECT AREA	227,613 SF	5.225 AC 8.9 %

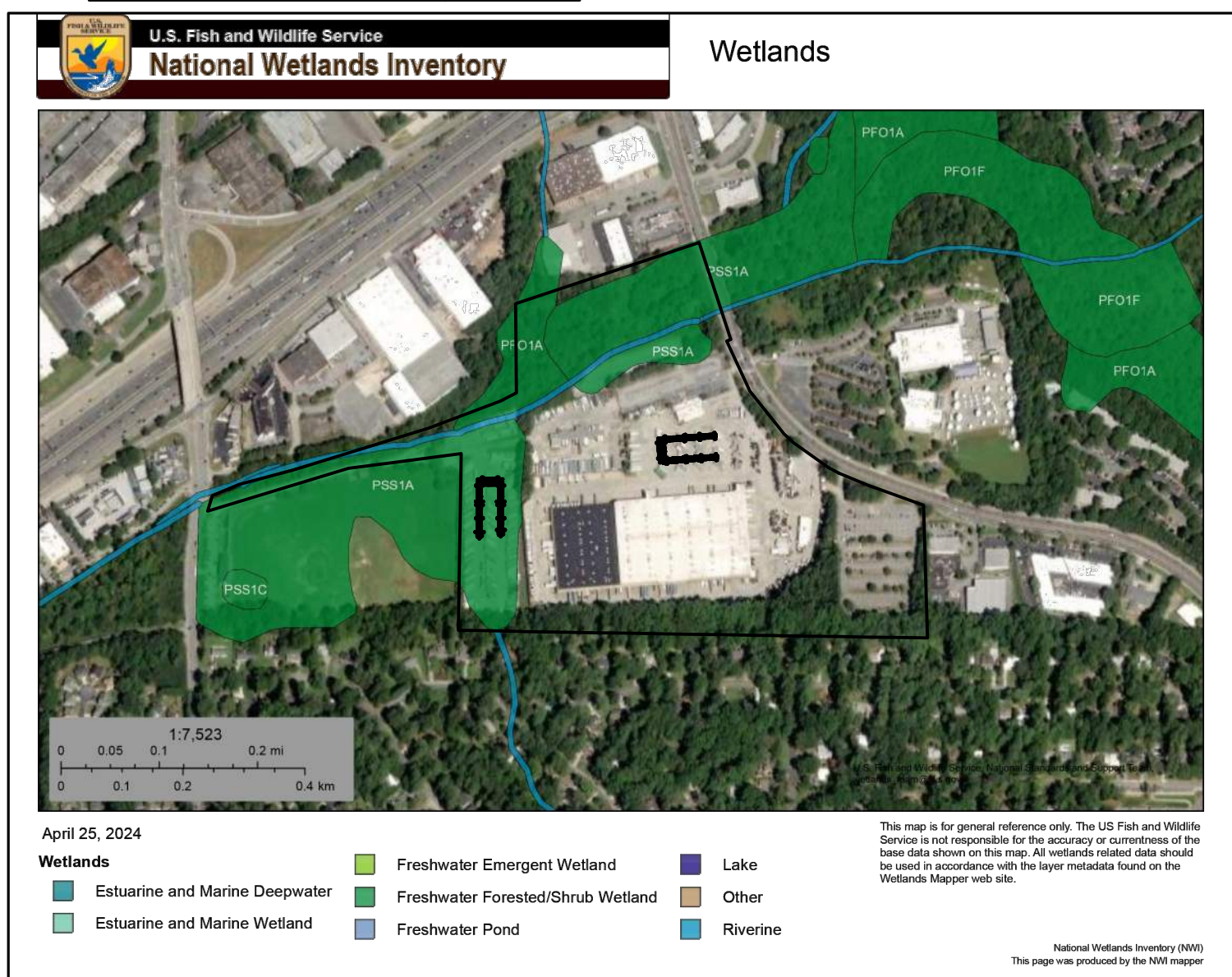
MODULE BUILDING 1: 7,071.9 SF PACKAGE SORTING FACILITY
MODULE BUILDING 2: 9,284 SF PACKAGE SORTING FACILITY
MAX BUILDING HEIGHT: 2 STORIES/35 FEET
FLOOD ZONE: AE AND X; FIRMETTE 13089C0038K AUGUST 15,2019

BUILDING SETBACKS REQUIRED

FRONT	75 FT
REAR	30 FT
SIDE - INTERIOR	20 FT
SIDE - CORNER LOT ON PUBLIC STREETS	50 FT

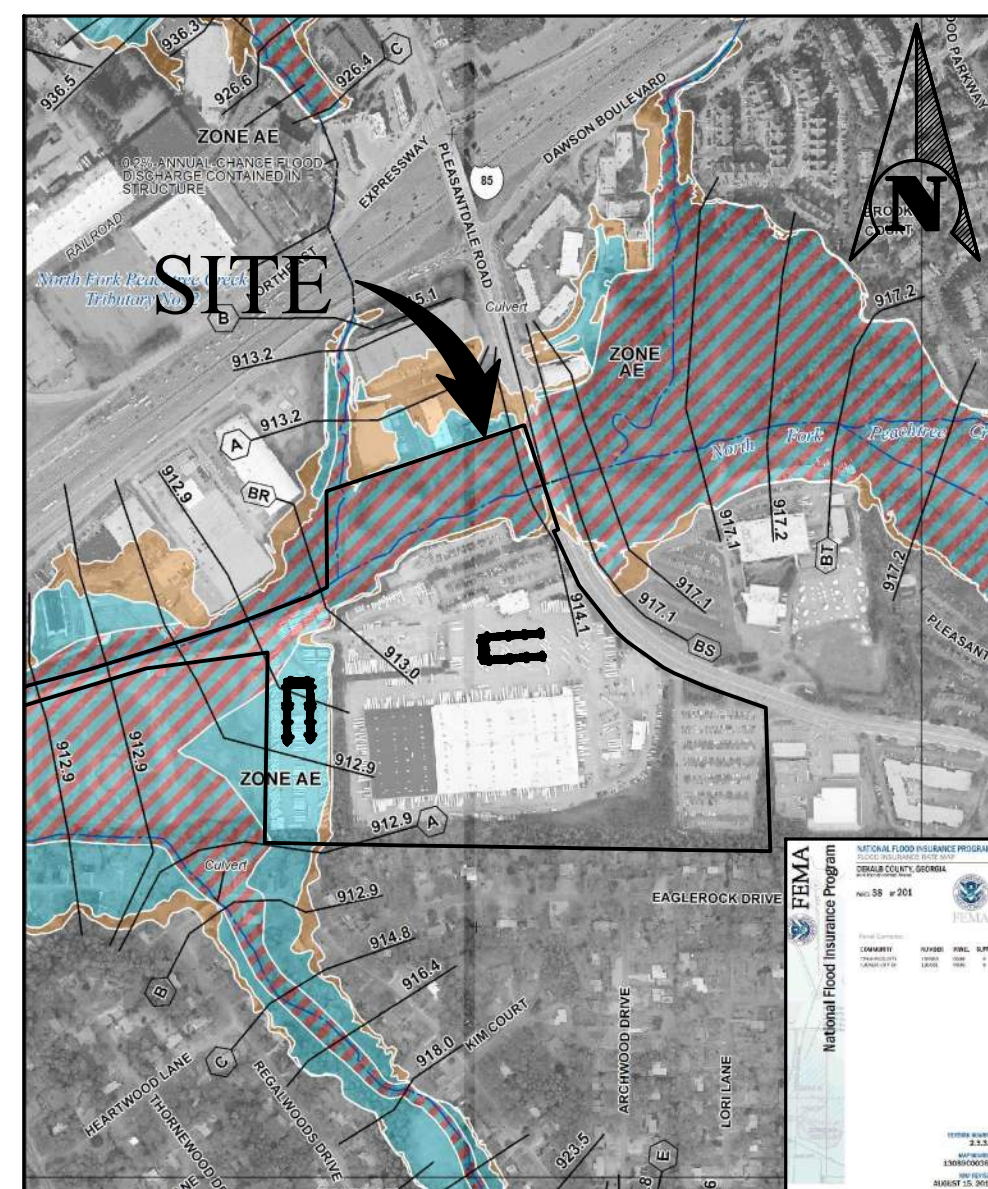
- EXISTING PARKING SPACES = 426
- ADDITIONAL PARKING SPACES = 0
- TOTAL PARKING SPACES = 426

EXISTING IMPERVIOUS	70 %
PROPOSED IMPERVIOUS (NEW)	0 %
TOTAL IMPERVIOUS	70 %



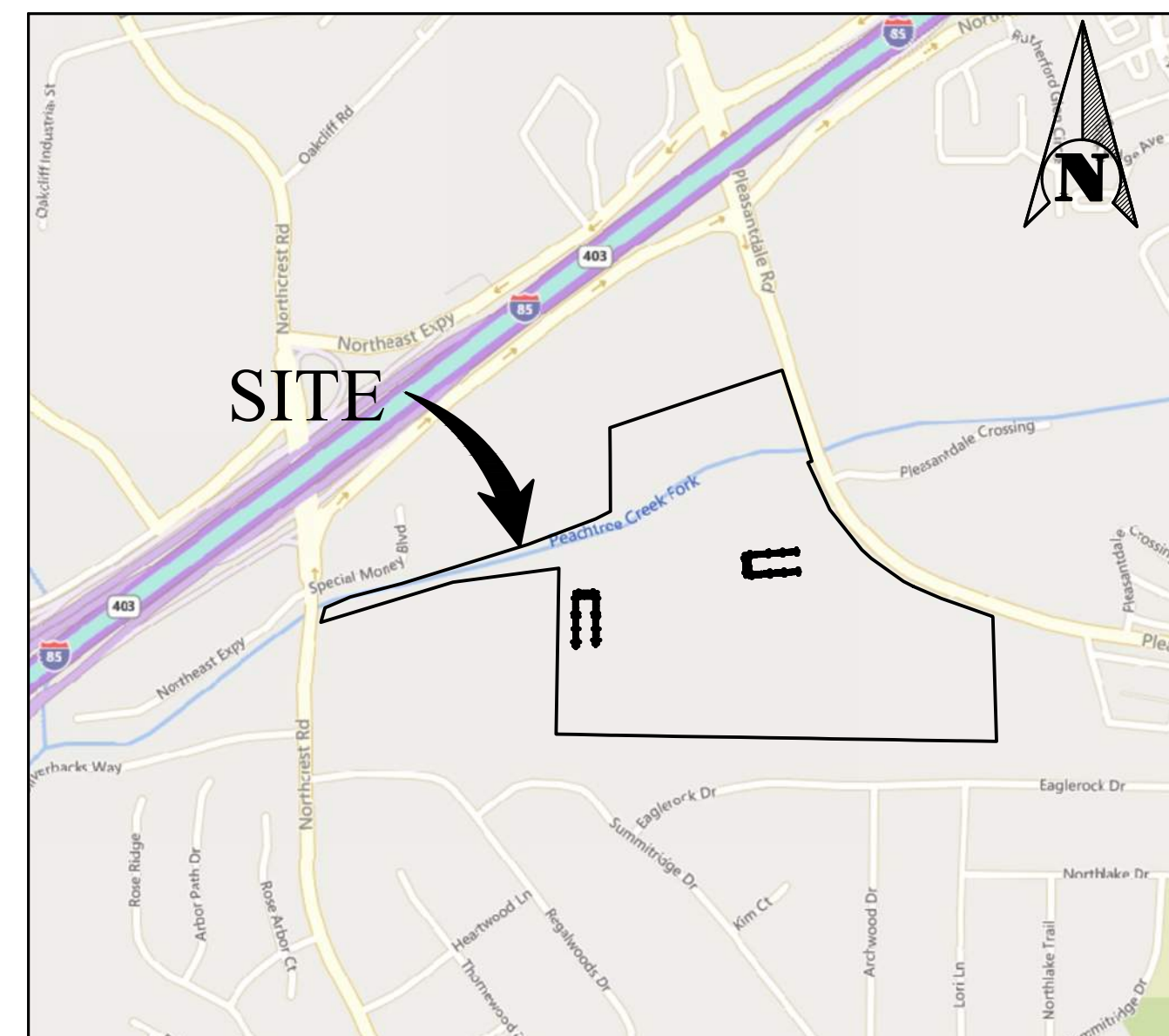
NATIONAL WETLAND INVENTORY

NTS



FEMA MAP

NTS



LOCATION MAP

NTS

SHEET

TITLE

REVISION

SHEET	TITLE	REVISION
CS	COVER SHEET	■
C0.0	GENERAL NOTES	
C0.1	EXISTING CONDITIONS	
C0.2	SITE DEMOLITION PLAN	
C1.0	SITE GEOMETRY PLAN	■
C1.1	SITE GEOMETRY DETAILS	
C1.4	AUTO TURN	
C3.0	GRADING AND DRAINAGE PLAN	
E1.0 - E1.2	ELECTRIC SITE PLAN	
A-3	PROPOSED FLOOR PLAN	

