

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: Candler Mansion - 1256 Briarcliff Road, Atlanta, GA

Applicant: Karen Gravel for Galerie Living E-Mail: karen.gravel@lordaecksargent.com

Applicant Mailing Address: 1175 Peachtree Street NE, Atlanta, GA 30361

Applicant Phone: 404-253-6703 Fax: _____

Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other

Owner(s): Sara Lu, AVP for Real Estate, Emory University Email: sara.lu@emory.edu

Owner(s): _____ Email: _____

Owner(s) Mailing Address: 100 Water Tower Place, Atlanta GA 30322

Owner(s) Telephone Number: 404-727-8439

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project:
1922

Nature of work (check all that apply):

New construction Demolition Addition Moving a building Other building changes New accessory building Landscaping Fence/Wall Other environmental changes Sign installation or replacement Other

Description of Work:

The Candler Mansion will be restored to the period that the Asa Candler family built, added on to and lived in the house between 1922-1949. The rehabilitation will focus on restoring the exterior elements including historic windows, roof, woodwork and masonry. The interior rooms will be rehabilitated to include restored finishes, new mechanical systems and new electrical systems. In order to provide accessibility to the entire house a new elevator to all floors will be installed, a new lift inserted into an exterior open space and another lift added to the rear of the building. The home is comprised of multiple levels, so the insertion of these lifts will be made as discretely as possible. All efforts will be made to retain as much historic fabric as possible, restore all rooms and integrate systems covertly using the basement and attic spaces as much as possible.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____

Karen Gravel

Digitally signed by Karen Gravel
DN: E=Karen.Gravel@lordaecksargent.com,
OU=Karen Gravel, OU=Atlanta, OU=LAS-Users,
DC=lordaecksargent, DC=Internal
Reason: I agree to the terms defined by the
placement of my signature on this document
Date: 2023.09.21 14:17:37-0400

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: Sara Lu, on behalf of Emory University

being owner(s) of the property at: 1260 Briarcliff Road NE, Atlanta Georgia 30306

hereby delegate authority to: Karen Gravel for Galerie Living

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): 

Date: 09/21/2023

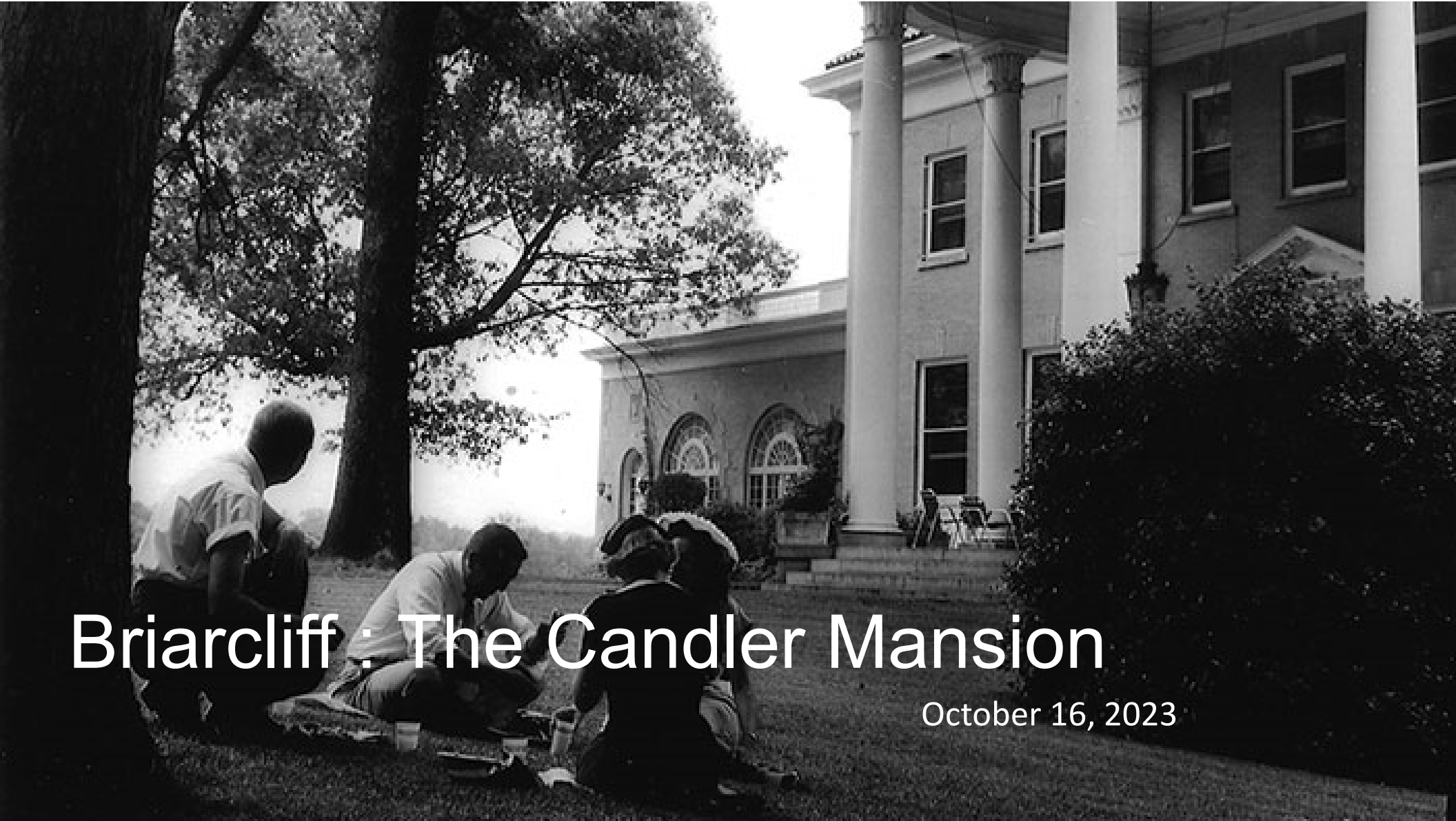
Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.



Briarcliff : The Candler Mansion

October 16, 2023

Design and Preservation Approach

Restore Briarcliff – The Candler Mansion exterior to the period of the Candler occupancy – 1949.

Rehabilitate the interior of the mansion to accommodate a new event facility that is congruent with the historic layout and character of the house.

1922-25: Original House

1920-1922 - Original Mansion constructed on 40 + acres on Williams Mill Road. Road later renamed after this “Briarcliff Estate” built by Asa Candler.

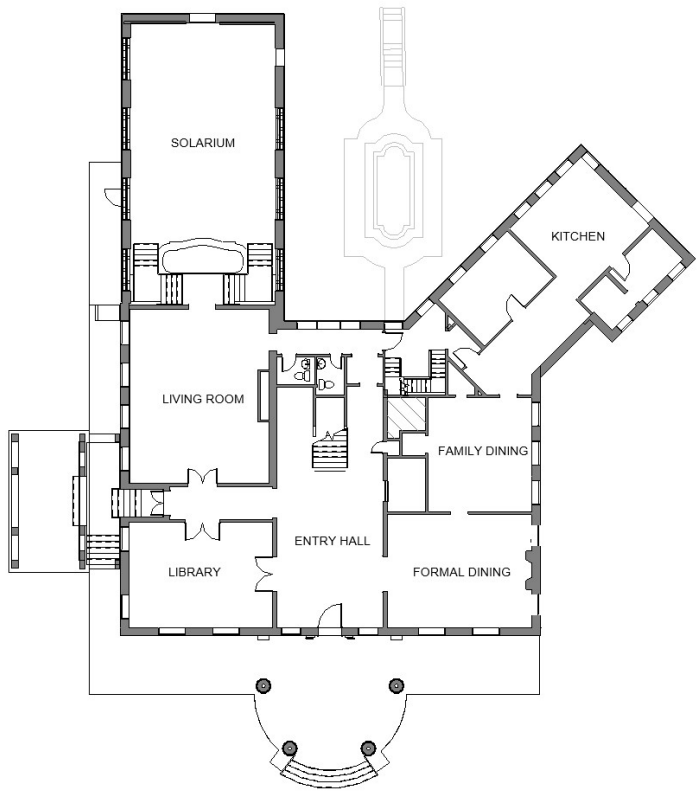
Constructed with load bearing masonry walls and concrete floor structure faced with a buff brick, limestone detailing and a granite foundations.

Originally had a green glazed clay tile roof (similar to the Garden House) which would have been a significant style defining feature of the house.

- The First Floor: Family and entertaining spaces including the Solarium with its vaulted ceilings and an interior fishpond.
- The Second Floor: Seven bedrooms and six bathrooms.
- The Third Floor: Ballroom, accessed by stairs. Staff Spaces
- The Carriage House and Greenhouses: Included in the original construction.



