



Michael L. Thurmond

Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street,
Decatur, GA 30030

Wednesday, September 11, 2024

Planning Department Staff Analysis



Cedric Hudson

Interim Director

N3. Case No: A-24-1247142

Parcel ID(s): 18 233 06 033

Commission District 01 Super District 07

Applicant: **Nick Pesola**
24 Dawson Village Way South
Dawsonville, GA 30534

Owner: **CHR Homes, LLC**
2487 Cedarcrest Road
Suite 72
Acworth, GA 30101

Project Name: **2424 Nancy Lane – Home Construction**

Location: 2424 Nancy Lane, Atlanta, GA 30345

Request: Variance request from Section 27-2.1.1 and Chapter 14 of the DeKalb County Zoning Ordinance to reduce front setback and reduce stream buffer to facilitate construction of single-family residence within the R-100 (Residential Medium Lot-100) zoning district.

Staff Recommendation: Withdrawal without prejudice

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: Nick Pesola

Mailing Address: 24 Dawson Village Way South

City/State/Zip Code: Dawsonville, GA, 30534

Email: submittals@davisengineers.com

Telephone Home: 706-265-1234 Business: Davis Engineering & Surveying, LLC.

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: CHR Homes, LLC.

Address (Mailing): 2487 CEDARCREST ROAD, SUITE 72, ACWORTH, GA 30101

Email: antoinefregeolle@gmail.com Telephone Home: N/A Business: 770-733-3691

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 2424 Nancy Lane City: Atlanta State: GA Zip: 30345

District(s): 18th Land Lot(s): 233 Block: _____ Parcel: _____

Zoning Classification: R-100 Commission District & Super District: TBD

CHECK TYPE OF HEARING REQUESTED:

- VARIANCE (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
- OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.



DeKalb County
GEORGIA

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

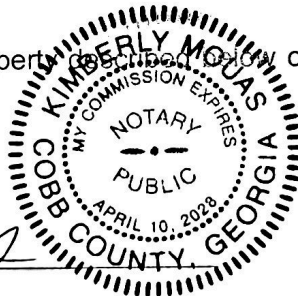
DATE: 7/23/24

Applicant/Agent Signature: [Signature]

TO WHOM IT MAY CONCERN:

(I)/ (WE): CHR Homes, LLC.
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.



Kimberly Mowas
Notary Public

[Signature]
Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature



DeKalb County
GEORGIA

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

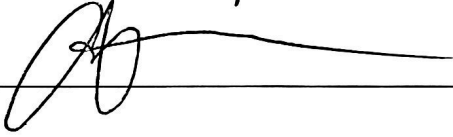
I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 7/23/24

Applicant CHR Homes, LLC. -
Signature: 

DATE: 7/23/24

Applicant
Signature: 



DAVIS ENGINEERING & SURVEYING

EST. 2009

July 23, 2024

RE: Letter of Intent – Variance Requests

To Whom It May Concern:

Thank you for taking the time to review our application. We are requesting a reduction of the 40' front setback to a 20' front setback at 2424 Nancy Lane NE, Atlanta, GA 30345. This is a request of variance from Chapter 27-4.2.2 to allow for the construction of a new single-family home. This request will work in conjunction with the stream buffer variance application, a variance through the EPD to allow for the removal of impervious surfaces from the 25' state waters buffer and a potential waiver of water quality requirements.

The property currently contains remnants of an existing residence, pool, shed, patio, concrete court and other impervious items installed prior to current buffer and stormwater ordinances. Our goal is to remove all existing improvements and construct a house as far as is reasonably practicable from the flood plain and state waters onsite. The front setback reduction allows the house to shift further up the hill away from state waters. The increase in elevation closer to Nancy Lane also allows the house to be constructed at a higher elevation than flood plain onsite. Without this variance, there is not enough usable area to redevelop this piece of property in disrepair.

We've determined that the 20' reduction is what is needed to safely allow for grading outside of the state waters buffer while still maintaining a reasonable distance from Nancy Lane. Any less, grading and proper erosion control measures during construction would become exceedingly difficult.

This variance allows this property to be redeveloped into its' original intended use which ultimately enhances the neighboring properties. It benefits the community in two main ways. First, it will increase the value of surrounding residences once a new home has been constructed. It's current condition currently has a negative impact on the neighborhood sitting in disrepair. Second, it provides more housing opportunities in a constricted market assisting in the housing shortage. We feel the proposed variances will have an added benefit to the neighborhood rather than retract from it.

The current buffers and setbacks onsite don't allow for a new residence to be constructed at 2424 Nancy Lane NE and it's zoned and sits in a neighborhood where its' only use can be to have a house on it. Without the variance, this lot is unbuildable which makes it virtually impossible to sell or use. We humbly request that you approve our request to reduce the 40' front setback to 20' as well as approve the stream buffer variance request.

As an aside, we'd like to discuss removing the existing 36" pipe that it is constricting water flow onsite. An 18" and 60" pipe choke down to this 36" which is potentially causing some of the floodplain on the property. Please reach out to discuss this measure and we can hopefully work with the EPD as will to come up with a good solution that helps the County.

Sincerely,

Nick Pesola, EIT (npesola@davisengineers.com)

SITE INFORMATION

ADDRESS: 2424 NANCY LANE NE, ATLANTA, GA 30345
 TOTAL AREA: 0.85 ACRE
 ESTIMATED DISTURBANCE: 0.33± ACRE

ZONING:
 JURISDICTION: DEKALB COUNTY
 ZONING: R-100
 SETBACKS:
 FRONT: 40'
 PROPOSED FRONT: 20'
 SIDE: 10'
 REAR: 40'
 ADJACENT ZONING: R-100

BUILDING SUMMARY:
 PROPOSED HEATED BUILDING: 3,487 S.F.
 PROPOSED BUILDING FOOTPRINT: 2,777 S.F.
 (INCLUDES DECKS, OVERHANG, STEPS)

REQUESTED ITEMS:
 - VARIANCE FROM 40' FRONT SETBACK TO 20' FRONT SETBACK
 - CONSTRUCTION WITHIN THE 75' AND 90' BUFFERS AS SHOWN ON SHEET 3 WITH CHART DISPLAYING AREA BREAKDOWN
 - ALLOWANCE TO REMOVE EXISTING IMPERVIOUS FROM WITHIN 25' STATE WATERS BUFFER
 - WATER QUALITY REQUIREMENT WAIVER DUE TO TOPOGRAPHY CONSTRAINTS AND ONSITE FLOODPLAN

DEKALB COUNTY NOTES:
 - EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED DAILY
 - CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V ON RESIDENTIAL PROJECTS AND LOTS, AND LOTS SHALL NOT EXCEED 2H:1V ON ALL OTHER PROJECTS
 - I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA," PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF THE JANUARY OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF STORM OUTFALLS AND THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NOTES PERMIT NO. GAR 10000(1,2 OR 3).
 - I CERTIFY UNDER THE PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
 - INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR 10000 (1,2 OR 3).