LEGAL DESCRIPTION

(FROM 2016 LIEN, DEKALB SUPERIOR COURT DOCUMENT #2016005654)

ALL THAT TRACT OR PARCEL OF LAND LYING OR BEING IN LAND LOTS 314 AND 315 OF THE 18TH LAND DISTRICT, DEKALB COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE LAND LOT CORNER COMMON TO LAND LOTS 292, 293, 314, AND 315 OF SAID LAND DISTRICT AND COUNTY; THENCE N 89°09'08" W A DISTANCE OF 1692.61' TO A POINT; THENCE N 00°37'13" A DISTANCE OF 801.12' TO A POINT, (PASSING A 1/2" REBAR FOUND AT 2.00' FROM PREVIOUS POINT); THENCE S 80°28'32" W A DISTANCE OF 507.06' TO A POINT; THENCE S 72°54'44" W A DISTANCE OF 654.28' TO A POINT LOCATED ON THE EASTERLY RIGHT OF WAY OF NORTHCREST ROAD (HAVING A RIGHT OF WAY WIDTH THAT VARIES); THENCE RUNNING ALONG SAID RIGHT OF WAY OF NORTHCREST ROAD (HAVING A RIGHT OF WAY WIDTH THAT VARIES); THENCE RUNNING ALONG SAID RIGHT OF WAY OF SPECIAL MONEY BOULEVARD (HAVING A RIGHT OF WAY WIDTH THAT VARIES); THENCE RUNNING ALONG SAID RIGHT OF WAY OF SPECIAL MONEY BOULEVARD N 52°52'41" E A DISTANCE OF 175.21' TO A POINT; THENCE CONTINUING ALONG SAID RIGHT OF WAY N 74°24'53" E A DISTANCE OF 250.00' TO A POINT; THENCE LEAVING SAID RIGHT OF WAY N 75°29'05" E A DISTANCE OF 628.72' TO A POINT; THENCE N 66°29'23" E A DISTANCE OF 340.00' TO A POINT; THENCE N 62°44'23" E A DISTANCE OF 85.50' TO A POINT; THENCE N 00°21'00" W A DISTANCE OF 410.83' TO A POINT; THENCE N 71°23'07" E A DISTANCE OF 437.79' TO A 1/2" REBAR FOUND; THENCE N 71°31'36" E A DISTANCE 398.73' TO A POINT LOCATED ON THE SOUTHWESTERLY RIGHT OF WAY OF PLEASANTDALE ROAD (HAVING A RIGHT OF WAY WIDTH THAT VARIES); THENCE RUNNING ALONG SAID RIGHT OF WAY THE FOLLOWING EIGHT (8) COURSES AND DISTANCES;

1. THENCE S 18°12'13" E A DISTANCE OF 239.83' TO A POINT;
2. THENCE S 71°47'47" W A DISTANCE OF 58.00' TO A POINT;
3. THENCE S 18°12'13" E A DISTANCE OF 58.00' TO A POINT;
4. THENCE N 71°47'47" E A DISTANCE OF 58.00' TO A POINT;
5. THENCE S 18°12'13" E A DISTANCE OF 157.81' TO A POINT;
6. THENCE S 70°57'37" W A DISTANCE OF 9.52' TO A POINT;
7. THENCE WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 926.54', WITH A RADIUS OF 1042.00', WITH A CHORD BEARING OF S 44°51'49" E, WITH A CHORD LENGTH OF 896.32' TO A POINT;
8. THENCE S 70°58'06" E A DISTANCE OF 273.93' TO A CONCRETE MONUMENT FOUND;

THENCE LEAVING SAID RIGHT OF WAY S 00°38'21" E A DISTANCE OF 588.17" TO A 1/2" REBAR FOUND; THENCE N 89°09'08" W A DISTANCE OF 372.82' TO A POINT AT THE SAID LAND LOT CORNER FOR LAND LOTS 292, 293, 314 AND 315, WHICH IS THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 57.692 ACRES (BEING 2,513,092± SQUARE FEET), INCLUDING AREA WITHIN ANY ONSITE EASEMENTS.

NOTES

1. PRIOR TO CONSTRUCTION OF ANY UTILITY FACILITIES WITHIN THE RIGHT-OF-WAY OF ANY COUNTY MAINTAINED ROADWAY, A PERMIT MUST BE OBTAINED FROM UTILITY COORDINATOR. [HTTPS://WWW.DEKALBCOUNTYGA.GOV/TRANSPORTATION/UTILITY-PERMITTING](https://www.dekalbcountyga.gov/transportation/utility-permitting)
2. PRIOR TO CONSTRUCTION OF WATER MAINS AND SANITARY SEWER LINES, FINAL DESIGN APPROVAL MUST BE OBTAINED FROM DEPARTMENT OF WATERSHED MANAGEMENT.
3. NOTIFY WATER AND SEWER INSPECTOR AT 770-732-6411 PRIOR TO START OF CONSTRUCTION.

BY:	DATE:	DESCRIPTION:
ABC		DEKALB COUNTY COMMENTS
	06/27/24	
REV.	1	

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ROBERTO ARCHILA ON THE DATE ADJACENT TO THE SEAL USING A SHA AUTHENTICATION CODE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



ROBERTO ARCHILA, PE
DATE 07/10/24

UNITED PARCEL SERVICE

3930 PLEASANTDALE ROAD
DORAVILLE, GA 30340

COVER SHEET

PROJ MANAGER:	DATE:
CB	04/03/2024
DRAWN BY:	SHEET NO.:
MA	
SCALE:	
AS NOTED	
PROJECT NO.:	
24-018	CS

CONSTRUCTION NOTES

- 1. LOCATION, ELEVATION, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK, PRIOR TO CONSTRUCTION AND PRIOR TO PROVIDING A COST FOR CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE FIELD CONDITIONS.
2. PRIOR TO ANY SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING GAS, WATER, ELECTRIC, COMMUNICATIONS, CABLE TV, SANITARY AND STORM SEWERS, ON AND/OR ADJACENT TO THE SITE. REMOVE OR CAP THEM, AS NECESSARY.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL CALL GEORGIA 811 INFO, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO ARRANGE FOR FIELD LOCATIONS OF BURIED UTILITIES.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR OR SUBCONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT INSPECTION AND CERTIFICATION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS/REQUIREMENTS.
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PRE-CAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVAL, PRIOR TO ORDERING. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. ALL UTILITY SERVICE STUB-OUTS (WATER, SANITARY SEWER, ETC.) ARE TO BE INSTALLED WITHIN 5' OF BUILDING(S), UNLESS OTHERWISE NOTED ON PLANS.
8. CONTRACTOR TO COORDINATE WITH THE APPLICABLE ELECTRIC UTILITY SUPPLIER REGARDING ANY NECESSARY RELOCATION(S) OF UNDERGROUND AND/OR OVERHEAD ELECTRIC FACILITIES, AND FOR THE LOCATION AND INSTALLATION OF TRANSFORMER PAD(S) AND ASSOCIATED ELECTRIC FACILITIES.
9. SAFETY:
A. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.
B. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
C. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
D. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL ENSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
E. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY "ON-SITE PIPING PERMITS" (IF REQUIRED) FOR CONSTRUCTION OF THE PROPOSED UTILITY FACILITIES. THIS PERMIT MUST BE OBTAINED BY A DULY LICENSED PLUMBING CONTRACTOR (OR CLASS A GENERAL CONTRACTOR) PRIOR TO CONSTRUCTION. CONSTRUCTION PLANS AND ANY SUBSEQUENT REVISIONS ISSUED BY THE ENGINEER, WILL BE SUBJECT TO THE APPROVAL CONDITIONS AND REQUIREMENTS OF THE PERMIT.
11. THE GRAPHIC INFORMATION ON THESE PLANS WAS COMPILED TO PROPORTION BY SCALE AS ACCURATELY AS POSSIBLE. HOWEVER, DUE TO REPRODUCTIVE DISTORTION, REDUCTION, AND/OR REVISIONS, INFORMATION INCLUDED HEREIN, THE PLANS MAY LOSE THE ACCURACY OF SCALABILITY.
12. ALL SPECIFICATIONS AND DOCUMENTS REFERENCED HEREIN SHALL BE OF THE LATEST REVISION/EDITION.
13. ALL UNDERGROUND UTILITIES MUST BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
14. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH ANY OTHER WORK BEING PERFORMED ON-SITE BY OTHER CONTRACTORS/SUBCONTRACTORS AND UTILITY COMPANIES. IT WILL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE ITS ACTIVITIES ACCORDINGLY.
15. ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL OR BETTER THAN THE EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
16. THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR ANY DESIGN CHANGES WHICH HE MAY INCORPORATE INTO THE PLANS WITHOUT PRIOR WRITTEN CONSENT AND/OR APPROVAL FROM THE OWNER AND ENGINEER.
17. AT LEAST 30 DAYS PRIOR TO COMPLETION OF SITE CONSTRUCTION, THE FINAL CERTIFICATION PROCESS SHALL BEGIN. THE CONTRACTOR SHALL PROVIDE DOCUMENTS AND INFORMATION IN A TIMELY MANNER TO ENGINEER, INCLUDING, BUT NOT LIMITED TO:
A. SURVEYED "AS-BUILTS" PER AS-BUILT SURVEY SCOPE IN SPEC MANUAL.
B. COMPACTION AND DENSITY TEST RESULTS.
C. PRESSURE TESTING AND BACTERIOLOGICAL TESTING RESULTS AS REQUIRED FOR WATER WATER DISTRIBUTION AND/OR WASTEWATER COLLECTION/TRANSMISSION SYSTEMS.
THE CONTRACTOR SHALL HAVE TWO SETS OF AS-BUILT PLANS SIGNED AND SEALED BY THE SURVEYOR OF RECORD DURING THE PUNCH LIST INSPECTION. THE GENERAL CONTRACTOR WILL SUBMIT THESE TWO AS-BUILT PLANS TO THE STEPHENS BARRIOS ENGINEERING REPRESENTATIVE ON SITE. IF ANY DEFICIENCIES ARE NOTED, ONE COPY OF REDLINED AS-BUILTS WILL BE GIVEN TO THE GC FOR REVISIONS TO BE MADE. REVISED AS-BUILTS WILL NEED TO BE FORWARDED TO STEPHENS BARRIOS ENGINEERING BEFORE ANY CERTIFICATIONS ARE INITIATED.
18. PARKING STALLS SHALL COMPLY WITH LOCAL CODE REQUIREMENTS AND ALL FEATURES AND APPURTENANCES REQUIRED BY ADA SHALL COMPLY WITH MINIMUM ADA STANDARDS.