1922-25: Original House







1925-48: Candler Additions

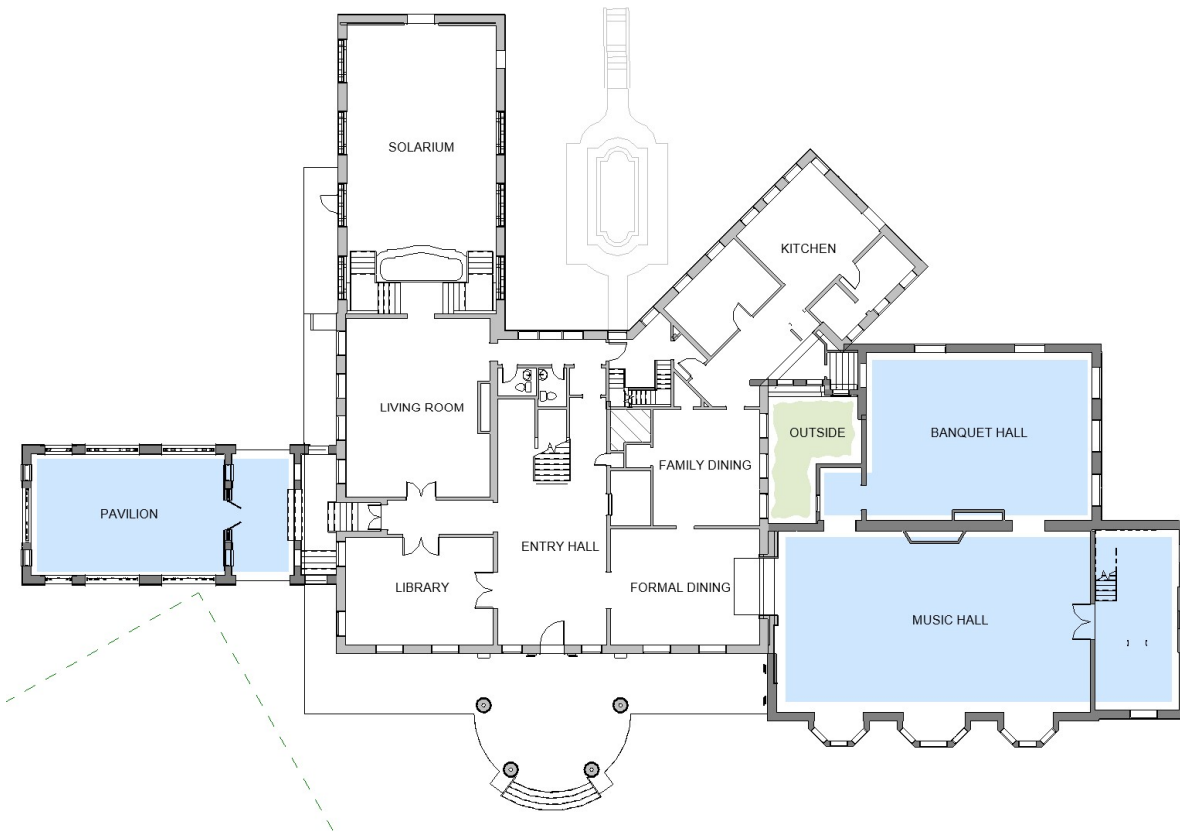
1924 Summer Pavilion constructed for wedding of oldest daughter Lucy. Originally open air, enclosed later (date unknown) by the Candler's.

1925 Music Hall and Banquet Hall Addition completed . The 1,700 square foot music hall, with its three-story-tall vaulted Tudor interior and limestone fireplace contained the largest privately owned Aeolian organ in Ga at the time.

Large dining room had a stained wood paneled ceiling with ornamental moldings and a fireplace of carved white European marble.

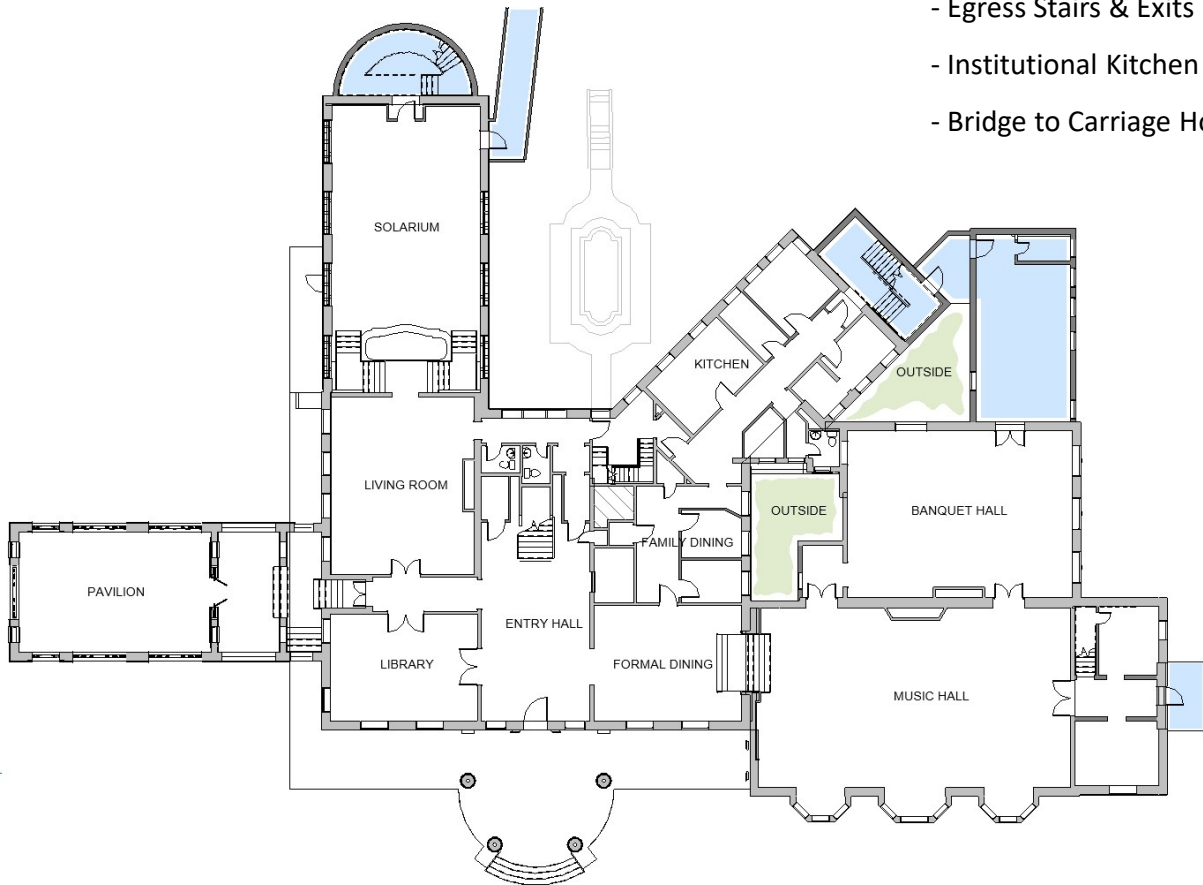


1925-48: Candler Additions





1948-98: Institutional Era



- Egress Stairs & Exits
- Institutional Kitchen
- Bridge to Carriage House



Character Defining Features

Exterior

- Brick and Stone
- Windows and Doors
- Configuration of Main Elevations
- Roof
- Columns and Cornice
- Site Features

Interior

- Volumes and original composition of main spaces
- Size and orientation of secondary rooms
- Finishes
- Stairs
- Fireplaces
- Paneling

Condition - Structure

STRUCTURE

Masonry and Concrete Structure: No cracking, leaning, or other evidence of failures of the structure were observed. Investigative demolition thru damaged finishes and cores thru the structure at the locations of water damage should be performed to verify the integrity of these areas.

Wood Roof Structure: At the house, localized areas of damage caused by water infiltration exist and will need to be repaired. Extensive damage has occurred at the Carriage House Roof.



Condition - Exterior

EXTERIOR - MATERIALS

Masonry: Minor repointing and brick/stone replacement needed. At the tile porches & walkways much of the perimeter stone edge needs to be removed and reset.

Woodwork: Portions of all exposed woodwork have deteriorated. Substantial portions of the wood cornices have deteriorated. Removal and reconstruction with matching wood or composition materials will be needed. All exterior woodwork to remain should receive extensive paint preparation before repainting.



Condition - Exterior

EXTERIOR – WINDOWS

Original Wood Windows: Wood windows are largely intact with only minor areas of decay observed. Some openings have been damaged by vandalism and building stabilization measures. Approximately 75% of glass needs to be replaced.