**SITE DEVELOPMENT PLANS FOR:
 2424 NANCY LANE NE**

ZONING: RESIDENTIAL MEDIUM LOT-100 (R-100)

PARCEL: 18-233-06-033

SITE ADDRESS: 2424 NANCY LANE NE

ATLANTA, GA 30345

LAND LOT 233

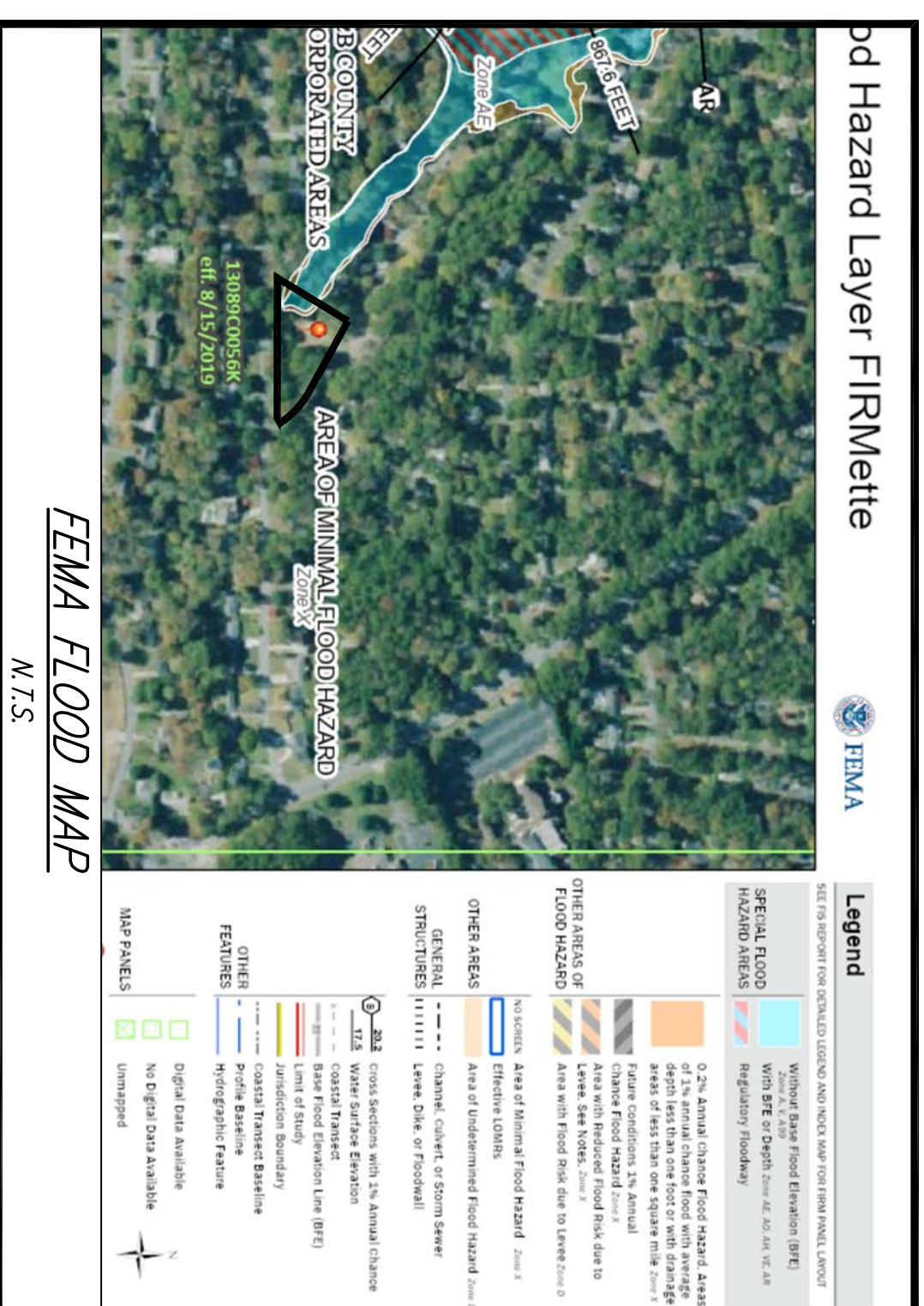
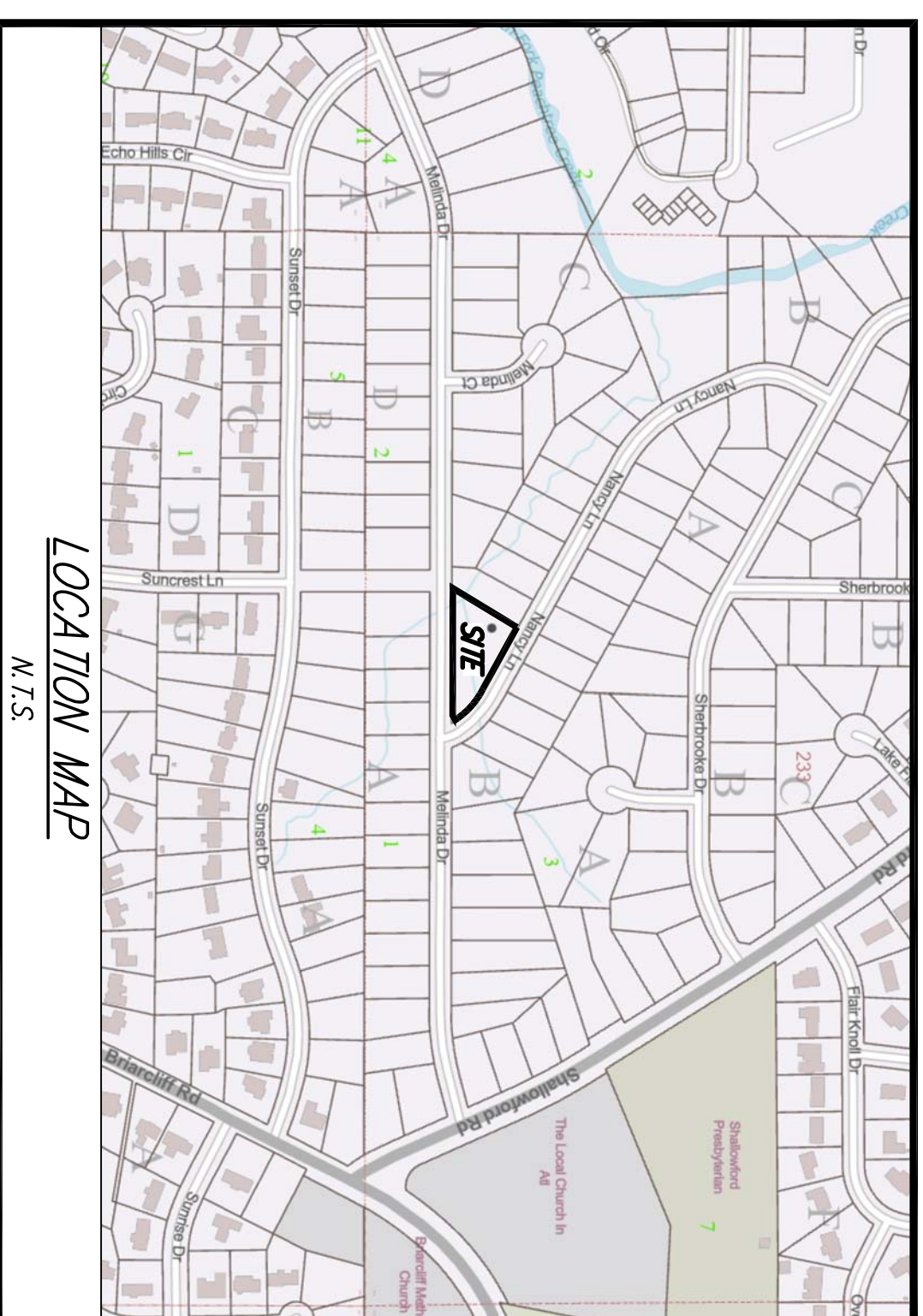
18th DISTRICT