CLEARING AND SITE PREPARATION NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF EROSION CONTROL DEVICES SHOWN ON THE CONSTRUCTION PLANS, PRIOR TO ANY SITE CLEARING. REFER TO THE "EROSION CONTROL NOTES" SECTION CONTAINED HEREIN FOR ADDITIONAL REQUIREMENTS.
2. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS INCLUDED IN THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE(S) SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND THE LOCAL AGENCY HAVING JURISDICTION OVER THESE ACTIVITIES.
3. THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. ALL DISTURBED AREAS MUST BE SODED WITH AN IN KIND OR BAHIA SOD IMMEDIATELY FOLLOWING CONSTRUCTION.
4. THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING ACTIVITIES SHALL BE STOCKPILED TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER. REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE, PROVIDED THE MATERIAL IS DEEMED SUITABLE BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO EITHER BE STOCKPILED ON-SITE, AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
5. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OFF-SITE, BY THE CONTRACTOR, IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS. A DUMPSTER OR OTHER CONTAINER SUITABLE IN SIZE TO HOLD ALL WASTE MATERIAL SHALL BE PROVIDED DURING THE CONSTRUCTION.
6. THE CONTRACTOR IS TO CLEAR AND PREPARE THE SITE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS PROJECT. GENERAL CONTRACTOR (AND ALL SITE WORK SUBCONTRACTORS) SHALL OBTAIN AND REVIEW A COPY OF THE GEOTECHNICAL INVESTIGATION REPORT PRIOR TO BIDDING. COPIES OF THE REPORT ARE AVAILABLE THROUGH THE OWNER/DEVELOPER OR DIRECTLY THROUGH THE GEOTECHNICAL COMPANY DIRECTLY.
7. CONTRACTOR MUST ENSURE ALL SOILS ARE GRADED SLOPING DOWN FROM THE BUILDING.

PAVING AND GRADING NOTES:

- 1. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNERS SOILS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE, AND SHALL PROVIDE BRACING, SHEETING OR SHORING, AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE INSTALLED.
3. ALL NECESSARY FILL AND EMBANKMENT PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY, BE GRADED ACCORDING TO THE APPROVED GRADING PLAN AND PLACED/COMPACTED ACCORDING TO THE RECOMMENDATIONS AND SPECIFICATIONS INCLUDED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS PROJECT.

PAVING AND GRADING NOTES (CONT.):

- 4. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED.
5. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO REMAIN. CONTRACTOR SHALL COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.
6. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
7. CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE LATEST EDITION OF GADOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL GADOT TYPE CURB AND GUTTERS CALLED FOR IN THESE PLANS.
8. BEFORE POURING CONCRETE PAVEMENT, THE CONTRACTOR SHALL SUBMIT A PROPOSED JOINTING PATTERN TO THE GEOTECHNICAL ENGINEER FOR APPROVAL.
9. CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND OTHER MATERIALS (STRUCTURES, OTHER PAVED CONCRETE, ETC.)
10. ALL TRAFFIC SIGNS & PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH GADOT STANDARDS.
11. THE CONTRACTOR WILL STABILIZE, BY SEED AND MULCH, SOD, OR OTHER APPROVED MATERIALS (REFER TO PLANS), ANY AND ALL DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION REQUIREMENTS.

TESTING AND INSPECTION REQUIREMENTS (PAVING/GRADING):

- 1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE GEOTECHNICAL ENGINEER. TESTS WILL BE REQUIRED PURSUANT TO THE GEOTECHNICAL REPORT, AS WELL AS THE TESTING SCHEDULE REQUIRED BY DEKALB COUNTY. UPON COMPLETION OF WORK, THE GEOTECHNICAL ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
2. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.

STORMWATER INFRASTRUCTURE MAINTENANCE NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER INSTALLATION OF EROSION CONTROL DEVICES, AS SHOWN ON THE CONSTRUCTION PLANS, PRIOR TO ANY SITE CLEARING. REFER TO THE "EROSION CONTROL NOTES" SECTION INCLUDED HEREIN FOR ADDITIONAL REQUIREMENTS.
2. INLETS AND PIPES MUST BE KEPT FREE OF TRASH AND SILT, AND SHALL BE INSPECTED ANNUALLY.
3. THE CIRCULAR ORIFICE CONTROL STRUCTURE SHALL BE KEPT FREE OF TRASH AND DEBRIS, REMOVE THE GRATE AND REMOVE SEDIMENTS AND DEBRIS THAT HAVE ENTERED THE STRUCTURE, MONTHLY OR SOONER IF NECESSARY.
4. ALL STORM WATER MANAGEMENT FACILITIES PERMITTED BY DEKALB COUNTY SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED DESIGN, PLANS, CALCULATIONS, AND OTHER SPECIFICATIONS THAT HAVE BEEN SUBMITTED WITH THE PERMIT APPLICATION AND APPROVED BY THE DISTRICT. ALL SUBMITTED AND APPROVED DOCUMENTS ARE INCORPORATED BY REFERENCE INTO ANY PERMIT ISSUED, OILS, PAINTS, AND OTHER HARMFUL CHEMICALS SHALL BE KEPT FROM THE STORMWATER FACILITIES. ANY SUCH MATERIALS INADVERTENTLY ENTERING SHALL BE IMMEDIATELY REMOVED.
5. DURING THE EARTHWORK, GRADING, LANDSCAPING, PLANTING, ETC., EROSION PROTECTION SUCH AS SYNTHETIC HAY BALES, TURBIDITY CURTAINS, AND OTHER MATERIALS, SHALL BE PLACED AT INLETS AND OUTLET PIPES TO CONTROL STORMWATER QUALITY AND TURBIDITY.
6. INSPECTIONS SHALL BE MADE AT LEAST ANNUALLY TO CHECK DRAINAGE STRUCTURES AND PIPES FOR MAJOR BUILD UP SEDIMENTATION OR TRASH. THE DRAINAGE STRUCTURES SHALL BE CLEANED IF THE SEDIMENTATION LEVEL IN THE SUMP IS SIX INCHES (6") OR GREATER. THE SEDIMENT MAY BE VACUUMED, PUMPED, OR MANUALLY REMOVED FROM THE BASIN. THE INSPECTION SHALL INCLUDE EROSION AND SOIL STABILIZATION TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE. ANY VEGETATION UTILIZED FOR EROSION CONTROL SHALL BE INSPECTED AND MAINTAINED FOR PROPER FUNCTIONING.

CONSTRUCTION SITE WORK TESTING:

- 1. ALL SITE WORK TESTING SHALL BE PERFORMED BY A CERTIFIED/LICENSED GEOTECHNICAL ENGINEERING FIRM.
2. ALL SITE WORK TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT PERFORMED BY GEOTECHNICAL COMPANY, AND/OR THE TESTING PARAMETERS OF THE LOCAL MUNICIPALITY/AGENCY HAVING JURISDICTION OVER THE SITE WORK. THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
3. COPIES OF PASSING TEST RESULTS SHALL BE PROVIDED TO THE DEVELOPER, ENGINEER OF RECORD, CONTRACTOR AND LOCAL MUNICIPALITY/AGENCY FOR PURPOSES, SUCH AS BUT NOT LIMITED TO, CERTIFICATION, AND ACCEPTANCE OF FACILITIES BY THE DEVELOPER AND/OR MUNICIPALITY/AGENCY.
4. THE SERVICES OF A CONSTRUCTION TESTING GEOTECHNICAL FIRM SHALL BE RETAINED BY THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
5. ENGINEER-OF-RECORD AND/OR BARRIOS ENGINEERING WILL NOT BE RESPONSIBLE FOR SCHEDULING, COORDINATION OR EVALUATION OF THE SOILS TESTING AND CERTIFICATIONS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER AND/OR CONTRACTOR TO MAKE THE NECESSARY ARRANGEMENTS DIRECTLY WITH THE SOILS TESTING LABORATORY/GEOTECHNICAL FIRM AND THE SITE CONTRACTOR.
6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONSTRUCTION OF WATER, WASTEWATER AND STORMWATER SYSTEMS ARE COMPLETED SO TIMELY CERTIFICATIONS MAY BE INITIATED. SATISFACTORY BACTERIOLOGICAL TEST RESULTS, PRESSURE TEST RESULTS, AND AN AS-BUILT SURVEY SHALL BE SUBMITTED TO THE ENGINEER FOR ALL WORK REQUIRING CERTIFICATIONS.

DRAINAGE SYSTEM NOTES:

- 1. ALL STORM SEWER PIPES SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH GADOT ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.
2. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO CENTER OF DRAINAGE STRUCTURES, WITH THE EXCEPTION OF MITERED END AND FLARED END SECTIONS, WHICH ARE NOT INCLUDED IN PIPE LENGTHS.
3. ALL DRAINAGE STRUCTURE GRATES AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
4. CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM MUST BE COMPLETE AND ALL DISTURBED AREAS STABILIZED IN ACCORDANCE WITH THE PERMITTED PLANS AND CONDITIONS PRIOR TO ANY OF THE FOLLOWING: ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY; INITIATION OF INTENDED USE OF THE INFRASTRUCTURE; OR TRANSFER OF RESPONSIBILITY FOR MAINTENANCE OF THE SYSTEM TO A LOCAL GOVERNMENT OR OTHER RESPONSIBLE ENTITY.

TESTING AND INSPECTION REQUIREMENTS (DRAINAGE):

- 1. THE STORM DRAINAGE SYSTEM AND RETENTION POND SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
2. THE CONTRACTOR SHALL MAINTAIN AND PROTECT THE STORM DRAINAGE SYSTEM FROM MUD, DIRT, DEBRIS, ETC. UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE REINSPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. THE CONTRACTOR MAY BE REQUIRED TO CLEAN PIPES AND INLETS AGAIN FOR THESE PURPOSES.