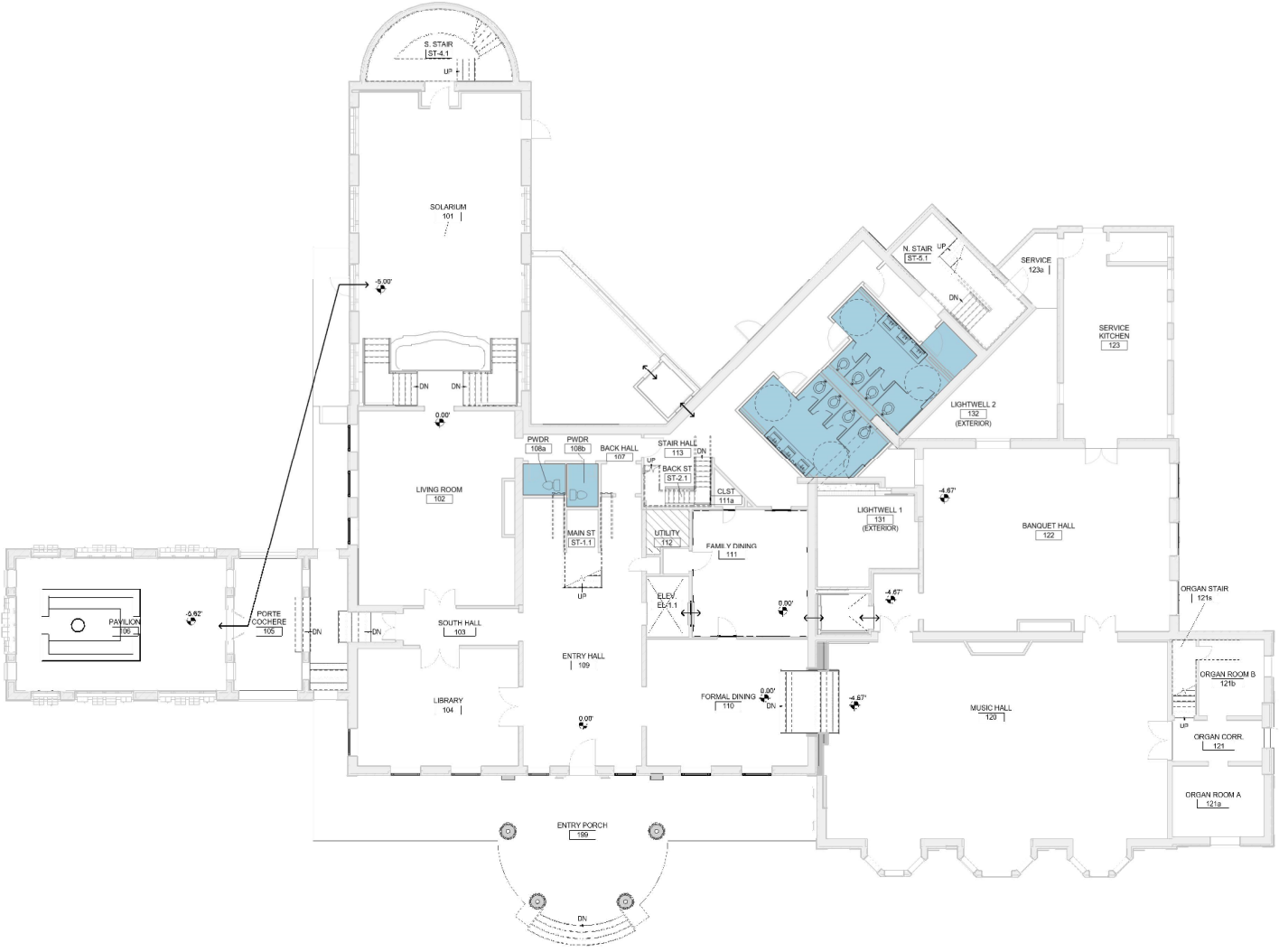
Original Steel Windows: The steel window systems at the Summer Pavilion and Music Hall/Banquet Hall addition appear to be in good enough condition that they can be stripped, repaired and remain in place. Full glass replacement should be anticipated as part of the restoration of these windows.

Replacement Windows: Non-conforming replacement windows should be removed and replaced with historically accurate windows as part of the rehabilitation.