DEKALB COUNTY, GA

TOTAL AREA: 0.85 ACRE

DISTURBED AREA: 0.33± ACRE

DES PROJECT NO. 24-135



DEVELOPMENT TEAM

CURRENT PROPERTY OWNER
 CHR HOMES LLC
 2487 CEDARCREST RD #721
 ACWORTH, GA 30011

DEVELOPER
 ANTOINE FREGOUILLE
 ADDRESS
 PHONE NUMBER
 EMAIL

CIVIL ENGINEER
 DAVIS ENGINEERING AND SURVEYING, LLC
 24 DAWSON VILLAGE WAY SOUTH
 DAWSONVILLE, GA 30534
 706-265-1234
 (770)-591-6084
 npsol@dvsengineers.com

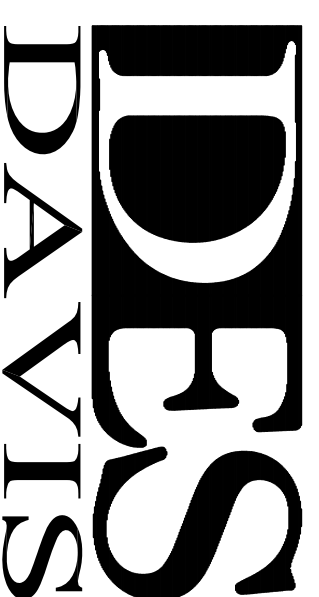
SHEET INDEX

1	COVER SHEET
2	EXISTING CONDITIONS/DEMO PLAN
3	SITE/VARIANCE PLAN
4	GRADING, DRAINAGE PLAN
5	BS&PC PLAN
6	BS&PC DETAILS

OWNER
 CHR HOMES LLC
 2487 CEDARCREST RD #721
 ACWORTH, GA 30101

24-HOUR CONTACT
 ANTOINE FREGOUILLE
 (770) 733-3691
 antoinfr@geoilc@gmail.com

PREPARED BY:



DAVISONVILLE, GA 30534
PHONE: (706) 265-1234
DAVISENGINEERS.COM



IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND REMAIN ON SITE UNTIL THE CONTRACTOR HAS BEEN ADVISED BY THE ENGINEER OF THE CORRECTIVE ACTIONS TO BE TAKEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND OTHER JURISDICTIONAL AGENCIES.



7/24/2024

REVISION	DATE	DESCRIPTION
1	7/24/2024	INITIAL SUBMITTAL

COVERSHEET
 2424 NANCY LANE
 LAND LOT 233
 18th DISTRICT
 DEKALB COUNTY, GEORGIA

DRAWN BY:	MAP
CHECKED BY:	JMO
LAND LOT:	233
DISTRICT:	18th
SECTION:	-
CITY:	-
COUNTY:	DEKALB
DATE:	7/24/2024
SHEET NO.	1 OF 6
PROJECT NO.	24-135

PROJECT INFORMATION:

CURRENTLY THIS 0.85 ACRE PROPERTY CONTAINS CONCRETE REMAINS OF A DEMOLISHED RESIDENCE WITH A CONCRETE FLOOR AND POOL WHICH SITS WITHIN THE 25 STATE WATERS BUFFER. THE PROPOSED DEVELOPMENT CONSISTS OF A NEW RESIDENCE WITH A DRIVE, DRIVEWAY, GARAGE, AND ANY OTHER NECESSARY IMPROVEMENTS A RECESS TO BAY THE FRONT SETBACK TO 20' AND A RECESS TO PLACE THE HOUSE WITHIN THE 75' AND 50' BUFFERS IS INCLUDED WITH THIS PLAN.
 ADDRESS: 2424 NANCY LANE, ATLANTA, GA
 PARCEL: 18-233-00-033
 TOTAL AREA = 0.85 ACRE
 DISTURBED AREA = 0.33 ACRE

ZONING:
 BUILDING SETBACKS & BUFFERS:
 EXISTING FRONT: 40'
 PROPOSED FRONT: 20'
 SIDE: 10'
 REAR: 40'
 BUFFERS ALONG STATE WATERS

BOUNDARY INFORMATION FROM PLAT OF SURVEY FOR 2424 NANCY LANE NE BY SURVEY SYSTEMS ATLANTA DATED 2/14/2024.

UTILITIES SHOWN HEREON ARE FROM EXISTING STRUCTURES AND ABOVE GROUND MARKS FOUND. DAVIS ENGINEERING AND SURVEYING, LLC IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES.

TOPOGRAPHIC DATA OBTAINED FROM FIELD ROW DATA COMPLETED BY SURVEY SYSTEMS ATLANTA
 CONTOUR INTERVAL = 2'