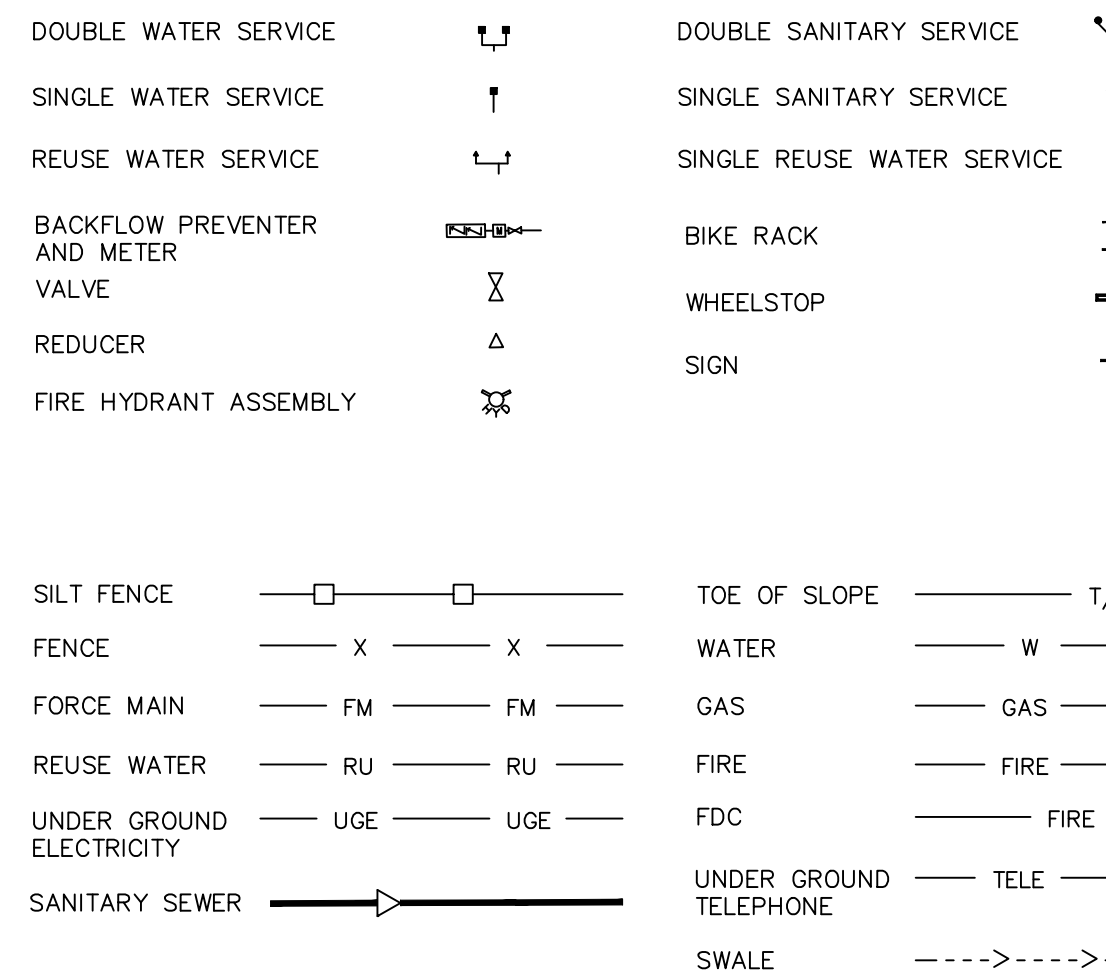
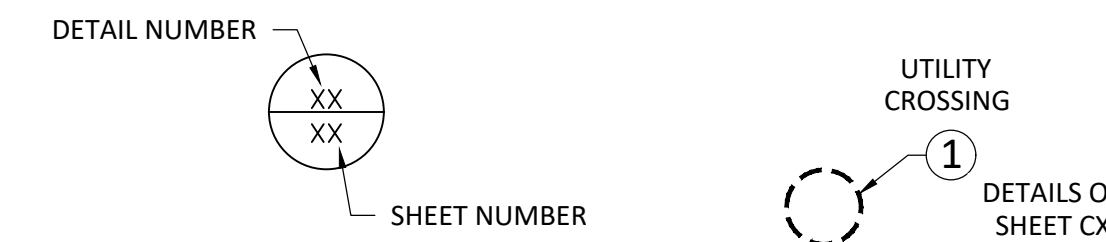
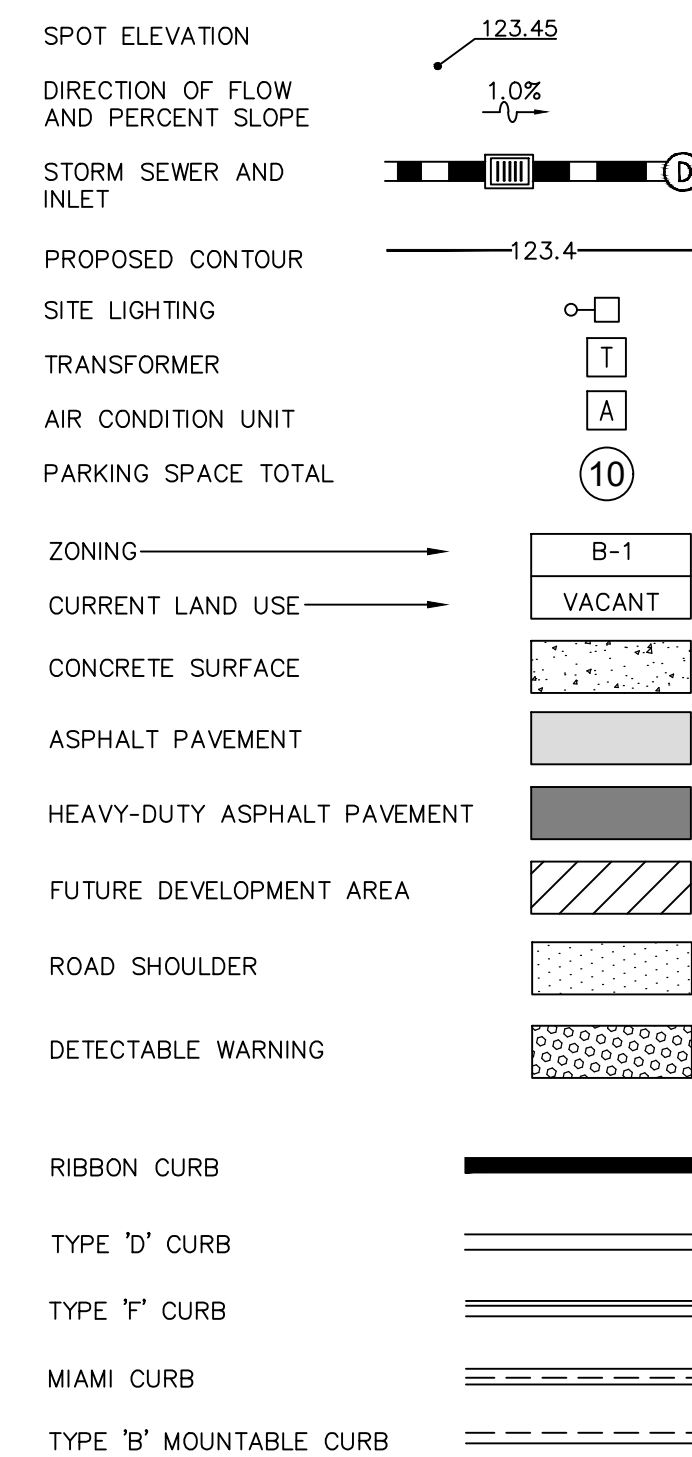
AS-BUILT:

- 1. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION, CERTIFIED BY A REGISTERED LAND SURVEYOR. NO ENGINEER'S CERTIFICATIONS FOR CERTIFICATE OF OCCUPANCY (C.O.) PURPOSES WILL BE MADE UNTIL THIS INFORMATION HAS BEEN RECEIVED AND APPROVED BY THE OWNER'S ENGINEER.
2. ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS AS REQUIRED FOR SUBMITTAL AND APPROVAL. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND GPS DATA TABLE AND SHALL BE SIGNED AND SEALED BY GEORGIA REGISTERED LAND SURVEYOR. THE FOLLOWING INFORMATION SHALL BE INCLUDED IN THE "AS-BUILT" SUBMITTAL AT A MINIMUM:
A) STORM DRAINAGE:
a. TOP ELEVATION OF EACH MANHOLE FRAME AND COVER/GRATE AS WELL AS ALL OTHER STRUCTURES (HEADWALLS, CONTROL STRUCTURES, WEIRS, ETC.).
b. INVERT ELEVATION OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN PIPES.
c. INVERTS OF ALL MITERED END SECTIONS.
d. ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES.
e. INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM STUB-OUTS, UNDERDRAIN CLEANOUTS, YARD DRAINS, ETC.
B) PAVEMENT GRADES AND DRAINAGE PATTERNS
a. PAVEMENT PROFILES AND CRITICAL POINTS SHALL HAVE VERIFIED ELEVATIONS INDICATING THE CONSTRUCTED FINISHED GRADE.
b. DRAINAGE PATTERNS INDICATED BY THE DESIGN DRAWINGS SHALL HAVE VERIFIED SPOT ELEVATIONS INDICATING THE FINISHED GRADE.
c. TOP OF BANK, TOE OF SLOPE, AND GRADE BREAK LOCATIONS, ELEVATIONS FOR POND AND DITCH/SWALE CONSTRUCTION, TOP AND BOTTOM OF HANDICAP RAMPS AND SPOT ELEVATIONS ALONG ALL HANDICAP ACCESSIBLE ROUTES AND STALLS.
C) GPS DATA:
THE X, Y AND (Z) LOCATION BASED ON THE COORDINATE SYSTEM GEORGIA WEST ZONE STATE PLANE COORDINATE FEET NAD 83, OF ALL MANHOLES (RIM ELEVATION), LIFT STATIONS (RIM ELEVATION), CLEANOUTS (GRADE), SAMPLE POINTS (GRADE), FITTINGS (CENTER OF PIPE) AND METER BOXES (GRADE), ETC. SHALL BE CLEARLY SHOWN. ACCEPTABLE POSITION ACCURACY SHALL BE SUB-METER OR BETTER FOR COMPATIBILITY WITH GLOBAL POSITIONING SYSTEM (GPS) EQUIPMENT.
THE GPS DATA SHALL BE PROVIDED IN AN ASSET TABLE INCORPORATED AS A SECTION OF THE FINAL "AS-BUILT".

OTHER IMPORTANT NOTES:

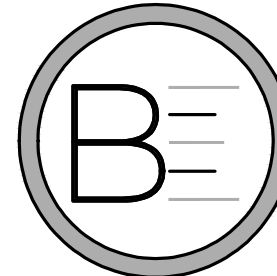
- 1. CONTRACTOR MUST VISIT SITE PRIOR TO BIDDING AND BECOME FULLY FAMILIAR WITH EXISTING CONDITIONS (I.E. EXISTING UTILITIES, LANDSCAPING, STRUCTURES, ETC.).
2. CONTRACTOR MUST LOCATE AND VERIFY ACTUAL ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF CONNECTION AND INTERSECTIONS PRIOR TO THE BEGINNING OF THE PROJECT. GC SHALL CONTACT ENGINEER OF RECORD IMMEDIATELY IF ANY DISCREPANCIES.
3. ALL DISTURBED AREAS, IN AND OUTSIDE THE BOUNDARY LINES OF THE PROPOSED DEVELOPMENT, MUST BE SODED CONTRACTOR TO OBTAIN FINAL APPROVAL FROM THE CITY OR COUNTY PRIOR TO OWNER'S FINAL ACCEPTANCE.
4. CONTRACTOR MUST PROVIDE ALL MAINTENANCE OF TRAFFIC METHODS AND DEVICES REQUIRED BY DEKALB COUNTY, EVEN WHEN THEY DIFFER FROM THE METHODS SHOWN ON THIS SET OF CONSTRUCTION DRAWINGS, AS LONG AS THE METHODS AND DEVICES ARE APPROVED BY THE CITY.
5. CONTRACTOR MUST PROVIDE AS-BUILT DRAWINGS TO ENGINEER OF RECORD AT LEAST 14 DAYS PRIOR TO SUBMITTING FOR CERTIFICATE OF OCCUPANCY.
6. AS-BUILT DRAWINGS MUST INCLUDE INVERT ELEVATIONS AT BOTH ENDS OF ALL PIPES, TOP AND BOTTOM ELEVATIONS OF ALL RAMPS, ALL REQUIRED ELEVATIONS ON HANDICAP ZONE, CONTOURS IN THE PONDS AND SWALES, STORMWATER INLET TOP, FINISH FLOOR ELEVATION AND ALL SITE IMPROVEMENTS.
7. CONTRACTOR SHALL COORDINATE ALL BACTERIOLOGICAL AND PRESSURE TESTS REQUIRED BY THE JURISDICTION HAVING AUTHORITY AND PROVIDE RESULTS TO ENGINEER OF RECORD AT LEAST 14 DAYS PRIOR TO REQUESTING FINAL CLEARANCE.
8. CONTRACTOR MUST PROVIDE ALL OTHER TEST RESULTS TO ENGINEER OF RECORD AT LEAST 14 DAYS PRIOR TO REQUESTING FINAL CLEARANCE AND CERTIFICATE OF OCCUPANCY.