First Floor

RESTROOMS

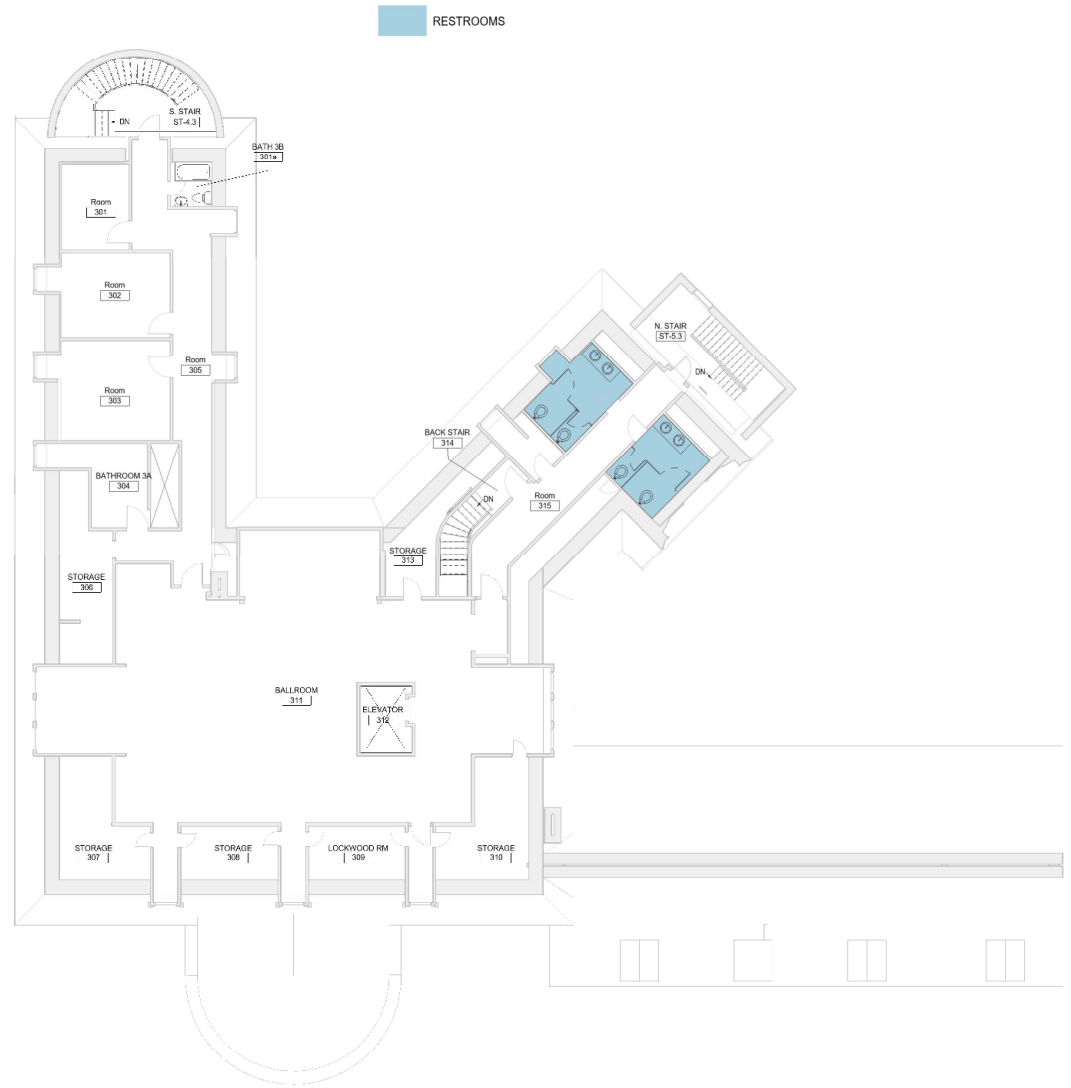


Second Floor




RESTROOMS



Third Floor



Accessibility

-  FLOORS: BASEMENT, FIRST, SECOND, THIRD.
-  FLOORS: FIRST, MUSIC HALL LEVEL
-  FLOORS: BASEMENT, FIRST, SOLARIUM LEVEL



Basement

Accessibility

- FLOORS: BASEMENT, FIRST, SECOND, THIRD.
- FLOORS: FIRST, MUSIC HALL LEVEL
- FLOORS: BASEMENT, FIRST, SOLARIUM LEVEL

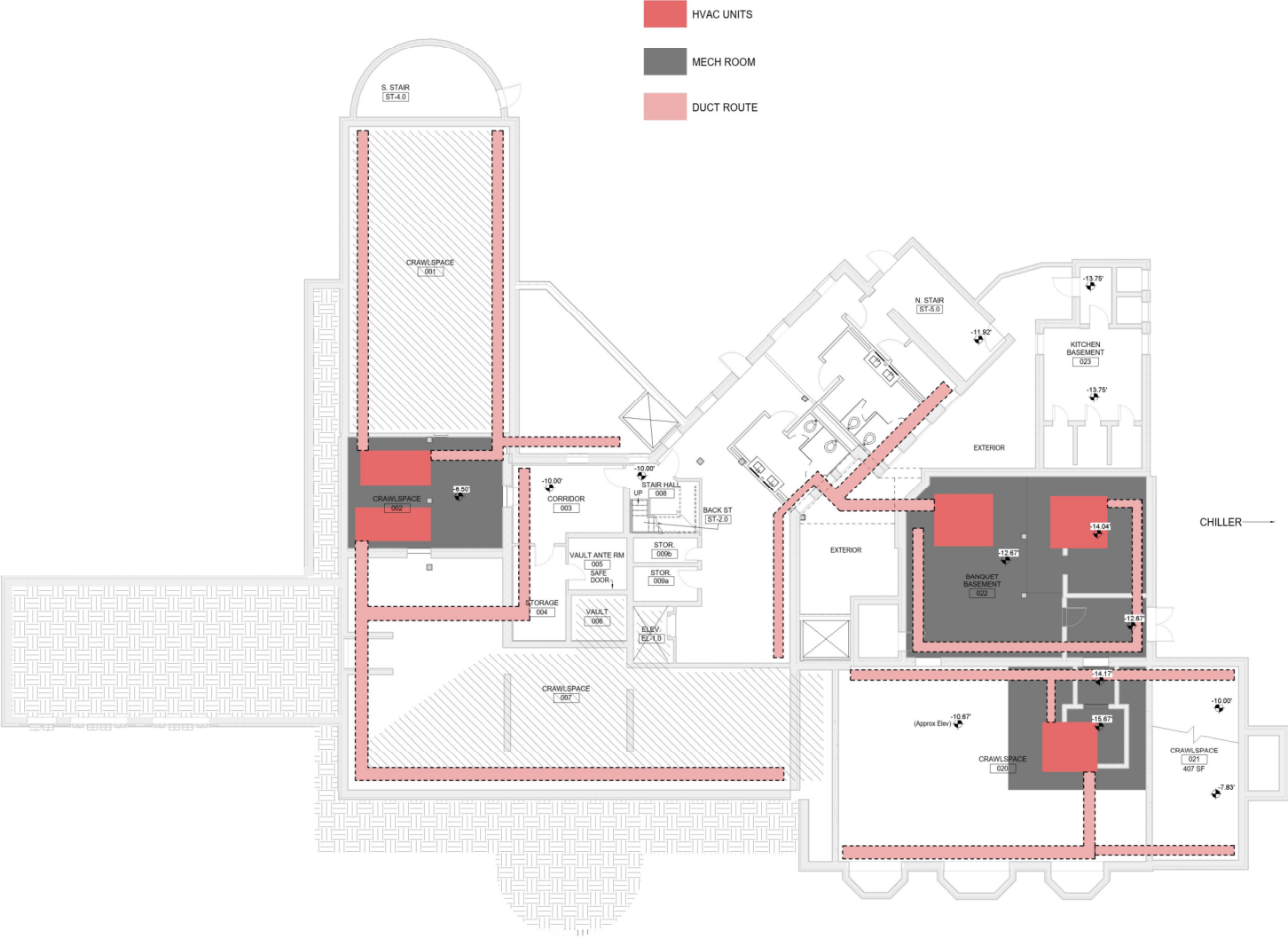


First Floor





Systems



Basement

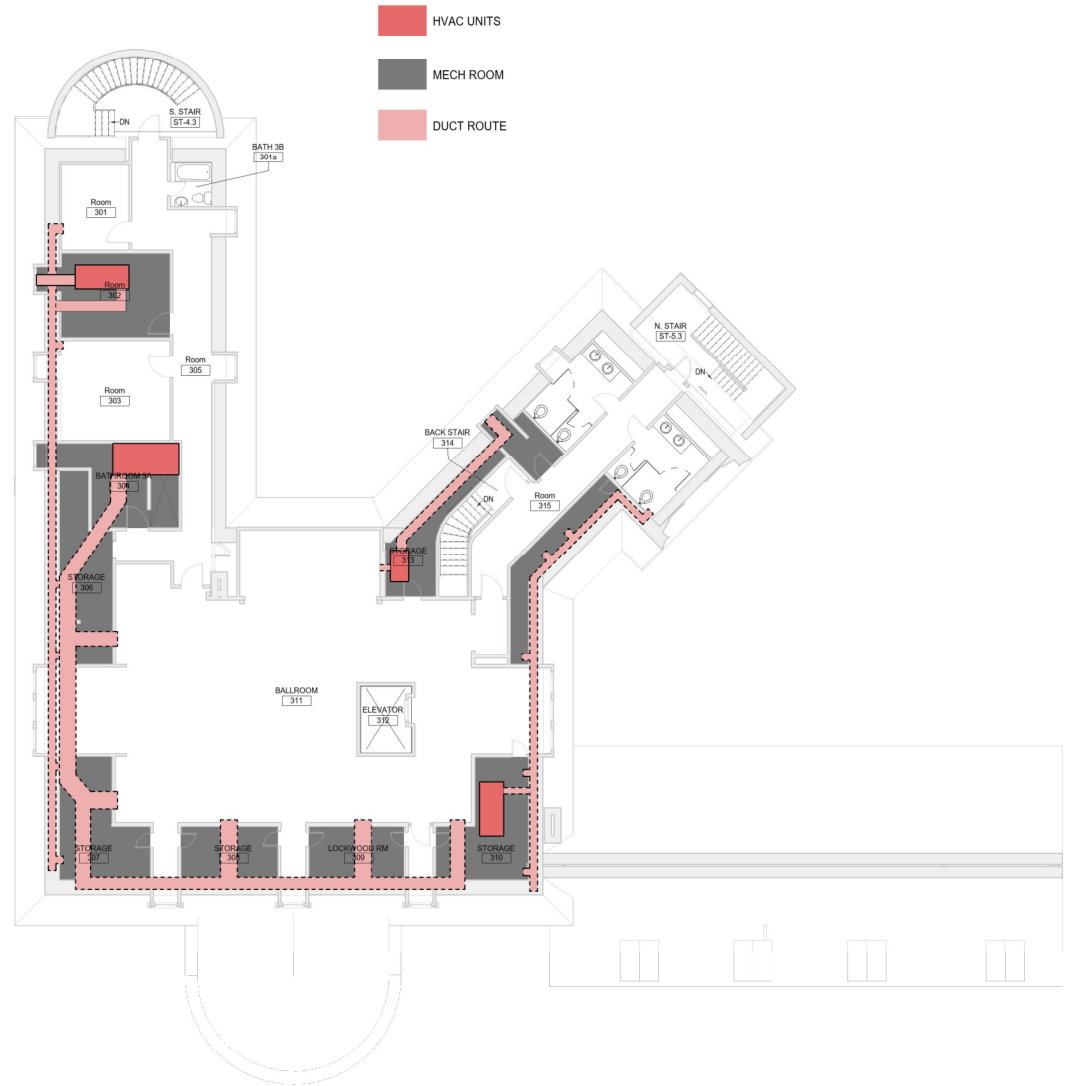
Systems

- HVAC UNITS
- MECH ROOM
- DUCT ROUTE



Second Floor

Systems



Third Floor







Candler Mansion – Photo Documentation



IMG EX1-1: Northeast portion of the Candler Mansion outside of the service kitchen. Overgrowth in the back.



IMG EX1-2: Banquet Hall with large steel windows only present on the Northeast addition of the house.



IMG EX1-3: Both the Banquet Hall and Service Kitchen addition shown together.



IMG EX1-4: Organ Room addition along with Music Room behind.

Candler Mansion – Photo Documentation



IMG EX2-1: Northwest courtyard on the back of house. Broken windows are to be fixed, and the bridge the carriage house is to be removed. This is the location of the new addition to the house which includes a new elevator.



IMG EX2-2:



IMG EX2-3: Boarded up windows cover the East Wing of the Candler Mansion, largely protecting the broken windows that lie behind.



IMG EX2-4: Closer look at the Solarium half circle stair addition as well as the addition of the bridge that connects to the Carriage House.



Candler Mansion – Photo Documentation



IMG EX3-1: Southeast view of the arched windows only present in the Solarium. Door will be inserted onto closest window per ADA requirements.



IMG EX3-2: Arched Porte Cochere leading from the Side Hall into the Pavilion.



IMG EX3-3: South Stair addition onto Solarium.



IMG EX3-4: Jack arch windows in the children's rooms above the Solarium. Brick on Southeast side is largely in good condition.

Candler Mansion – Photo Documentation



IMG EX4-1: South angle approaching the Candler Mansion.



IMG EX4-2: Boarded up, damaged windows of the Music Room.



IMG EX4-3: Detailed trim of brick-filled door that leads to nothing on the interior side. Trim needs repair.



IMG EX4-4: Entry patio for main door. Column bases need to be addressed.



IMG EX5-1: Typical arched window lining the Solarium.



IMG EX5-2: Steel window and panel insertion in the Banquet Hall showcasing the material specificity in the addition on the mansion's north side.



IMG EX5-3: Stone base moving from logical to random pattern on the north side.



IMG EX5-4: Dormer type above the music hall. Other dormers on the third floor are similar but with arched trim.



IMG EX5-5: Corner of entry patio containing many typical materials used extensively around the Candler Mansion.



IMG EX6-1: Extensive overgrowth around the exterior. Here seen in Lightwell Two.



IMG EX6-3: Crumbling wood on the top corner of a jack arched window.



IMG EX6-5: Broken steel window on the Organ Room; typical for many steel and wood windows around the property.



IMG EX6-4: Deteriorating roof trim on west side of mansion.



IMG EX6-6: Stone retaining wall breaking away from tile walkway; needs to be redone.

Candler Mansion – Photo Documentation



IMG CH1-1: East facing, front portion of Carriage House. Deteriorating roof trim and paneling need to be fixed.



IMG CH1-3: Connection point between bridge from Solarium to second floor. Previous entry below now boarded up.



IMG CH1-4: West side entry to basement which contains many examples of deterioration. There is a large topographical change in this area.



IMG CH1-2: North side with stairway down to back of Carriage House. Replace door with window matching adjacent.



IMG CH1-5: Bridge connection from Main House to Carriage House which is to be demolished.





IMG CH2-1: Typical size of brick in both the Main House and Carriage House.



IMG CH2-2: Close up of stone on Carriage House with fixture and pipe running along. Original fixtures are going to be maintained in restoration.



IMG CH2-3: Garage door trim connection with brick arch leading into stone base.



IMG CH2-4: Corner where deteriorating paneling connects with trim as well as brick wall.

Candler Mansion – Photo Documentation



IMG CH3-1: Missing and cracked stone on basement level.