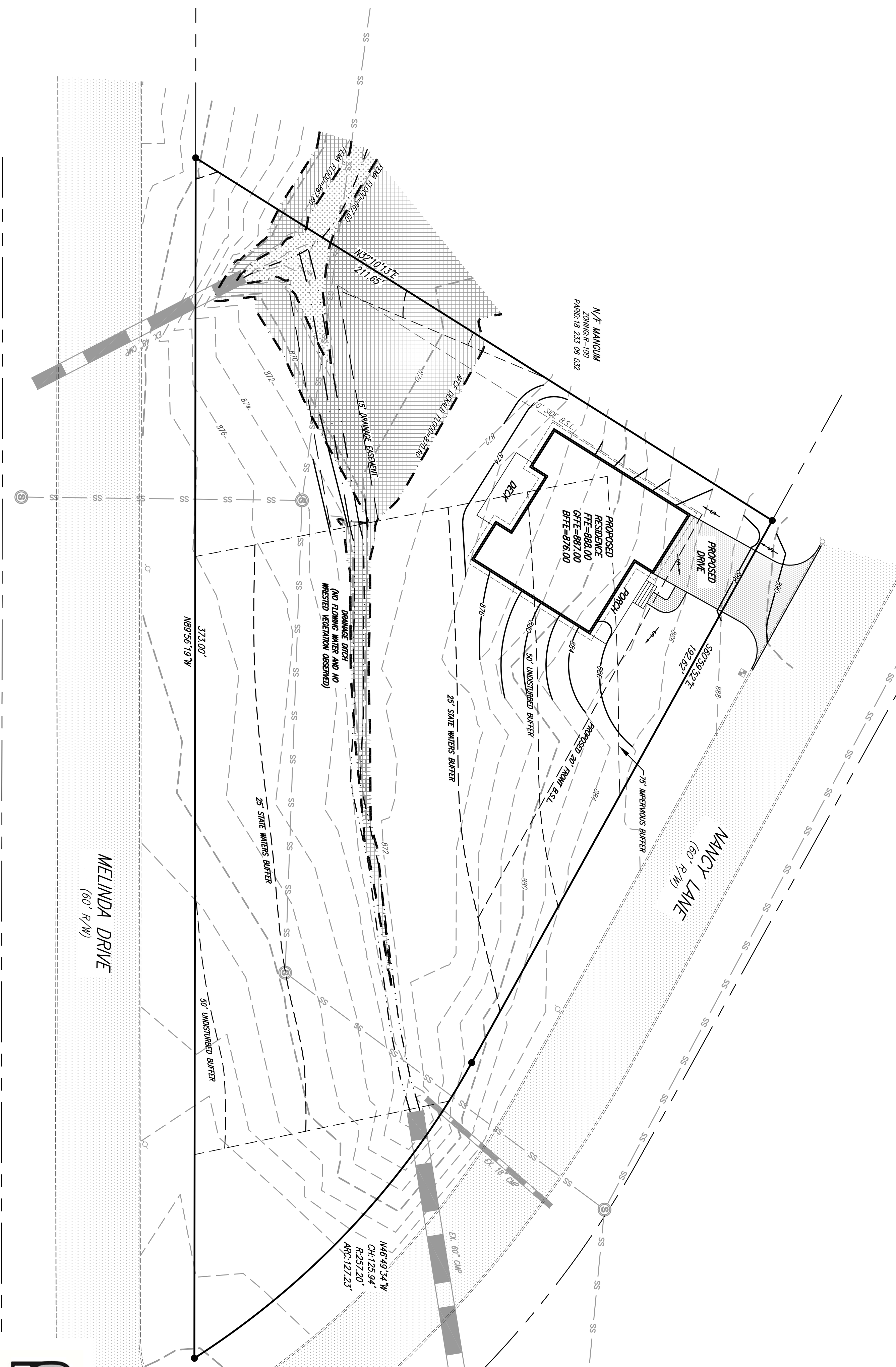
NO PORTION OF THIS SITE IS LOCATED WITHIN THE 100-YEAR FLOOD PRONE AREA AS PER FLOOD INSURANCE RATE MAP NO. 13088-0058R, DATED 8/15/2019.

GENERAL NOTES:

1. ALL CONSTRUCTION WORK, MATERIALS, AND IMPROVEMENTS AT THIS SITE SHALL CONFORM WITH **DEKALB COUNTY**, GEORGIA REQUIREMENTS.
2. ALL STRUCTURES WILL BE REQUIRED TO CONFORM TO THE STANDARD BUILDING CODES AND SPECIFICATIONS OF THE STATE OF GEORGIA AND ANY OTHER APPLICABLE AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS.
3. CONTRACTORS SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
4. ALL CONSTRUCTION STAKING ON THIS SITE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEORGIA REGISTERED LAND SURVEYOR.
5. LIMITS OF RECORD NOT SHOWN HEREON ARE EXCEPTED. WHERE FOUND PER THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT.
6. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL UTILITIES ARE AS NOTED IN THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
7. TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300' OF SITE.
8. NO MATERIAL CAN BE BURIED ON-SITE WITHOUT THE APPROVAL OF THE OWNER AND A REGISTERED PROFESSIONAL ENGINEER.
9. ALL REMOVAL SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER.
10. MAXIMUM CUT OR FILL SLOPES SHALL BE 2 HORIZONTAL: 1 VERTICAL.
11. THIS SITE **DOES NOT** CONTAIN WETLANDS.
12. EXISTING FEATURES SHOWN BY DASHED LINES OR SHADDED. PROPOSED FEATURES SHOWN BY SOLID OR BOLD LINES.
13. CONVICTION RESPONSIBLE FOR PROTECTING ADJACENT AREAS AND SHALL BE RESPONSIBLE FOR RESTORATION TO ORIGINAL CONDITION.
14. ALL HOLE PITS TO CONVICTION TO PIPE MANUFACTURER REQUIREMENTS AND GEOTECHNICAL RECOMMENDATIONS.
15. CONTRACTOR SHALL COORDINATE BUILDING CONSTRUCTION WITH ARCHITECTURAL PLANS (BY OTHERS).
16. ALL SIGNAGE AND STAMPING TO BE PROVIDED BY CONTRACTOR ACCORDING TO THE MANUAL ON URBAN TRAFFIC CONTROL DEVICES (MUTCD) AND OTHER GOVERNING MUNICIPAL STANDARDS AND SPECIFICATIONS, LATEST EDITION.
17. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THESE DRAWINGS WITH ALL COORDINATING DEPARTMENTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
18. CONTRACTOR IS TO STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER APPROPRIATELY LOCATED WITHIN THE LIMITS OF WORK SHALL BE ADJUSTED SO THAT THEIR TOP SURFACES WILL BE FLUSH WITH FINISHED GRADE.
19. ALL TEMPORARY STRIPING AND SIGNAGE NECESSARY TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC FLOW DURING CONSTRUCTION SHALL BE FURNISHED, INSTALLED, AND MAINTAINED BY THE CONTRACTOR.
20. ALL ROAD SIGNAGE AND CERTIFIED FLAGGERS SHALL BE EMPLOYED DURING ANY ROAD CLOSURE OR TRAFFIC DIVERSION.

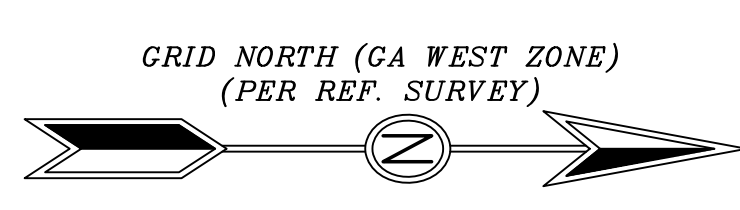
GRADING NOTES:

1. DIRT FOR FILL SHALL BE CLEAN, COHESIVE CLAY OR SANDY CLAY FREE OF DEBRIS, ORGANICS, AND DELETERIOUS MATERIAL.
2. NO CUT OR FILL SLOPES STEEPER THAN 3H:1V ARE ALLOWED.
3. ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III UNLESS OTHERWISE NOTED. ALL CORRUGATED METAL PIPE (CMP) SHALL BE 16 GAUGE MINIMUM AND ASPHALT OR ALUMINUM COATED.
4. ALL MANHOLE TOPS SHALL BE SET AT LEAST WITH FINISHED GRADE.
5. ALL EXISTING AND PROPOSED STRUCTURES SHALL BE PROTECTED FROM ANY SOIL CLASSIFICATION AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 1557) METHOD 1A. BATTERED MATERIAL SHALL BE CLEAN AND FREE OF ROOTS, ROCK OR DELETERIOUS MATERIAL. CONTRACTOR SHALL CORRECT ANY DAMAGE TO CURBS OR PAVING CAUSED BY TRENCH SETTLEMENTS WHICH OCCURS WITHIN 12 MONTHS OF PROJECT ACCEPTANCE.
6. AREAS INTENDED TO SUPPORT TRAFFIC OR NEW FILL SHALL BE PROOF ROLLED WITH A 20 TO 30 TON LOADED TRUCK OR OTHER PNEUMATIC-TYRED VEHICLE OF SIMILAR SIZE AND WEIGHT IN THE PRESENCE OF A GEOTECHNICAL ENGINEER TO LOCATE WEAK, SOFT, OR EXCESSIVELY WET MATERIALS. AREAS WHICH PUMP WHILE PROOF ROLLED SHALL BE UNDERCUT AND BACK-FILLED AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
7. CRUSHED STONE AGGREGATE (CSA) IN ROADWAY/PARKING AREAS SHALL CONFORM WITH SECTION 815 OF THE STATE OF GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL ASPHALT MATERIAL AND PAVING OPERATIONS SHALL MEET APPLICABLE SPECIFICATIONS OF THE ASPHALT INSTITUTE AND GEORGIA DEPARTMENT OF TRANSPORTATION.
8. ALL EXISTING AND PROPOSED STRUCTURES SHALL BE PROTECTED FROM ANY DAMAGE TO CURBS OR PAVING CAUSED BY TRENCH SETTLEMENTS WHICH OCCURS WITHIN 12 MONTHS OF PROJECT ACCEPTANCE.
9. ALL EXISTING AND PROPOSED STRUCTURES SHALL BE PROTECTED FROM ANY DAMAGE TO CURBS OR PAVING CAUSED BY TRENCH SETTLEMENTS WHICH OCCURS WITHIN 12 MONTHS OF PROJECT ACCEPTANCE.
10. CONTRACTOR SHALL CLEARLY MARK AND MAINTAIN PROPERTY CORNER MONUMENTS AND BENCHMARKS AND IS RESPONSIBLE FOR THE COST OF REPLACEMENT IF DISTURBED. THE CONTRACTOR IS ALSO ADVISED TO PROTECT ALL ADJACENT LANDS FROM DAMAGE AND WILL BE RESPONSIBLE TO RETURN ANY DISTURBED OFF-SITE AREAS TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.
11. ALL NECESSARY PERMITS FOR DEMOLITION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK.
12. ALL STRUCTURES TO BE DEMOLISHED SHALL BE COMPLETELY REMOVED ABOVE AND BELOW GRADE INCLUDING APPLICABLE SERVICE LINES.
13. STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.



LEGEND

○	POWER POLE (PP)	○	CURB AND OUTLET
□	HIGH POINT	—	ROCK FILL LINE
△	DRAINAGE BAY	—	FESS, FILL AND SHREY SECTION
□	OUTLET CONTROL STRUCTURE	—	POINT OF CHANGE
□	DOUBLE WING CATCH BASIN	—	OUTLET CONTROL STRUCTURE
□	HEADWALL	—	ELEVATION
□	REINFORCED CONCRETE PIPE	—	RIGHT OF WAY
□	CORRUGATED METAL PIPE	—	LAND LOT LINE
□	HIGH DENSITY POLYETHYLENE	—	CONCRETE
□	TEMPORARY BENCHMARK	—	VEGETATIVE BUFFER
□	EXISTING	—	WETLINE
□	PROPOSED	—	
□	FIRE HYDRANT	—	
□	WATER METER	—	
□	LEAKAGE FEET	—	
□	DOCTILE FIBER OPTIC	—	
□	PAVING	—	
□	FINISH FLOOR ELEVATION	—	

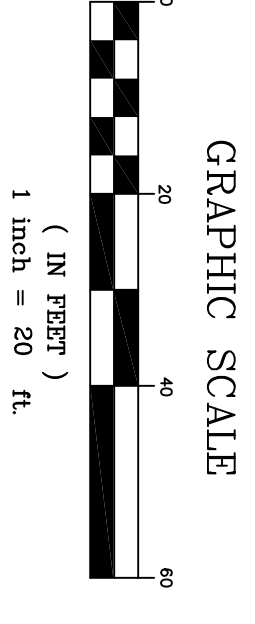


OWNER
 CHR HOMES LLC
 2487 CEDARCREST RD #721
 ACWORTH, GA 30101

24-HOUR CONTACT
 ANTOINE FREGOILLE
 (770) 733-3691
 antoinefregolle@gmail.com



IF ANY CONTRACTORS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONTRACTOR, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.



REVISION	DATE	DESCRIPTION
1	7/24/2024	INITIAL SUBMITTAL

7/24/2024

IDEAS DAVIS
 ENGINEERING & SURVEYING
 24 DAVISON VILLAGE
 WAY SOUTH
 DAVISONVILLE, GA 30034
 DAVISENGINEERS.COM

Professional Engineer Seal for Antoine Fregolle, License No. 14509, State of Georgia.

GRADING PLAN
 2424 NANCY LANE
 LAND LOT 233
 18th DISTRICT
 DEKALB COUNTY, GEORGIA

DRAWN BY:	MP
CHECKED BY:	JMO
LAND LOT:	233
DISTRICT:	18th
SECTION:	-
CITY:	-
COUNTY:	DEKALB
DATE:	7/24/2024
SHEET NO.	4 of 6
PROJECT NO.	24-135

Ds3 DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

SPECIES	RATE PER 1,000 SQ FT	RATE PER ACRE	PLANTING DATES			N TOP-DRESSING RATE	N TOP-DRESSING RATE
			Pre-Drill	Coastal	Fertilizer		
WEEDING LOWGRASS	0.1 lbs.	4 lbs	3/15-6/15	2/1-6/15	FIRST	0	10
VIROATA OR SERFICA LESPEDEZA	1.4 lbs.	40 lbs	3/15-6/15	3/1-6/15	SECOND	0	10
SERFICA LESPEDEZA SEEDBEARING HAY	1.8 lbs.	3 tons	10/1-3/1	10/15-2/1	FIRST	6	12
OVERSEED WEEDING LOWGRASS	0.05 lbs.	2 lbs	3/15-6/15	2/1-6/15	SECOND	0	10
HULLED COMMON BERMOUDAGRASS	0.2 lbs.	10 lbs	3/15-6/15	2/15-6/15	FIRST	6	12
SERFICA LESPEDEZA	1.4 lbs.	60 lbs	3/15-6/15	3/1-6/15	SECOND	0	10
UNHULLED COMMON BERMOUDAGRASS	0.2 lbs.	10 lbs	10/1-3/1	11/1-2/1	FIRST	6	12
VIROATA OR SERFICA LESPEDEZA	1.4 lbs.	40 lbs	3/15-6/15	3/1-6/15	SECOND	0	10
SEED HAY	140 lbs.	3 tons	10/1-3/1	10/15-2/1	FIRST	0	10
TALL FESCUEGRASS	1.1 lbs.	50 lbs	8/15-11/1	2/15-6/1	FIRST	6	12
AND CLEAN COMBINE PUN VIROATA OR SERFICA LESPEDEZA	1.4 lbs.	40 lbs	3/15-6/15	3/1-6/15	SECOND	0	10
HULLED COMMON BERMOUDAGRASS	0.2 lbs.	10 lbs	3/1-7/1	2/15-7/1	FIRST	6	12