LEGEND AND PROPOSED SYMBOLS



ABBREVIATIONS

Table listing abbreviations and their meanings: BOTTOM OF CURB (BC), BOTTOM OF WALL (BW), CENTER TO CENTER (C/C), CLEANOUT (C.O.), DUCTILE IRON PIPE (DIP), EDGE OF CURB (EOC), EDGE OF PAVEMENT (EOP), END OF SLOPE (E.O.S.), FINISHED FLOOR ELEVATION (F.F.E.), GRADE BREAK (GB), HIGH DENSITY POLYETHYLENE (HDPE), LIMEROCK BEARING RATIO (LBR), LINEAR FEET (LF), MANHOLE (MH), MEET EXISTING GRADE (MEG), MITERED END SECTION (MES), NORMAL WATER LEVEL (NWL), NOT TO SCALE (NTS), POUNDS PER SQUARE INCH (P.S.I.), OFF CENTER (O.C.), POLYETHYLENE (PE), PROPERTY LINE (P/L), REINFORCED CONCRETE PIPE (RCP), RIGHT OF WAY (ROW, R/W), SANITARY (SAN), SQUARE FEET (SF), STORM DRAIN (SD), SIDEWALK (SW), TOE OF SLOPE (TOS, T/S), TOP OF BANK (TOB), TOP OF CURB (TC), TOP OF WALL (TW), UNDERGROUND (UG), WATER SURFACE ELEVATION (WSE).



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Table with columns: REV., DATE, DESCRIPTION, BY. Row 1: REV. 1, DATE 06/22/24, DESCRIPTION DEKALB COUNTY COMMENTS, BY ABC.

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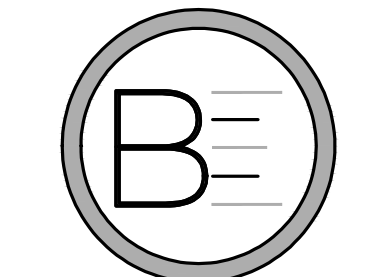


ROBERTO ARCHILA, PE DATE 07/10/24

UNITED PARCEL SERVICE 3930 PLEASANTDALE ROAD DORAVILLE, GA 30340

GENERAL NOTES

Table with project information: PROJ MANAGER: CB, DATE: 04/03/2024, DRAWN BY: MA, SHEET NO.: C0.0, SCALE: AS NOTED, PROJECT NO.: 24-018.



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REV.	DATE	DESCRIPTION
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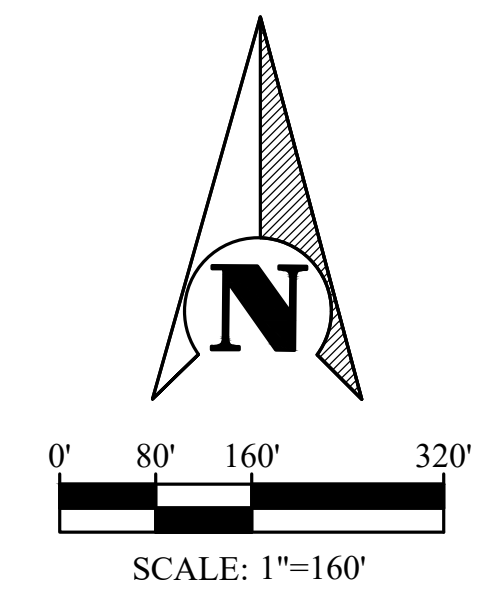


ROBERTO ARCHILA, PE
DATE 07/10/24

UNITED PARCEL SERVICE
3930 PLEASANTDALE ROAD
DORAVILLE, GA 30340

TITLE:
EXISTING CONDITIONS

PROJ MANAGER: CB
DATE: 04/03/2024
DRAWN BY: MA
SCALE: AS NOTED
PROJECT NO.: 24-018
SHEET NO.: **C0.1**



PARKING REQUIREMENTS

Use	Min	Max
Warehouse, Distribution	1 space/2500 square feet floor area	1 space/500 sq feet floor area
Retail/Personal Services	1 space/500 square feet floor area	1 space/200 sq feet floor area
Offices Professional	1 space/500 square feet floor area	1 space/250 square feet floor area

EXISTING PARKING REQUIRED

Use	AREA	MIN	MAX	ROUNDED RANGE
Warehouse (Warehouse Distribution)	328,033 SF per PA	328,033/2500=131.2132	328,033/500=656.066	131 - 656
Customer Center (Retail/Personal Services)	9,276 SF per Google Earth Measurement	9,276/500=18.552	9,276/200=46.38	19 - 46

ADDITIONAL REQUIRED PARKING

USE	AREA	MIN	MAX	ROUNDED RANGE
88 Car Village (Warehouse Distribution)	7,071.9 SF	7,071.9/2,500=2.8288	7,071.9/500=14.1438	3-15
90 car village (Warehouse Distribution)	9,284 SF	9,284/2,500=3.71	9,284/500=18.56	4-19

TOTAL PARKING REQUIRED = 157
TOTAL PARKING PROVIDED = 426

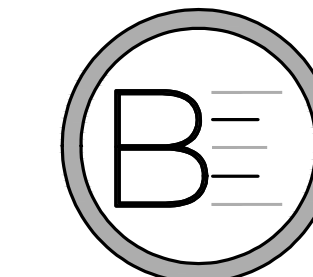
PARCEL ID: 18 315 02 010
Pleasantdale Partners Lic
C-2 - CENTRAL BUSINESS DIST
374-Retail - Multiple Occupancy

PARCEL ID: 18 315 02 006
Pleasantdale Partners Lic
C-2 - CENTRAL BUSINESS DIST
396-Mini Warehouse



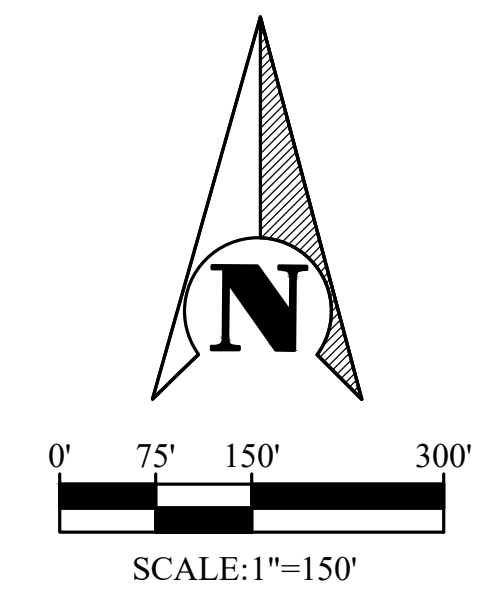
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REQUIREMENTS.



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DEMOLITION NOTES

- PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT IS SO INDICATED INCLUDING FOUNDATIONS; TIMBER AND BRUSH; EXCEPT AS OTHERWISE INDICATED, STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
- WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE, AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE AND LOCATION OF ALL STRUCTURES, UTILITIES, AND TREES SHOWN OR NOT ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
- THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS, AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
- THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR)
- ALL DISTURBED AREAS, INCLUDING RIGHT-OF-WAY MUST BE PERMANENTLY STABILIZED PER DEKALB COUNTY APPROVED METHOD PRIOR TO FINAL ACCEPTANCE.

REV.	DATE	DESCRIPTION
1	06/22/24	DEKALB COUNTY COMMENTS

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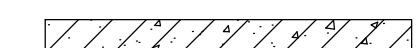
ROBERTO ARCHILA, PE
DATE 07/10/24

UNITED PARCEL SERVICE
3930 PLEASANTDALE ROAD
DORAVILLE, GA 30340

NOTES:

- EXISTING CONCRETE TO BE REMOVED
- EXISTING CNG PUMPS TO REMAIN
- EXISTING LANDSCAPE TO BE REMOVED. ALL DISTURBED LANDSCAPING AREAS TO BE SODDED PRIOR TO JOB COMPLETION AND AS REQUIRED BY DEKALB COUNTY
- EXISTING BOLLARD TO BE REMOVED
- EXISTING LIGHT POLE AND CONCRETE BASE TO BE REMOVED. CONTRACTOR TO INSTALL PULL BOX FOR FUTURE INSTALLATION.

REMOVE EXISTING LANDSCAPE 

REMOVE EXISTING CONCRETE 

NOTES OF IMPORTANCE:

- EXISTING UTILITIES TO BE REMOVED ARE TO BE CAPPED AND ABANDONED BELOW GRADE IN ACCORDANCE WITH DEKALB COUNTY REGULATIONS.
- CONTRACTOR TO COORDINATE REMOVAL AND RELOCATION OF ALL EXISTING ELECTRICAL COMPONENTS WITH ELECTRICAL PROVIDER WHEN NECESSARY.

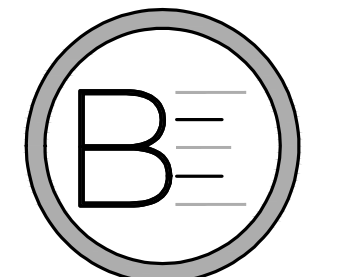
GEORGIA811
www.Georgia811.com
Contact 811 before you dig.