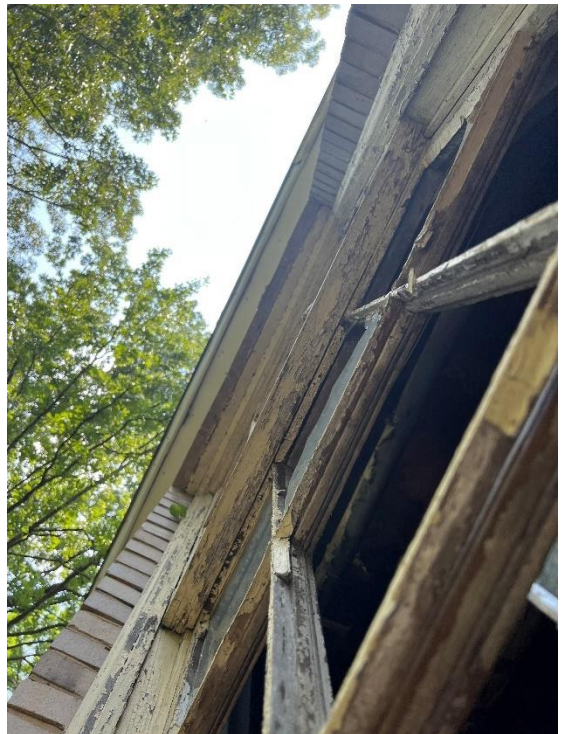
IMG CH3-3: Replacement needed on chimney with bricks missing on the top.



IMG CH3-4: Patched up entry and staircase on first floor.



IMG CH3-2: Hole, one of two, in roof allowing structural deterioration. Framing repairs needed before roof replacement.



IMG CH3-5: Chipped paint and wood on windows. Window is missing windowpanes.



- Applicable Codes**
- International Building Code, 2018 Edition, with Georgia Amendments
 - International Fire Code, 2018 Edition, with Georgia Amendments
 - International Plumbing Code, 2018 Edition, with Georgia Amendments
 - International Mechanical Code, 2018 Edition, with Georgia Amendments
 - International Fuel Gas Code, 2018 Edition, with Georgia Amendments
 - National Electrical Code, 2020 Edition (No Georgia Amendments)
 - International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments
 - Life Safety Code, 2018 Edition, with Georgia Amendments
 - International Existing Building Code, 2018 Edition, with Georgia Amendments

BUILDING CODE SUMMARY:

CONSTRUCTION TYPE: IIB / SPRINKLERED (NEW SPRINKLER SYSTEM)

OCCUPANCY TYPE: ASSEMBLY AND BUSINESS. ASSEMBLY IS THE MOST RESTRICTIVE OCCUPANCY TYPE.

ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE PER IBC TABLE 504.3: 75'
ACTUAL BUILDING HEIGHT: 50' - 7"

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER IBC TABLE 504.4: 3
ACTUAL BUILDING STORIES: 3 STORIES ABOVE GRADE PLANE AND A BASEMENT

ALLOWED BUILDING AREA PER IBC TABLE 506.2:
OCCUPANCY CLASSIFICATION A-2 / SPRINKLERED: 28,500 SF

ACTUAL BUILDING AREA:

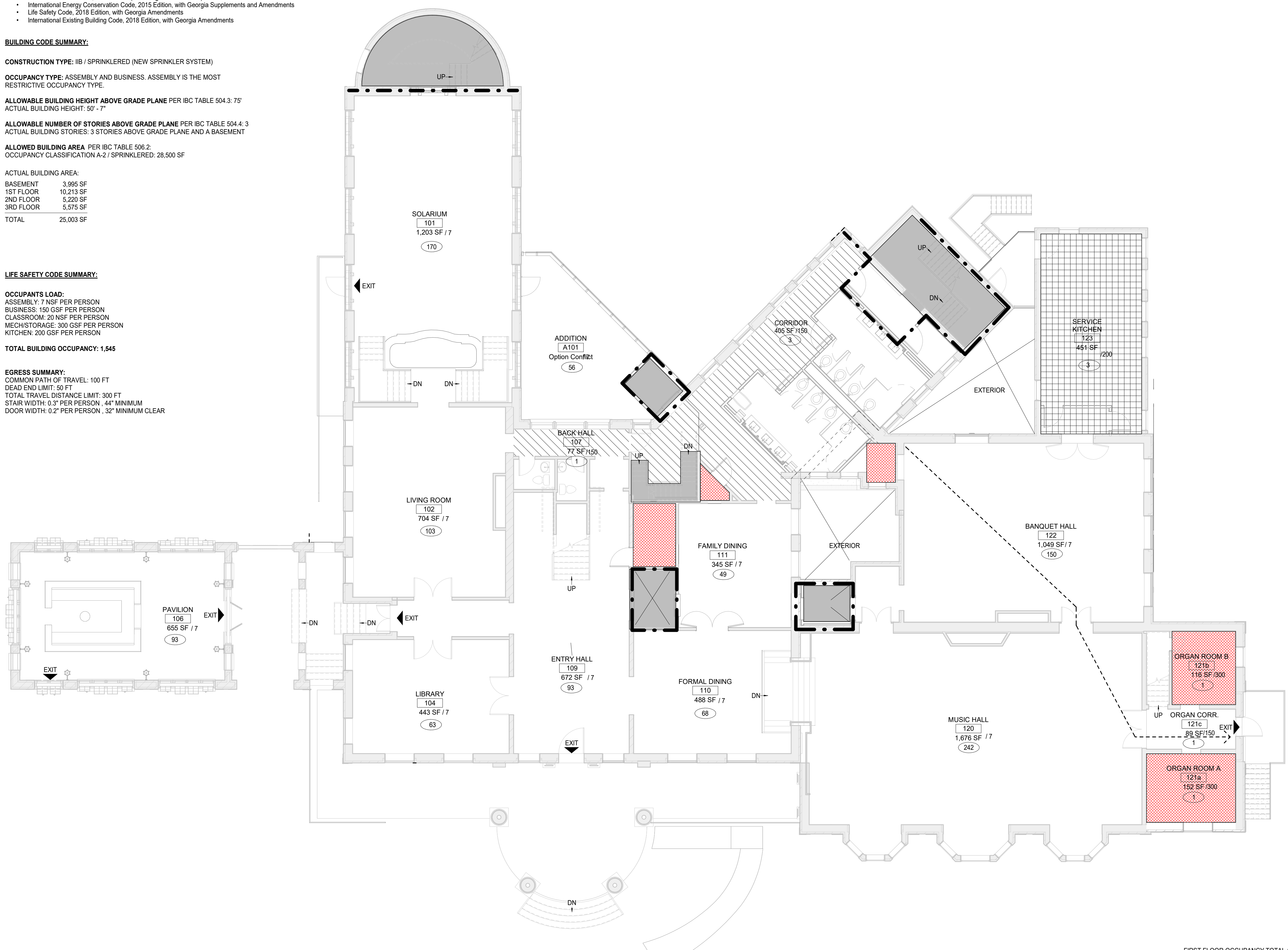
BASEMENT	3,995 SF
1ST FLOOR	10,213 SF
2ND FLOOR	5,220 SF
3RD FLOOR	5,573 SF
TOTAL	25,003 SF

LIFE SAFETY CODE SUMMARY:

OCCUPANTS LOAD:
ASSEMBLY: 7 NSF PER PERSON
BUSINESS: 150 GSF PER PERSON
CLASSROOM: 20 NSF PER PERSON
MECH/STORAGE: 300 GSF PER PERSON
KITCHEN: 200 GSF PER PERSON

TOTAL BUILDING OCCUPANCY: 1,545

EGRESS SUMMARY:
COMMON PATH OF TRAVEL: 100 FT
DEAD END LIMIT: 50 FT
TOTAL TRAVEL DISTANCE LIMIT: 300 FT
STAIR WIDTH: 0.3" PER PERSON, 44" MINIMUM
DOOR WIDTH: 0.2" PER PERSON, 32" MINIMUM CLEAR



LIFE SAFETY LEGEND

- VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)
- BUILDING EXIT AT GRADE
- SMOKE PARTITION
- 1-HOUR RATED WALL
- 2-HOUR RATED WALL
- 3-HOUR RATED WALL
- GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/EXIT ENCLOSURE
- H.E. → HORIZONTAL EXIT
- FIRE EXTINGUISHER CABINET
- 35
65 — ACTUAL NUMBER OF OCCUPANTS
- 65 — CAPACITY OF DOOR OR EXIT
- 8' - 0" — WIDTH OF STAIR OR CORRIDOR
- 640 — CAPACITY OF STAIR OR CORRIDOR
- A 400 SF — OCCUPANCY TYPE AND AREA OF SPACE
- 10 — NUMBER OF OCCUPANTS

OCCUPANCY TYPES:

	S- STORAGE & MECH	300 GSF / OCCUPANT
	A- ASSEMBLY (UNCONCENTRATED)	7 NET / OCCUPANT
	B- BUSINESS	150 GSF / OCCUPANT
	C- CLASSROOM	20 NET / OCCUPANT
	K- KITCHEN	200 GSF / OCCUPANT

SHEET SPECIFIC NOTES

KEY PLAN	SEAL
----------	------

FIRST FLOOR OCCUPANCY TOTAL 1,097
RESTROOMS:
ASSEMBLY: 7 MALE AND 7 FEMALE

LORD AECK SARGENT

© 2023 Lord Aeck Sargent
Planning & Design, Inc.
LordAeckSargent.com

REVISION:

SHEET TITLE
LIFE SAFETY PLAN - LEVEL 01
SCALE (N.O.)