1. REDUCE SEEDING RATES BY 50% WHEN DRILLED.
* FERTILIZER/N TOP-DRESSING RATES INDICATED ARE IN LBS./ACRE.

NOTE: GRASS STRAW OR GRASS HAY SHALL BE SPREAD AS A BEDDING MATERIAL FOR ALL PERMANENTLY GRASSSED AREAS AT A MINIMUM DEPTH OF 4" TO 6". PINE NEEDLES MAY BE SUBSTITUTED AT A MINIMUM DEPTH OF 3" TO 5".
NOTE: AGRICULTURAL LIME IS REQUIRED FOR ALL GRADED AREAS AT THE RATE OF ONE TO TWO TONS PER ACRE UNLESS SOIL TESTS DETERMINE OTHERWISE.

Ds1 DISTURBED AREA STABILIZATION
(WITH MULCHING ONLY)

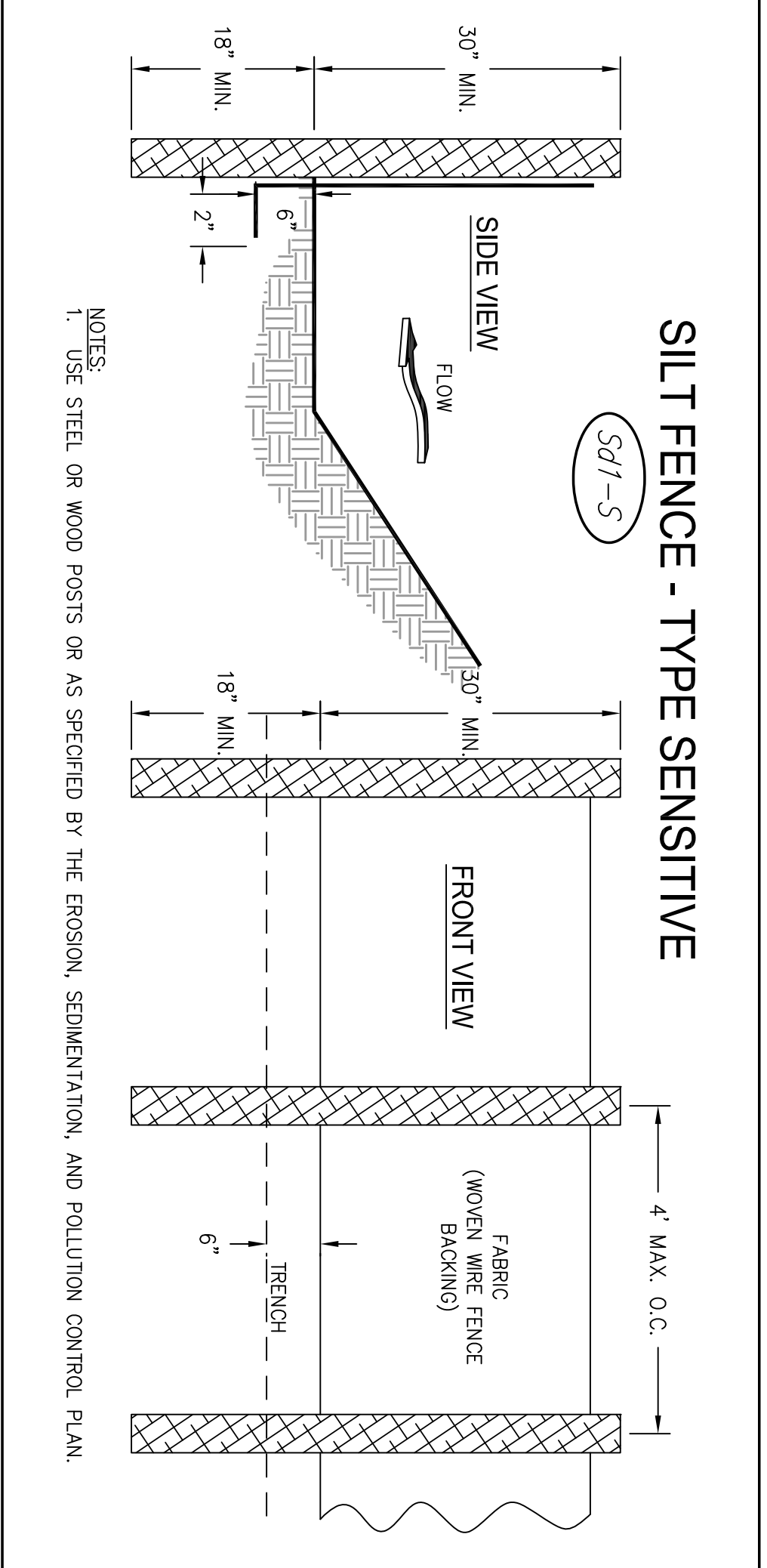
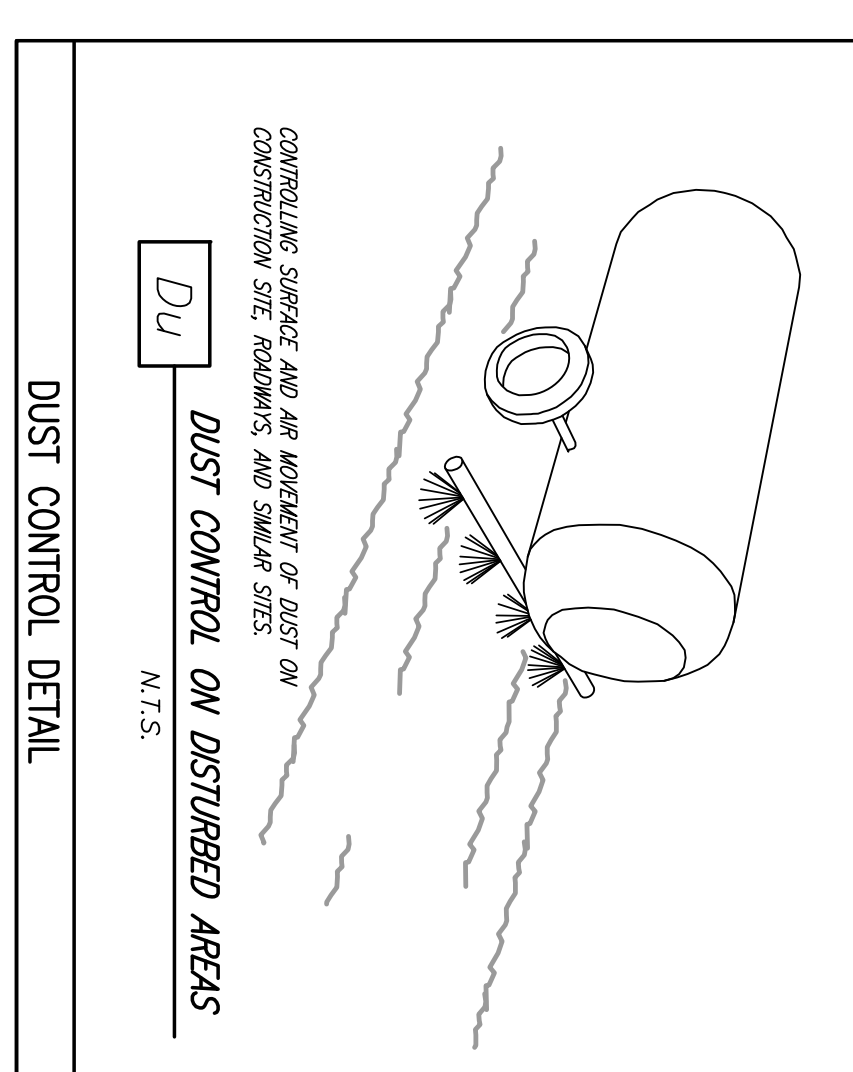
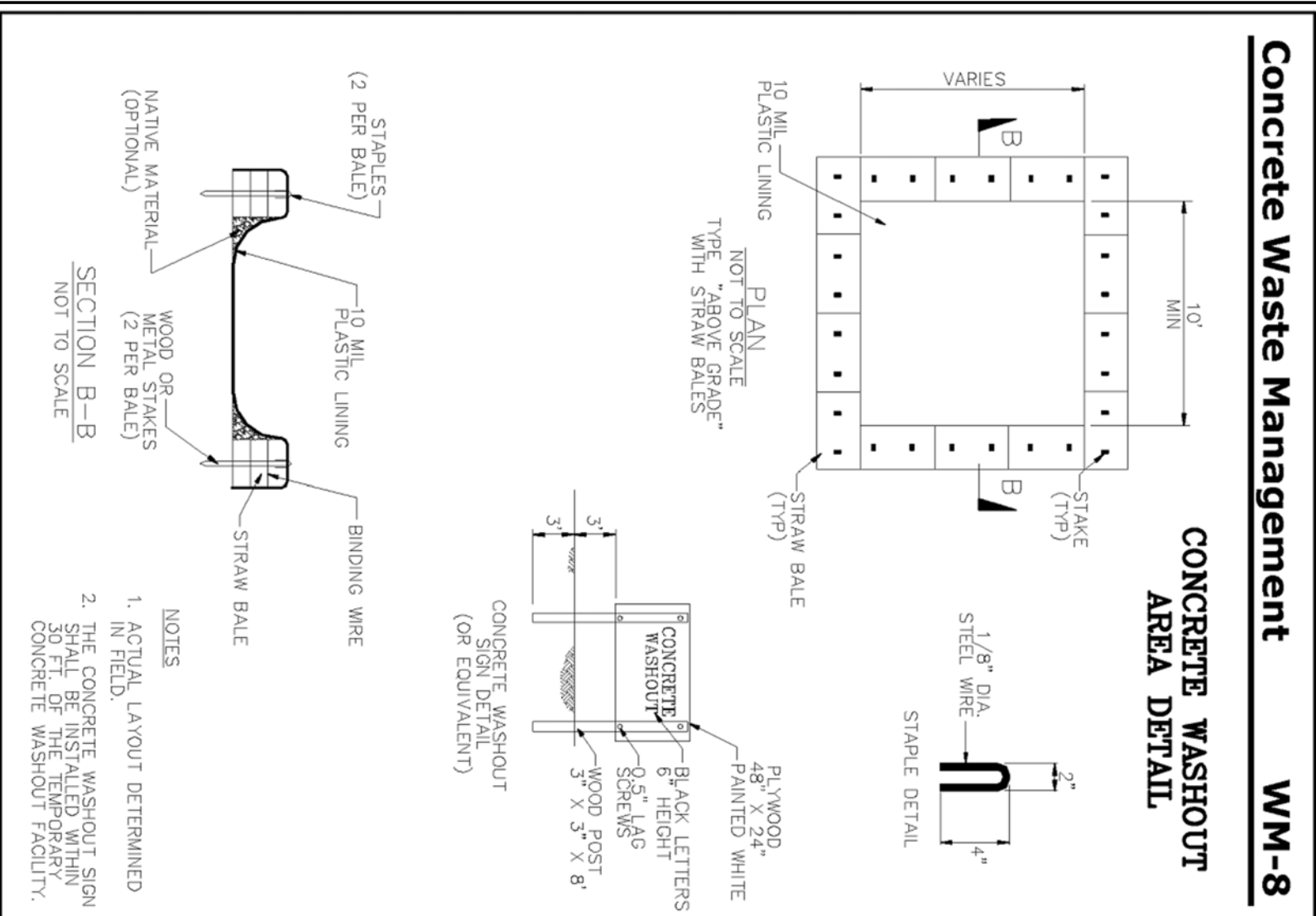
MATERIAL	RATE
STRAW OR HAY	2-4" DEEP
WOOD WASTE CHIPS, SAW DUST OR BARK	2-3" DEEP/ABOUT 6-9 TONS/ACRE
MATTING OR NETTING	ACCORDING TO MANUFACTURERS RECOMMENDATIONS
CUTBACK ASPHALT	{ 200 GALLONS/ACRE (CONCRETE) / 1/4 GAL./SQ YD (COVER AREA)
POLYETHYLENE FILM	COVER AREA