REFER TO SHEET C0.0 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

TITLE:
DEMOLITION PLAN

PROJ MANAGER: CB DATE: 04/03/2024
DRAWN BY: MA SHEET NO.:
SCALE: AS NOTED PROJECT NO.:
24-018 **C0.2**

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REV.	DATE	DESCRIPTION	BY:
1	06/22/24	DEKAB COUNTY COMMENTS	ARC

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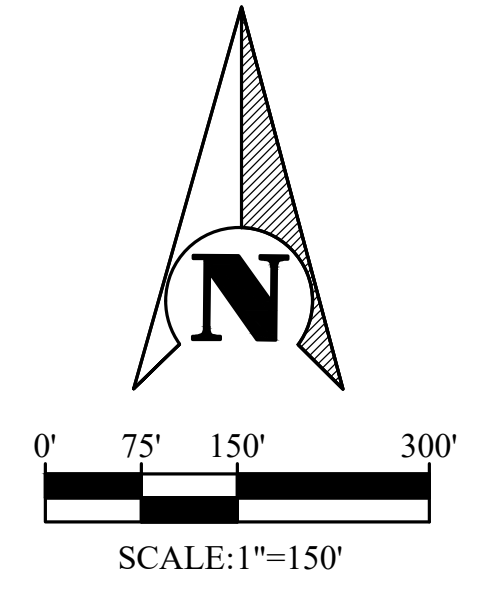
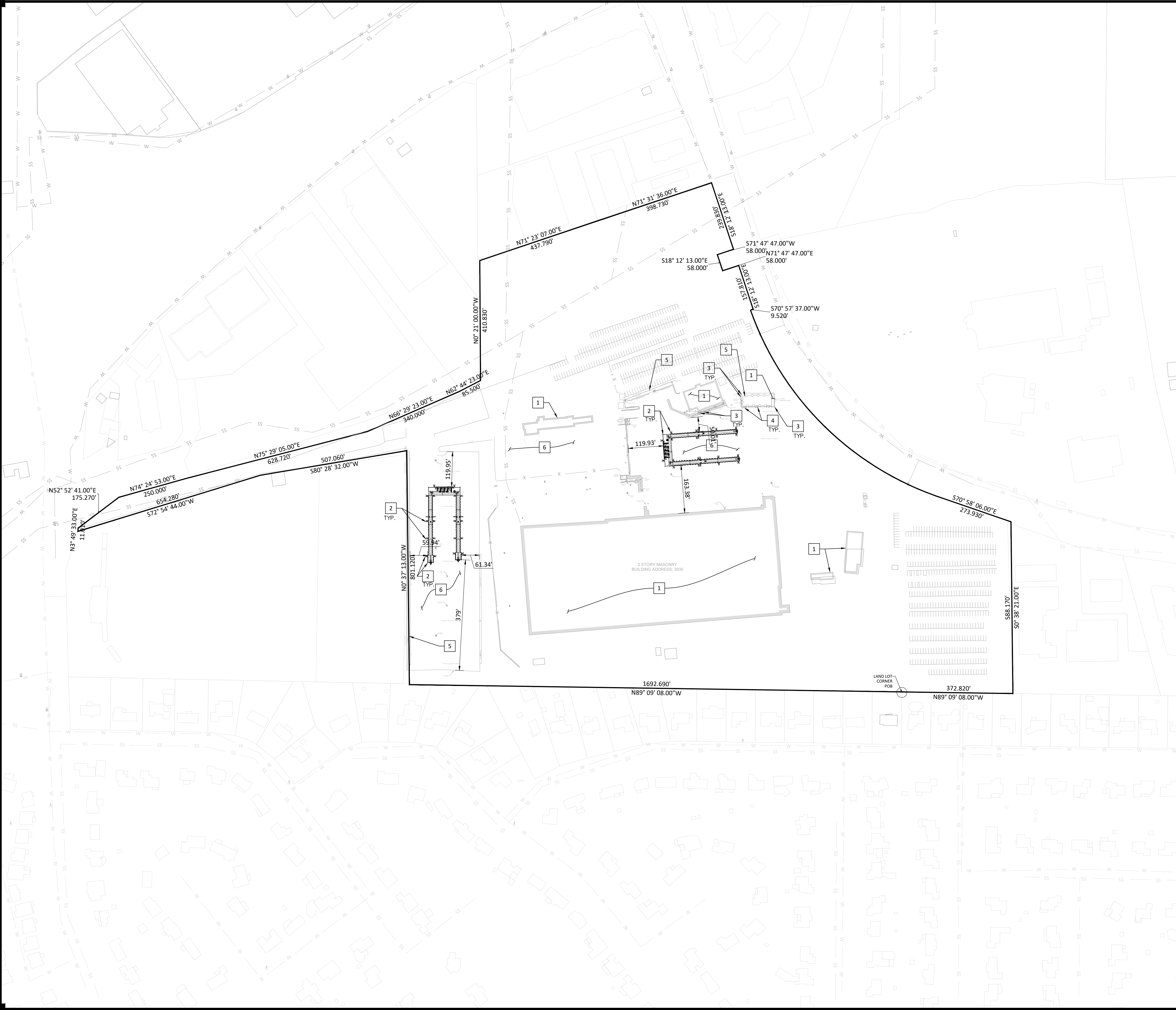


ROBERTO ARCHILA, PE
DATE 07/10/24

UNITED PARCEL SERVICE
3930 PLEASANTDALE ROAD
DORAVILLE, GA 30340

TITLE:
SITE GEOMETRY PLAN

PROJ MANAGER: CB DATE: 04/03/2024
DRAWN BY: MA SHEET NO.:
SCALE: AS NOTED
PROJECT NO.: 24-018
C1.0



SITE DATA

- 1 EXISTING BUILDING TO REMAIN
- 2 6" CONCRETE BOLLARD (3)
- 3 EXISTING 6" CONCRETE BOLLARD TO REMAIN (C1.01)
- 4 EXISTING GAS PUMP TO REMAIN
- 5 EXISTING CHAIN LINK FENCE TO REMAIN
- 6 EXISTING CONCRETE PAVEMENT TO REMAIN UNDISTURBED

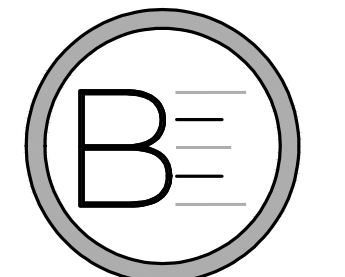
NOTES

1. ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND MAY REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
2. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN ZONING ORDINANCE.
3. SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
4. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA), NEW MEXICO ACCESSIBILITY STANDARDS AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
5. ALL NEW UTILITY LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
6. EACH NEW BUILDING WILL NOT BE SUBDIVIDED INTO OFFICES, SUITES, ETC. EACH BUILDING (MODULAR UNIT) WILL BE ONE STORY AND WILL NOT BE OPENED TO THE GENERAL PUBLIC.

REFER TO SHEET C0.00 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

ALL ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

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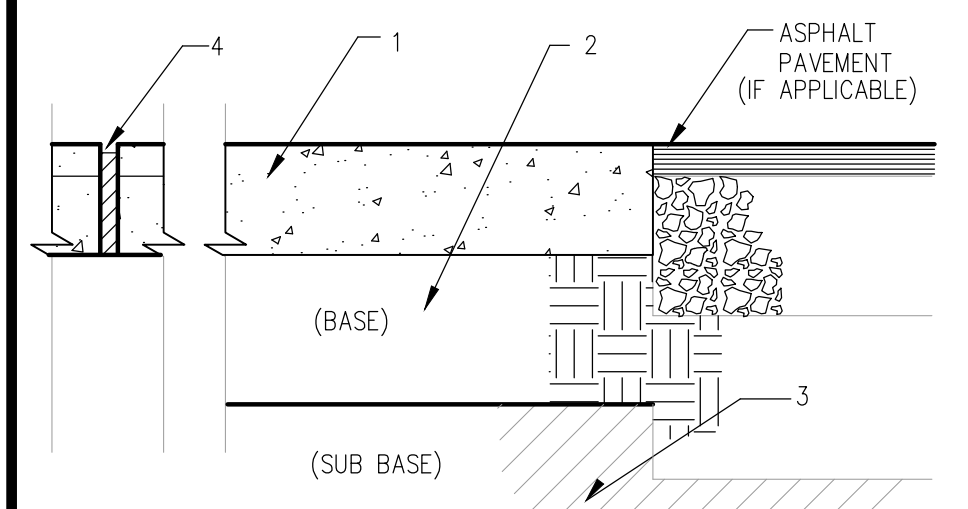


ROBERTO ARCHILA, PE
DATE 07/10/24

UNITED PARCEL SERVICE
3930 PLEASANTDALE ROAD
DORAVILLE, GA 30340

TITLE:
SITE GEOMETRY DETAILS

PROJ MANAGER: CB	DATE: 04/03/2024
DRAWN BY: MA	SHEET NO.:
SCALE: AS NOTED	C1.1
PROJECT NO.:	