JOB NAME
Galerie Living

LOCATION
CANDLER MANSION REHABILITATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

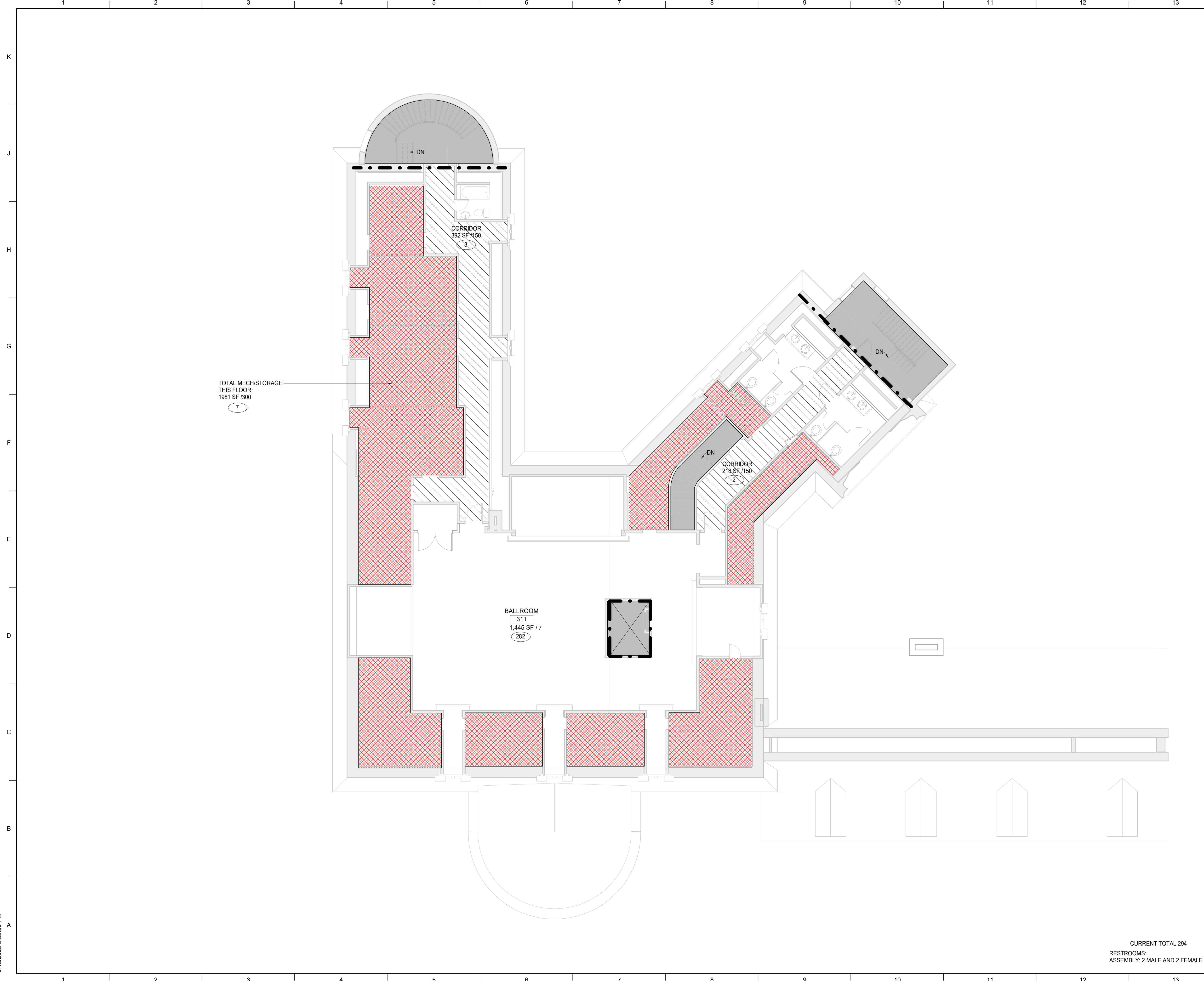
ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.
G101

NOT FOR CONSTRUCTION

Autodesk Docs//P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
8/18/2023 3:59:43 PM



CURRENT TOTAL 294
RESTROOMS:
ASSEMBLY: 2 MALE AND 2 FEMALE

LIFE SAFETY LEGEND

	VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)
	EXIT
	BUILDING EXIT AT GRADE
	SMOKE PARTITION
	1-HOUR RATED WALL
	2-HOUR RATED WALL
	3-HOUR RATED WALL
	GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/ EXIT ENCLOSURE
	H.E. →
	FIRE EXTINGUISHER CABINET
	— ACTUAL NUMBER OF OCCUPANTS
	— CAPACITY OF DOOR OR EXIT
	— WIDTH OF STAIR OR CORRIDOR
	— CAPACITY OF STAIR OR CORRIDOR
	A 400 SF — OCCUPANCY TYPE AND AREA OF SPACE
	— NUMBER OF OCCUPANTS

OCCUPANCY TYPES:

	S- STORAGE & MECH	300 GSF / OCCUPANT
	A- ASSEMBLY (UNCONCENTRATED)	7 NET / OCCUPANT
	B- BUSINESS	150 GSF / OCCUPANT
	C- CLASSROOM	20 NET / OCCUPANT
	K- KITCHEN	200 GSF / OCCUPANT

LORD AECK SARGENT

© 2023 Lord Aeck Sargent Planning & Design, Inc. LordAeckSargent.com

REVISION:

SHEET TITLE
LIFE SAFETY PLAN - LEVEL 03

SCALE (N/A)

SHEET SPECIFIC NOTES

KEY PLAN	SEAL
PROJECT NORTH	

JOB NAME
Galerie Living

LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

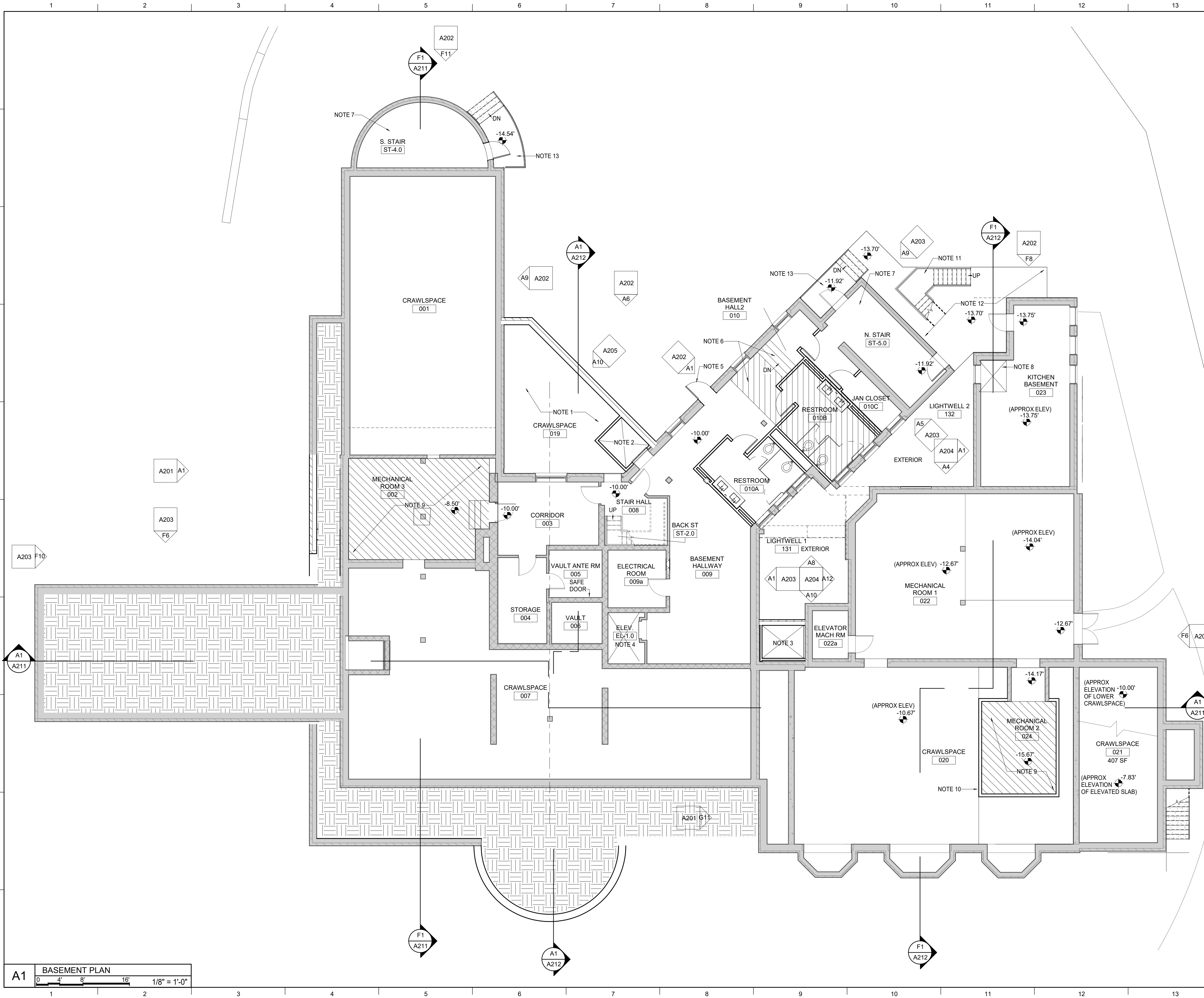
ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.
G103