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDINGS)

SPECIES	RATE PER 1,000 SQ FT	RATE PER ACRE	PLANTING DATES			N TOP-DRESSING RATE	N TOP-DRESSING RATE
			Pre-Drill	Coastal	Fertilizer		
RYE	3.9 POUNDS	3 bu.	7/15-12/1	8/15-1/1	9/1-3/1		
ANNUAL RYEGRASS	0.9 POUNDS	1/2 bu.	8/1-5/1	8/1-4/15	8/15-4/1		
ANNULAR LESPEDEZA (IN MATRES)	0.2 POUNDS	40 lbs.	2/1-5/1	2/15-5/1	1/15-3/15		
WEEDING LOWGRASS (IN MATRES)	0.1 POUNDS	4 lbs.	3/15-6/15	3/15-6/15	2/15-6/15		
SUDANGRASS	1.4 POUNDS	60 lbs.	4/1-9/1	4/1-9/1	3/1-8/1		
BROWNTOP	0.9 POUNDS	40 lbs.	4/1-9/1	4/1-9/1	3/1-8/1		
MILLET	0.2 POUNDS	10 lbs.	4/1-7/15	4/1-7/15	3/1-8/1		
WHEAT (IN MATRES)	0.7 POUNDS	3 bu.	9/1-1/1	9/1-1/1	9/15-2/1		

1. TEMPORARY COVER CROPS ARE VERY COMPETITIVE AND WILL GROW OUT PERENNIALS IF SEEDED TOO HEAVILY.
2. REDUCE SEEDING RATES BY 50% WHEN DRILLED.