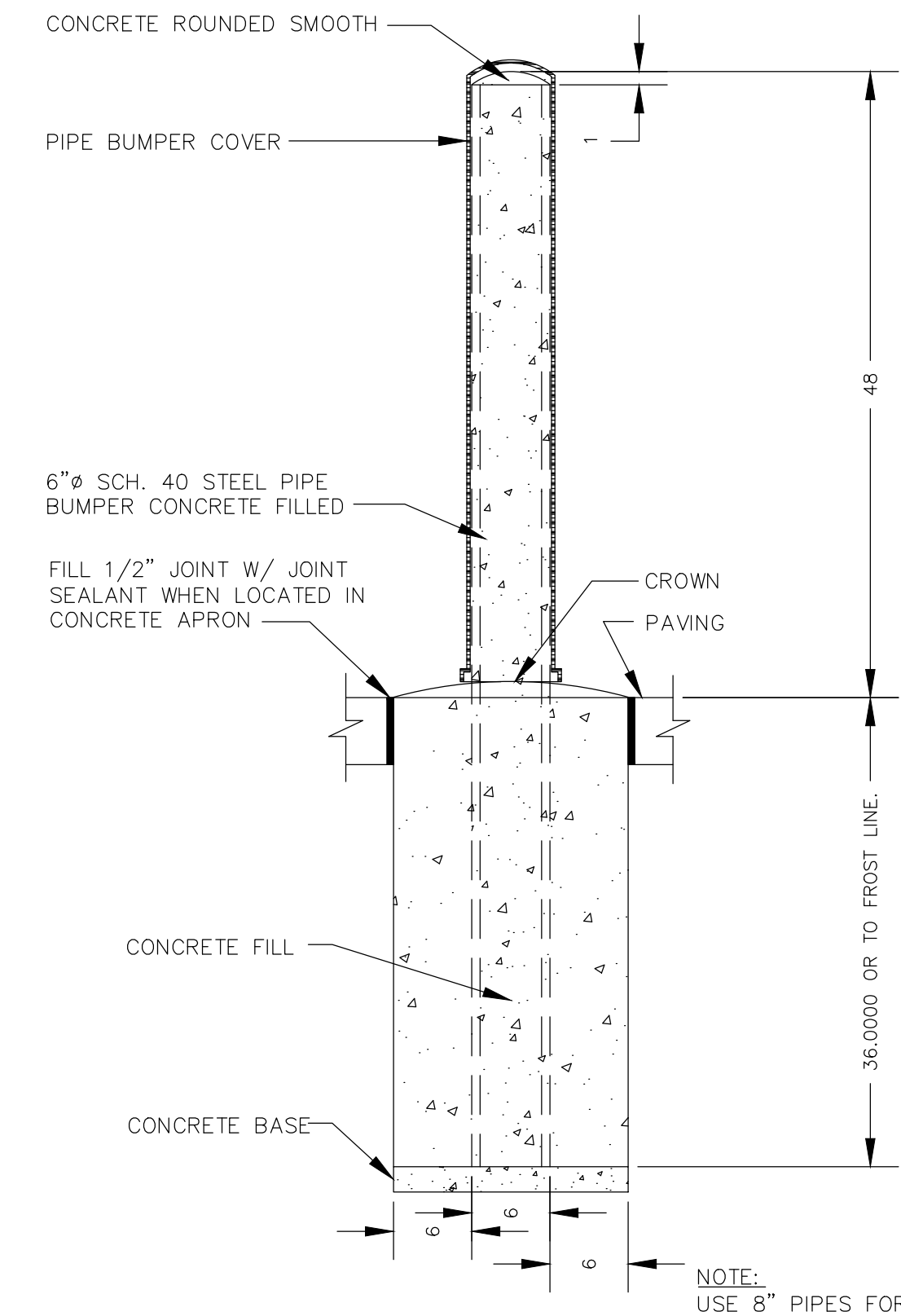


PORTLAND CEMENT CONC. PAVEMENT

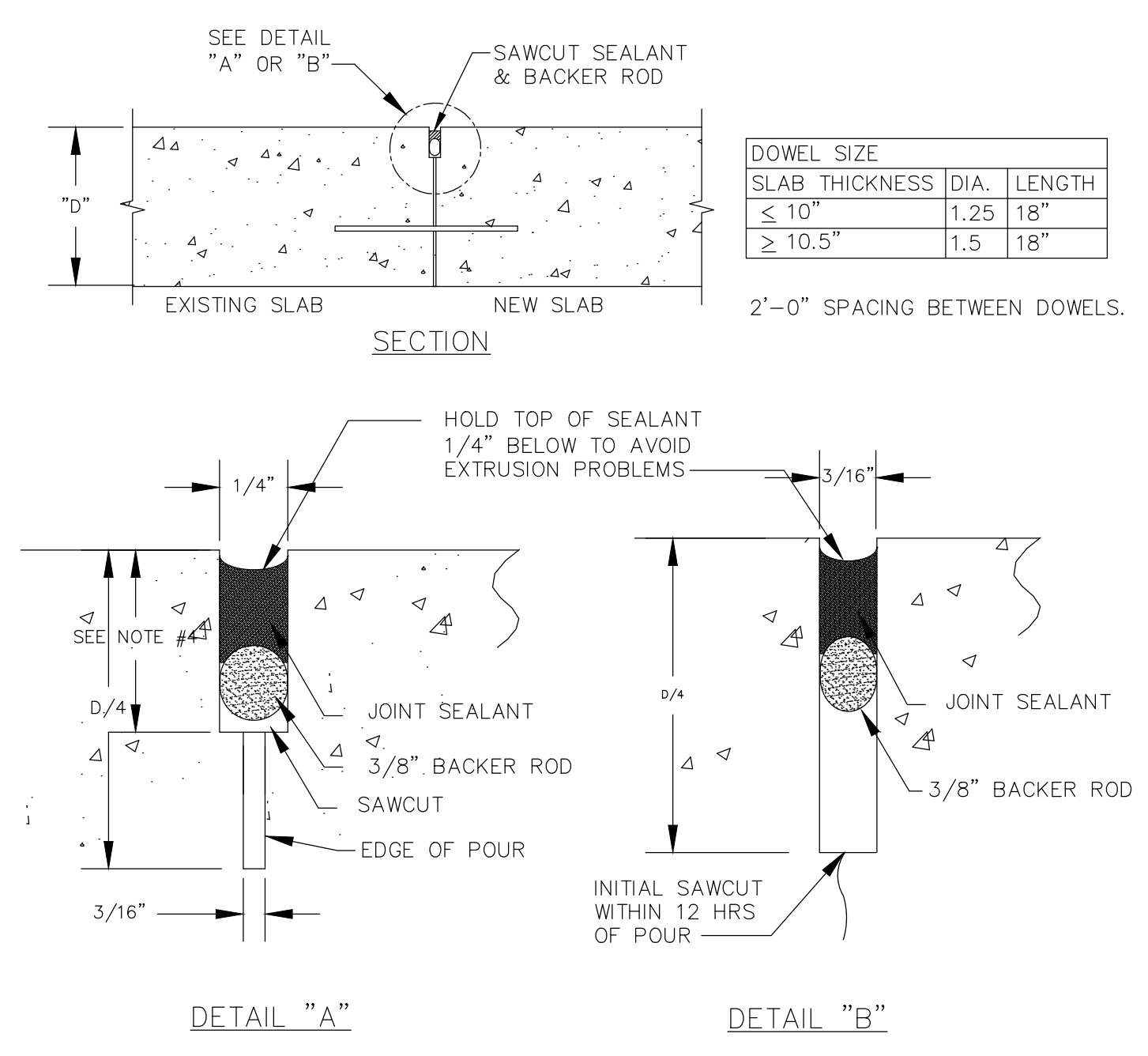
- GENERAL
RIGID PAVEMENT CONSISTS OF CONSTRUCTING A SPECIFIED PORTLAND CEMENT CONCRETE PAVING ON A PREPARED SUBGRADE. THE UTILITIES AND OTHER ITEMS IN AND BENEATH THE STREET MUST BE PROPERLY COORDINATED WITH THE CONSTRUCTION OF RIGID PAVEMENT TO AVOID CONFLICTS. THE WORK TO BE DONE SHALL INCLUDE THE FURNISHING OF ALL SUPERVISION, LABOR, MATERIALS, EQUIPMENT AND INCIDENTAL NECESSARY FOR THE PROPOSED RIGID PAVEMENT CONSTRUCTION IN ACCORDANCE WITH THE APPROVED DRAWINGS AND SPECIFICATION.
- CONCRETE STRENGTH REQUIRED:
ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 (PC) PSI AT 28 DAYS, CONFORMANCE TO STRENGTH REQUIREMENTS SHALL BE DETERMINED BY ACI STANDARD 318, LATEST EDITION, SECTIONS 4.8.2.3 AND 4.8.3.

- 6" - 4000 PSI CONCRETE W/ FIBERMESH REINFORCEMENT.
- UPPER 12" PCC BASE SHALL BE COMPACTED TO A MINIMUM DENSITY OF 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).
- 18" WELL GRADED FREE-DRAINING MATERIAL, HAVING 7% OR LESS PASSING THE NO. 200 SIEVE. REFER TO GEOTECHNICAL REPORT SECTION 4.2 FOR FREE-DRAINING FILL REQUIREMENTS.
- 1/2" PREMOLDED ASPHALT EXPANSION JOINT STRIP MEETING ASTM D1751. SET 1/2" BELOW PAVEMENT TOP @ 15'-0" O.C. MAXIMUM. SHALL BE PLACED IN ACCORDANCE WITH SECTION 320119.

4 CONCRETE PAVEMENT NTS



3 CONCRETE BOLLARD NTS



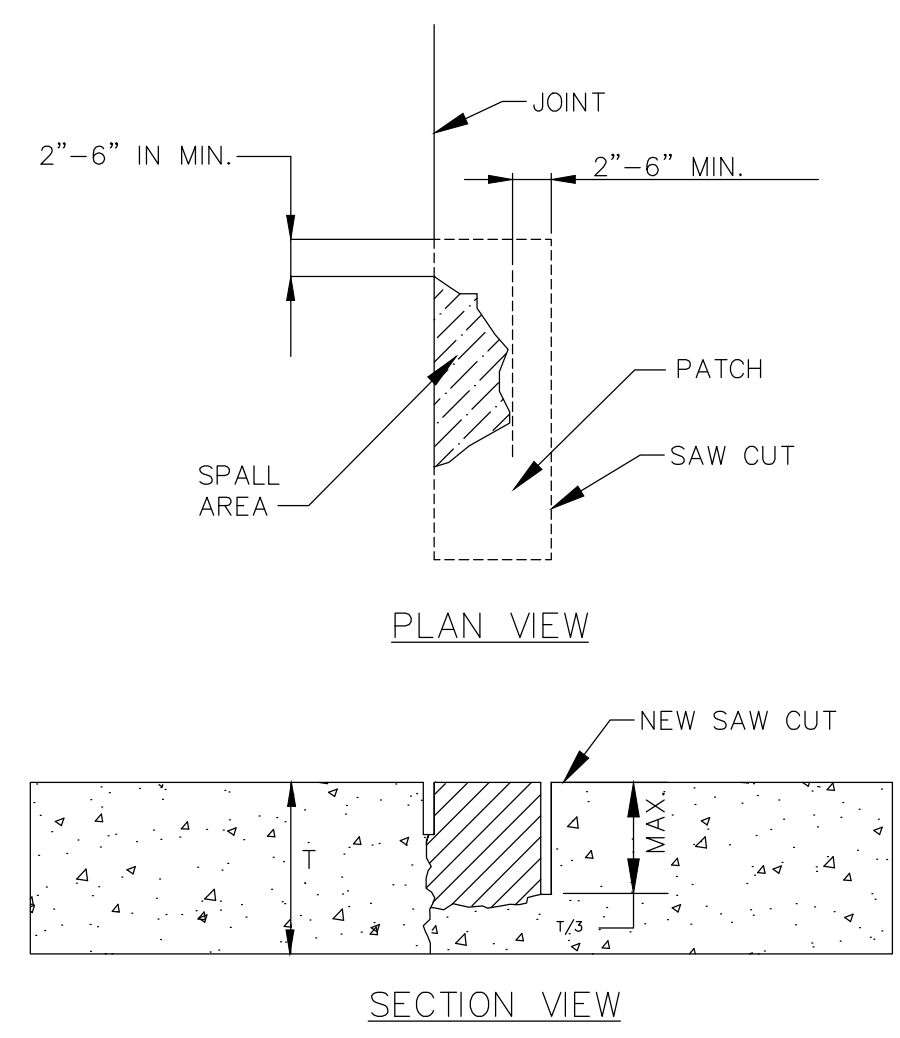
2 CONCRETE PAVEMENT JOIN NTS

- NOTES:**
- DETAIL "A" SHOWS (2) SAWCUTS, THE INITIAL SAWCUT PROVIDES RELIEF OF INTERNAL STRESSES DUE TO SHRINKAGE. THE SECOND SAWCUT PROVIDES THE NECESSARY WIDTH TO ACHIEVE THE PROPER "SHAPE FACTOR" FOR THE JOINT SEALANT MATERIAL. THE SECOND SAWCUT ALSO CLEANS OUT ANY REMAINING DEBRIS AND CURING COMPOUND WHICH MUST BE REMOVED PRIOR TO INSTALLING THE BACKER ROD AND SEALANT.
 - SPACE CONTROL JOINTS 15'-0" O.C. MAX. EACH WAY.
 - DETAIL "B" SHOWS AN ALTERNATIVE JOINT DESIGN UTILIZING THE INITIAL SAWCUT FOR PLACING BACKER ROD AND SEALANT. RESERVOIR WALLS MUST BE FREE OF ANY DIRT, DUST OR CHEMICALS THAT CAN ADVERSELY EFFECT THE ABILITY OF THE SEALANT TO BOND TO THE RESERVOIR WALLS.
 - DIMENSIONS SHOWN WILL VARY. ACTUAL JOINT WIDTH MUST BE DETERMINED BY THE ANTICIPATED JOINT MOVEMENT. THE ACTUAL JOINT DEPTH IS DETERMINED BY THE RECOMMENDATIONS OF THE SEALANT MANUFACTURER.