NOT FOR CONSTRUCTION

Autodesk Docs//P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
8/18/2023 3:59:45 PM



MATERIAL KEYNOTES

	EXISTING WALLS TO REMAIN
	NEW WALLS

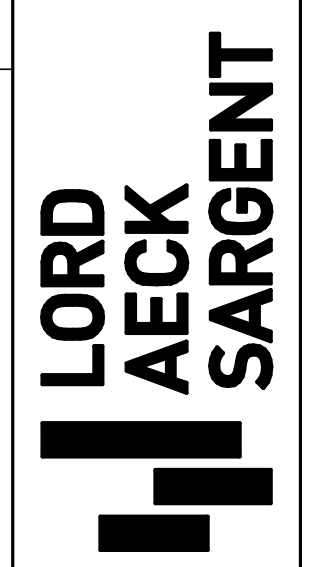
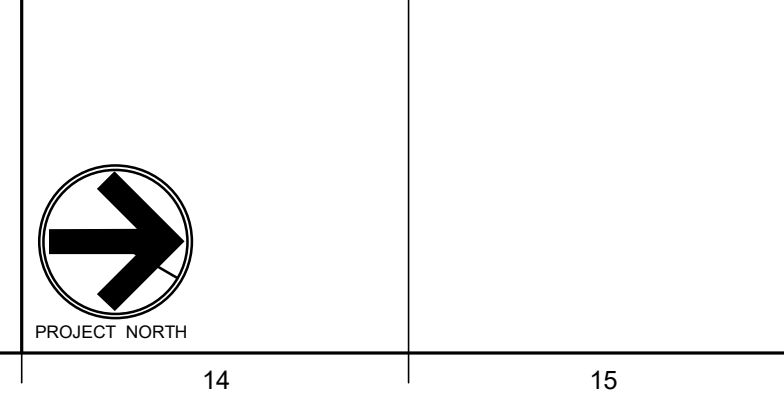
GENERAL NOTES

	EXISTING WALLS TO REMAIN
	NEW WALLS

SHEET SPECIFIC NOTES

1. NEW ADDITION.
2. NEW 3 STOP, OPPOSITE SIDE DOORS LULA ELEVATOR.
3. NEW 2 STOP, OPPOSITE SIDE DOORS LULA ELEVATOR, NEW EXTERIOR BRICK WALL ON ONE SIDE, AND NEW STUD WALLS OVER EXISTING BRICK WALL ON THREE SIDES, NEW ROOF SYSTEM.
4. NEW 4 STOP, OPPOSITE SIDE DOORS RETROFIT ELEVATOR IN EXISTING ELEVATOR SHAFT.
5. NEW EXTERIOR DOOR IN EXISTING WINDOW OPENING, OVERBUILD NEW FLOOR TO -10'-0" ELEVATION TO MATCH ADJACENT FLOOR ELEVATION, NEW STAIRS DOWN TO -11.92' ELEVATION.
6. NEW STEEL STAIRS AND RAILINGS IN EXISTING STAIR SHAFT.
7. NEW 2 STOP DUMBWAITER.
8. NEW CONCRETE SLAB ON GRADE FLOOR.
9. NEW CONCRETE BLOCK WALL.
10. NEW CONCRETE BLOCK WALL.
11. NEW EXTERIOR STEEL STAIR.
12. NEW CONCRETE SLAB ON GRADE.
13. NEW EXTERIOR STAIR, CONCRETE SLAB ON GRADE WITH GRANITE WALL.

KEY PLAN



© 2023 Lord Aeck Sargent
Planning & Design, Inc.
LordAeckSargent.com

REVISION:

SHEET TITLE
FLOOR PLAN - LEVEL 00
SCALE (UNO.)

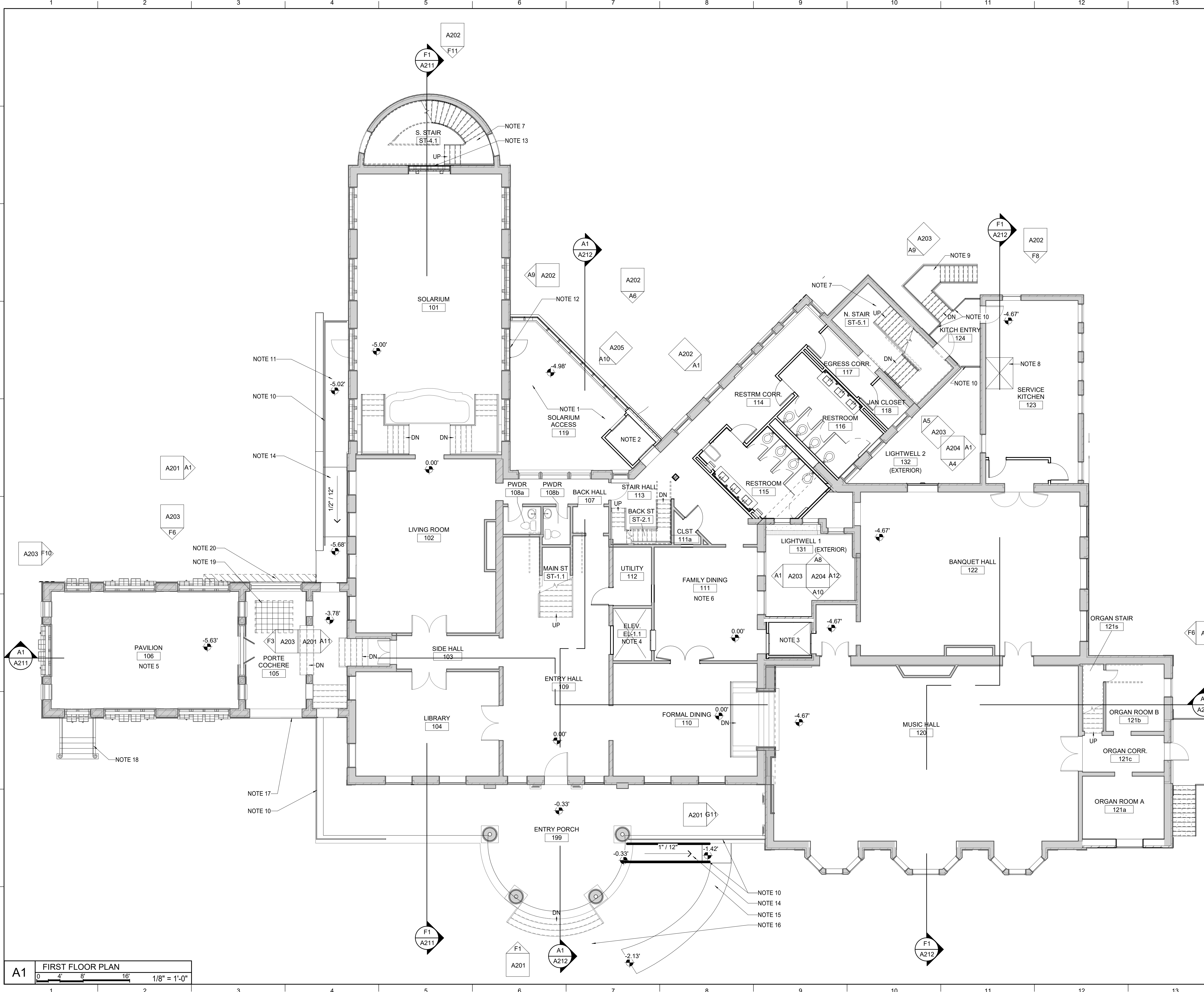
JOB NAME
Galene Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023
JOB NO.
12169-00
DWG. NO.
A100

NOT FOR CONSTRUCTION

A1 BASEMENT PLAN
0 4 8 16 1/8" = 1'-0"

Autodesk Docs//P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
8/18/2023 3:59:59 PM



MATERIAL KEYNOTES

	EXISTING WALLS TO REMAIN
	NEW WALLS

GENERAL NOTES

	EXISTING WALLS TO REMAIN
	NEW WALLS

SHEET SPECIFIC NOTES

1. NEW ADDITION.
2. NEW 3 STOP, OPPOSITE SIDE DOORS LULA ELEVATOR.
3. NEW 2 STOP, OPPOSITE SIDE DOORS LULA ELEVATOR. NEW EXTERIOR BRICK WALL ON ONE SIDE, AND NEW STUD WALLS OVER EXISTING BRICK WALL ON THREE SIDES. NEW ROOF SYSTEM.
4. NEW 4 STOP, OPPOSITE SIDE DOORS RETROFIT ELEVATOR IN EXISTING ELEVATOR SHAFT.
5. SEE A743 FOR SCOPE OF WORK IN PAVILION.
6. SEE A742 FOR SCOPE OF WORK IN FAMILY DINING.
7. NEW STEEL STAIRS AND RAILINGS IN EXISTING STAIR SHAFT.
8. NEW 2 STOP DUMBWAITER.
9. NEW EXTERIOR STEEL STAIR.
10. NEW 42 INCH STEEL GUARDRAIL WITH HANDRAILS AT RAMP.
11. 7 INCH THICK CONCRETE TOPPING SLAB ON EXISTING WALKWAY TO MATCH SOLARIUM FLOOR LEVEL.
12. NEW DOOR IN MODIFIED EXISTING WINDOW OPENING. REMOVE RADIATOR.
13. NEW MILLWORK FEATURE TO MATCH EXISTING WINDOWS.
14. INSTALL CONCRETE RAMP.
15. WALKWAY ON BUILT UP GRADE LEADING TO STAR OF NEW RAMP.
16. ON GRADE LANDINGS AND WALKWAYS FROM PORTICO STEPS TO DRIVES NOT IN THIS SCOPE.
17. RESTORE AND REINSTALL STEEL FENESTRATION FROM SITE AT ARCHED OPENING TO MATCH OPPOSITE SIDE.
18. STRIP RESTORE, PREPARE AND REPAINT HISTORIC STEEL RAILINGS.
19. INSTALL TILE FLOORING ON SLAB WHERE ASPHALT IS REMOVED.
20. REPAIR DRIVE AND STONE WHERE SURFACE UTILITY TRENCH IS REMOVED.