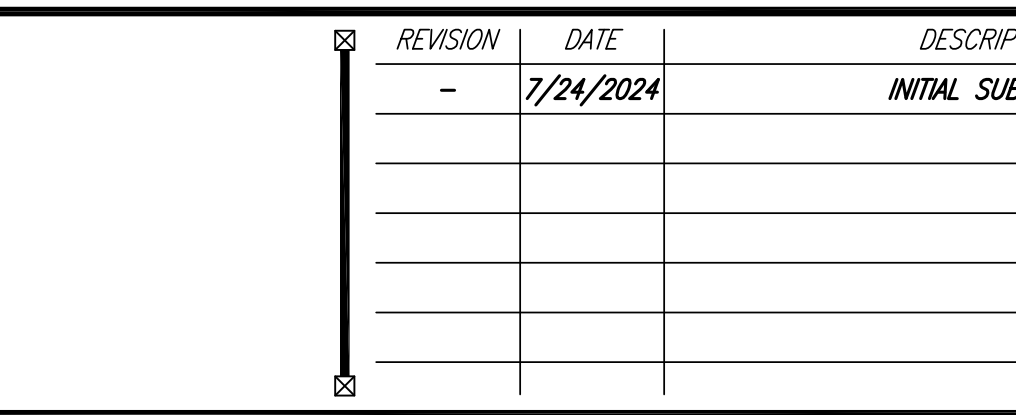
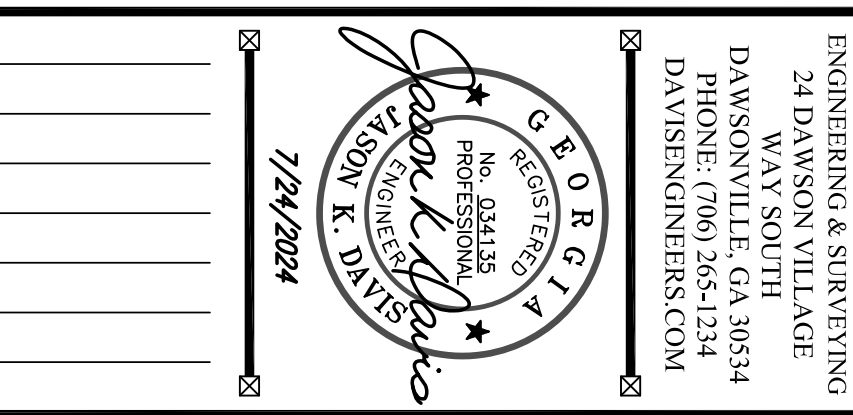
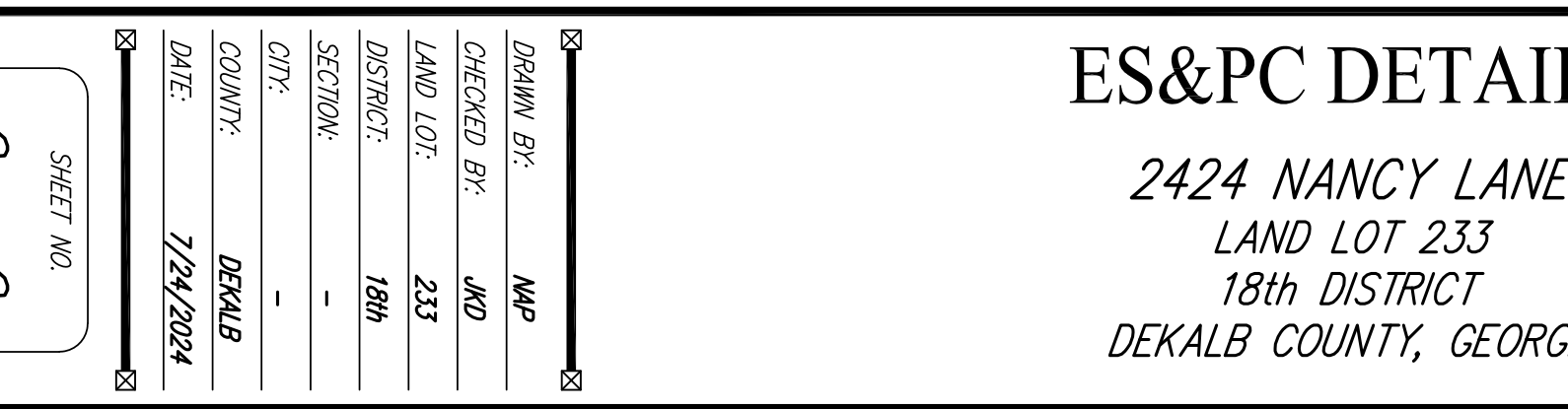
TEMPORARY CONSTRUCTION EXIT DETAIL



EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST

NO.	DESCRIPTION	STATUS
1	Use of stormwater BMP for application to the Equivalent BMP List. Please refer to Appendix A.7 of the Manual for Erosion & Sediment Control in Georgia 2018 Edition.	N/A
2	Use of stormwater BMP for application to the Equivalent BMP List. Please refer to Appendix A.7 of the Manual for Erosion & Sediment Control in Georgia 2018 Edition.	N/A
3	Use of stormwater BMP for application to the Equivalent BMP List. Please refer to Appendix A.7 of the Manual for Erosion & Sediment Control in Georgia 2018 Edition.	N/A
4	Use of stormwater BMP for application to the Equivalent BMP List. Please refer to Appendix A.7 of the Manual for Erosion & Sediment Control in Georgia 2018 Edition.	N/A
5	Use of stormwater BMP for application to the Equivalent BMP List. Please refer to Appendix A.7 of the Manual for Erosion & Sediment Control in Georgia 2018 Edition.	N/A
6	Use of stormwater BMP for application to the Equivalent BMP List. Please refer to Appendix A.7 of the Manual for Erosion & Sediment Control in Georgia 2018 Edition.	N/A
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13	Use of stormwater BMP for application to the Equivalent BMP List. Please refer to Appendix A.7 of the Manual for Erosion & Sediment Control in Georgia 2018 Edition.	N/A
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TEMPORARY CONSTRUCTION EXIT DETAIL



ES&PC DETAILS
2424 NANCY LANE
LAND LOT 233
18th DISTRICT
DEKALB COUNTY, GEORGIA

REVISION	DATE	DESCRIPTION
1	7/24/2024	INITIAL SUBMITTAL

DRAINING BY:	MP
CHECKED BY:	JMO
LAND LOT:	233
DISTRICT:	18th
SECTION:	-
CITY:	-
COUNTY:	DEKALB
DATE:	7/24/2024

SHEET NO.	6 OF 6
PROJECT NO.	24-135

IDES DAVIS ENGINEERING & SURVEYING
24 DAVSON VILLAGE
WAY SOUTH
DAVSONVILLE, GA 30034
PH: 770-426-1100
DAVSONENGINEERS.COM

7/24/2024

ES&PC
2424 NANCY LANE
LAND LOT 233
18th DISTRICT
DEKALB COUNTY, GEORGIA