5 NOT USED NTS

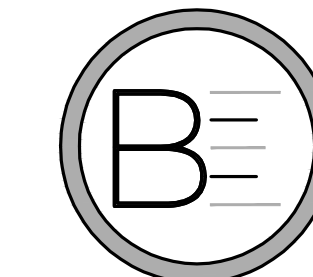
6 NOT USED NTS

7 NOT USED NTS



1 CONCRETE PAVING REPAIR NTS

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REV.	DATE	DESCRIPTION	BY:
1	06/27/24	DEKALB COUNTY COMMENTS	ABC

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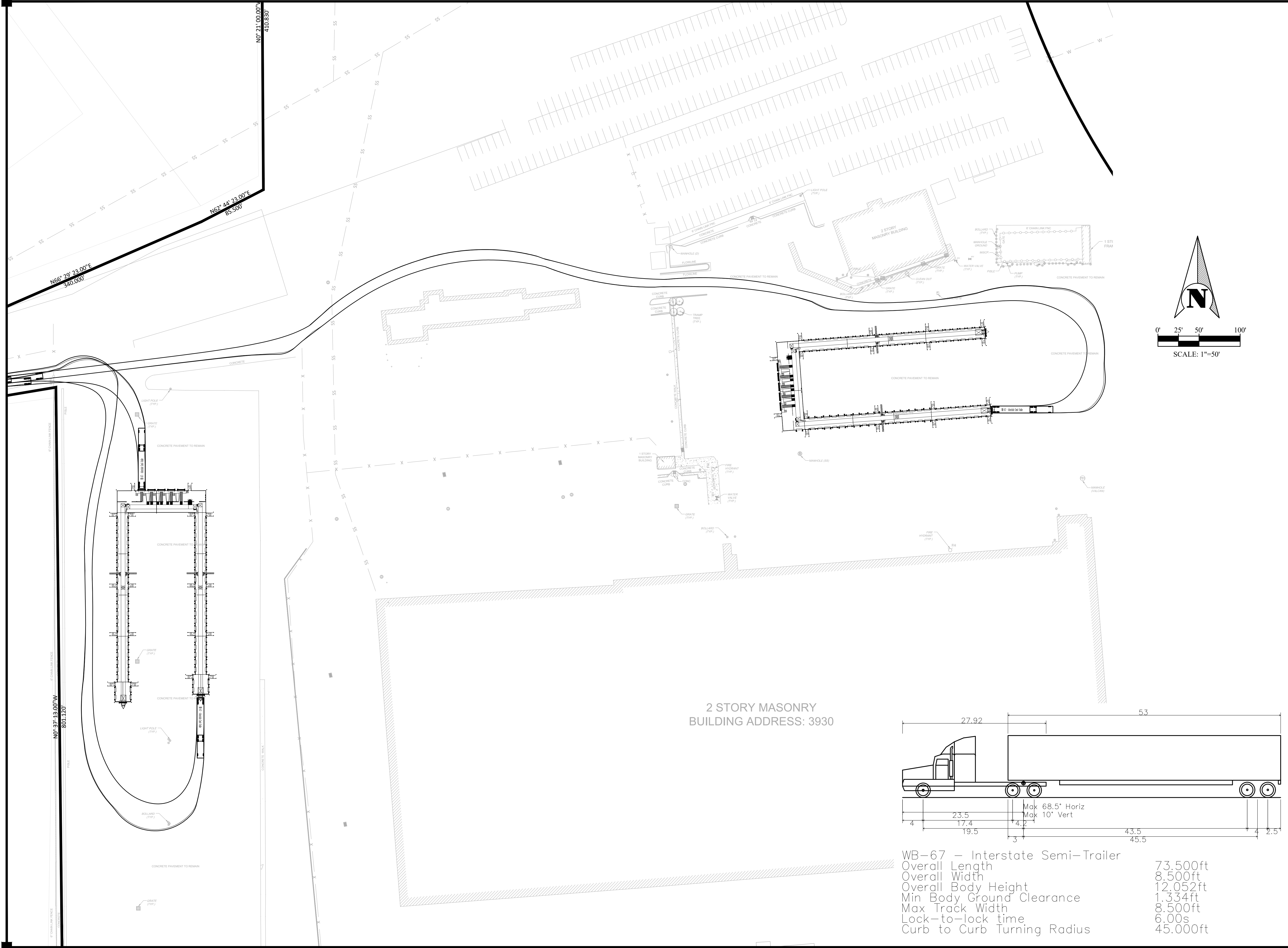


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DATE 07/10/24

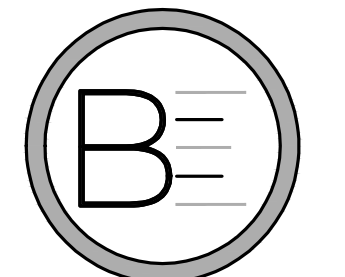
UNITED PARCEL SERVICE
3930 PLEASANTDALE ROAD
DORAVILLE, GA 30340

TITLE:
AUTO TURN PLAN

PROJ MANAGER: CB	DATE: 04/03/2024
DRAWN BY: MA	SHEET NO.:
SCALE:	C1.4
PROJECT NO.:	24-018



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REV.	DATE	DESCRIPTION
1	06/22/24	DEKALB COUNTY COMMENTS

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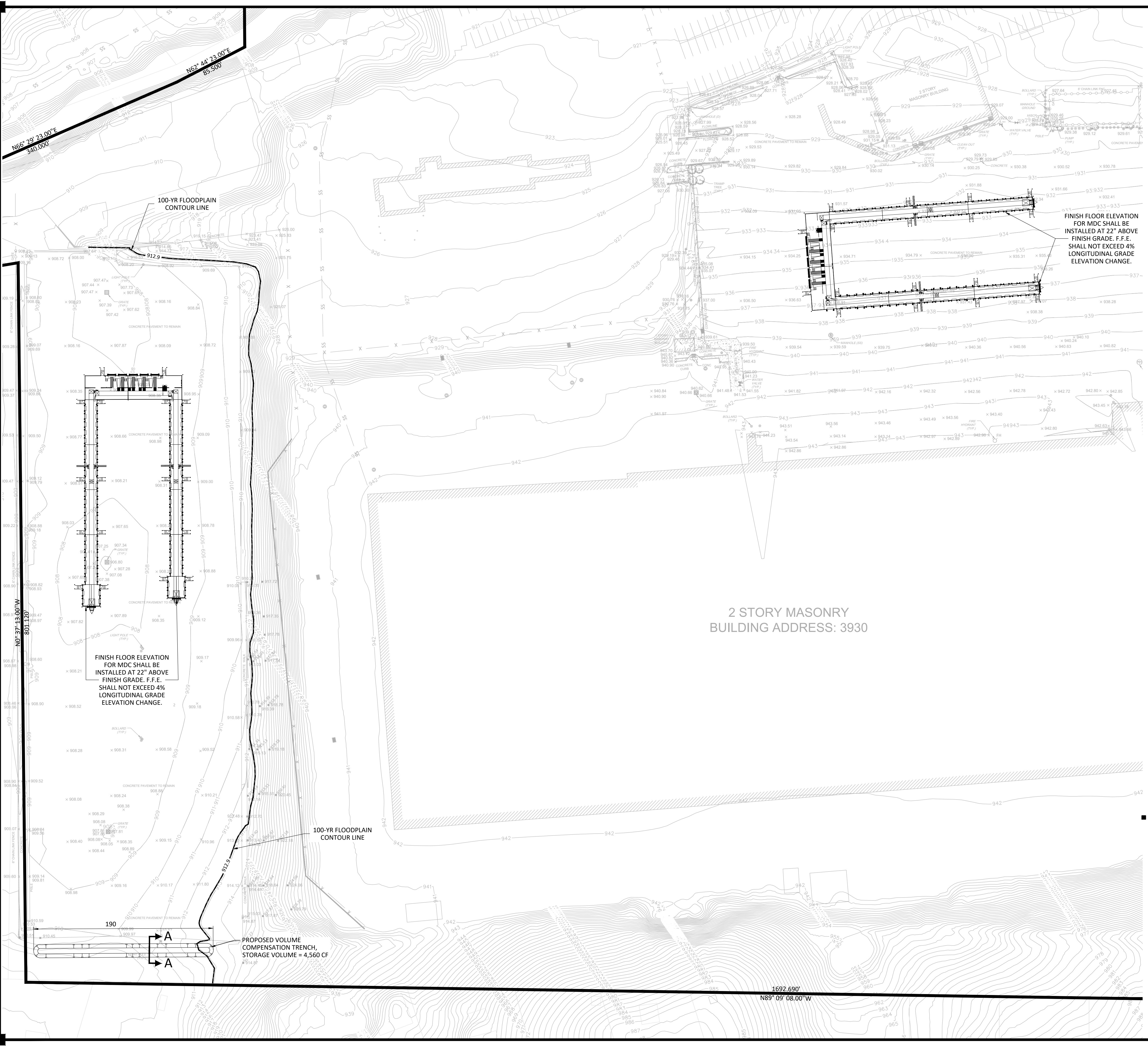
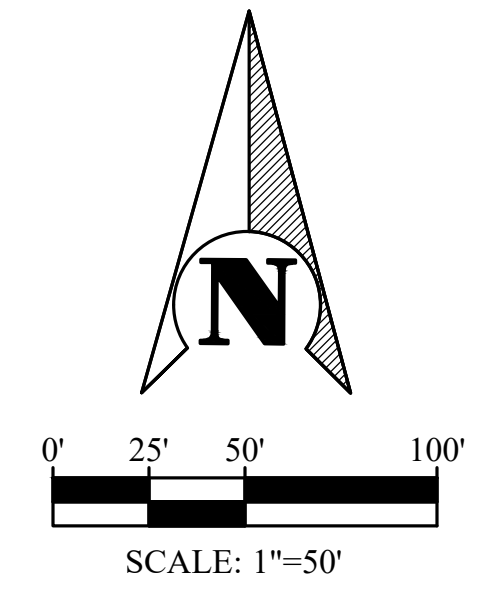


ROBERTO ARCHILA, PE
DATE 07/10/24

UNITED PARCEL SERVICE
3930 PLEASANTDALE ROAD
DORAVILLE, GA 30340

TITLE:
GRADING AND DRAINAGE PLAN

PROJ MANAGER: CB	DATE: 04/03/2024
DRAWN BY: MA	SHEET NO.:
SCALE: AS NOTED	C3.0
PROJECT NO.:	

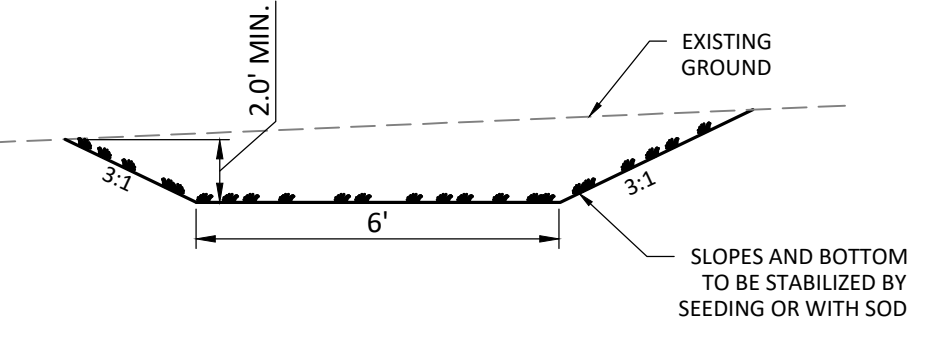


FINISH FLOOR ELEVATION FOR MDC SHALL BE INSTALLED AT 22" ABOVE FINISH GRADE. F.F.E. SHALL NOT EXCEED 4% LONGITUDINAL GRADE ELEVATION CHANGE.

FINISH FLOOR ELEVATION FOR MDC SHALL BE INSTALLED AT 22" ABOVE FINISH GRADE. F.F.E. SHALL NOT EXCEED 4% LONGITUDINAL GRADE ELEVATION CHANGE.

2 STORY MASONRY BUILDING ADDRESS: 3930

PROPOSED VOLUME COMPENSATION TRENCH, STORAGE VOLUME = 4,560 CF



1 TRENCH SECTION A-A NTS

REFER TO SHEET C0.00 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

ALL EXISTING MEASUREMENTS ELEVATIONS SHOWN ALL PLAN WHERE OBTAINED WITH THE USE OF AERIAL ORTHOMOSAIC PICTURES PRODUCT OF IMAGE COLLECTIONS BY DRONE PHOTOGRAPHY USING A DJI Mavic 2 PRO. ALL ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

Created: April 3, 2024, 9:01:46 AM, C:\01\B\24-018 USA_Mod_Pleasantdale\Civil\Engineering\Construction Plans\Drainage Plan.dwg
Saved: 7/9/2024, 5:11:13 PM, C:\01
Plotted: 7/9/2024, 5:11:57 PM, C:\01