KEY PLAN

PROJECT NORTH

SEAL



© 2023 Lord Aeck Sargent
Planning & Design, Inc.
LordAeckSargent.com

REVISION:

SHEET TITLE
FLOOR PLAN - LEVEL 01
SCALE (UNO.)

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023
JOB NO.
12169-00
DWG. NO.

A101

NOT FOR CONSTRUCTION

Autodesk Docs//P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
8/18/2023 4:01:00 PM



MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

1. CURTAINWALL
2. STONE ON METAL STUD WALL
3. BRICK ON METAL STUD WALL
4. EXPANSION JOINT BETWEEN NEW ADDITION AND EXISTING BUILDING.

KEY PLAN

PROJECT NORTH



© 2023 Lord Aeck Sargent
Planning & Design, Inc.
LordAeckSargent.com

REVISION:

NO.	DESCRIPTION

SHEET TITLE

ADDITION EXTERIOR ELEVATIONS

SCALE (1/8")

JOB NAME
Galerie Living

CANDLER MANSION REHABILITATION

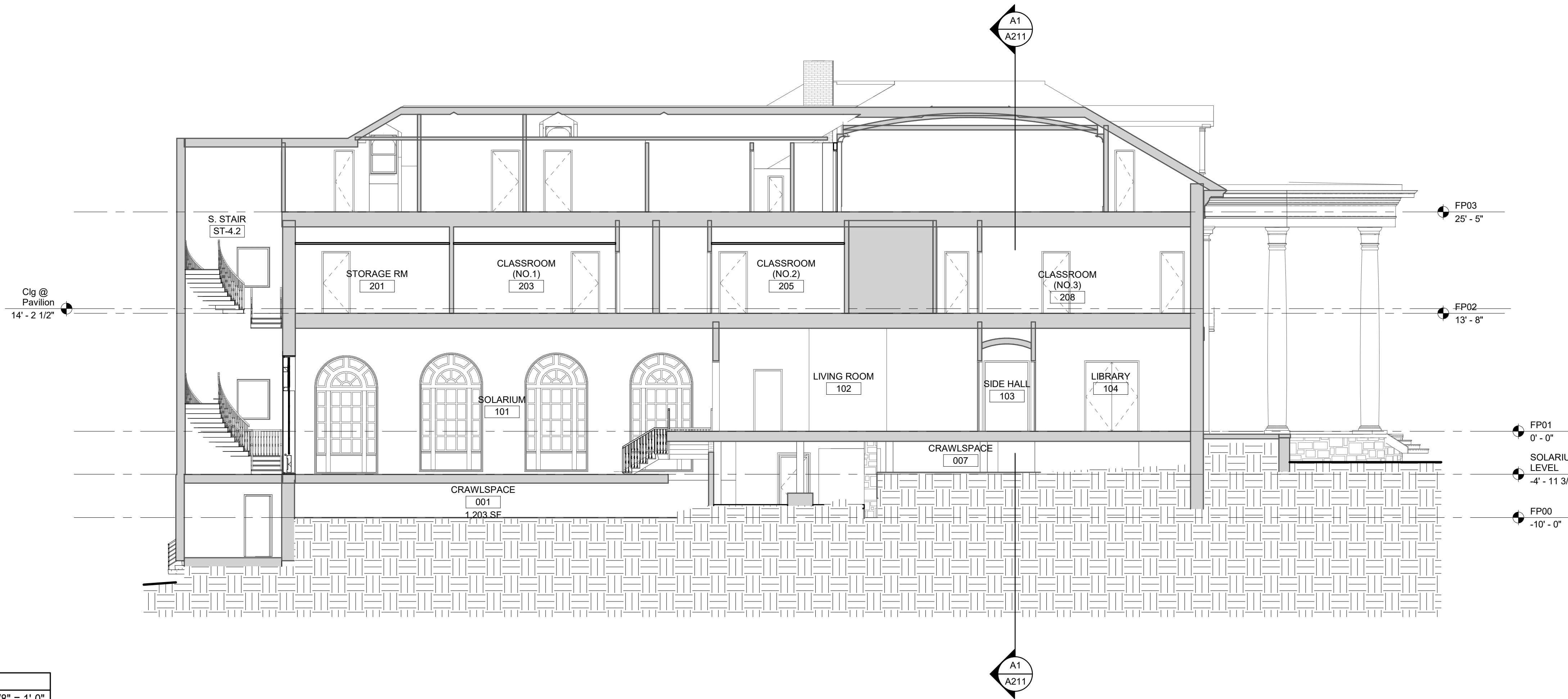
LOCATION
1256 Briarcliff Road NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023

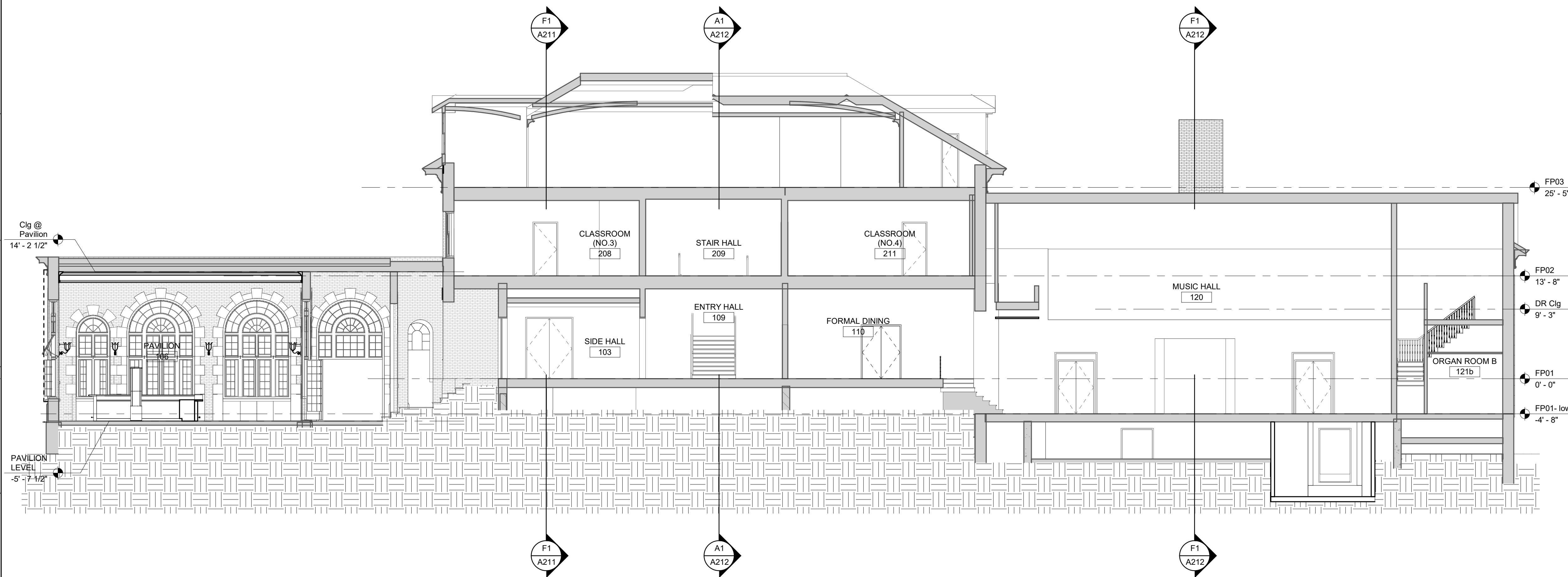
JOB NO.
12169-00

DWG. NO.
A205

NOT FOR CONSTRUCTION



F1 SOUTH WING SECTION
 0 4' 8' 16' 1/8" = 1'-0"



A1 SECTION - NORTH/SOUTH
 0 4' 8' 16' 1/8" = 1'-0"

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

KEY PLAN

PROJECT NORTH

SEAL



© 2023 Lord Aeck Sargent
 Planning & Design, Inc.
 LordAeckSargent.com

REVISION:

NO.	DESCRIPTION

SHEET TITLE
BUILDING SECTIONS

JOB NAME
 Galerie Living

LOCATION
 1256 Briarcliff Road, NE
 Atlanta, GA 30306

ISSUE DATE
 08/18/2023

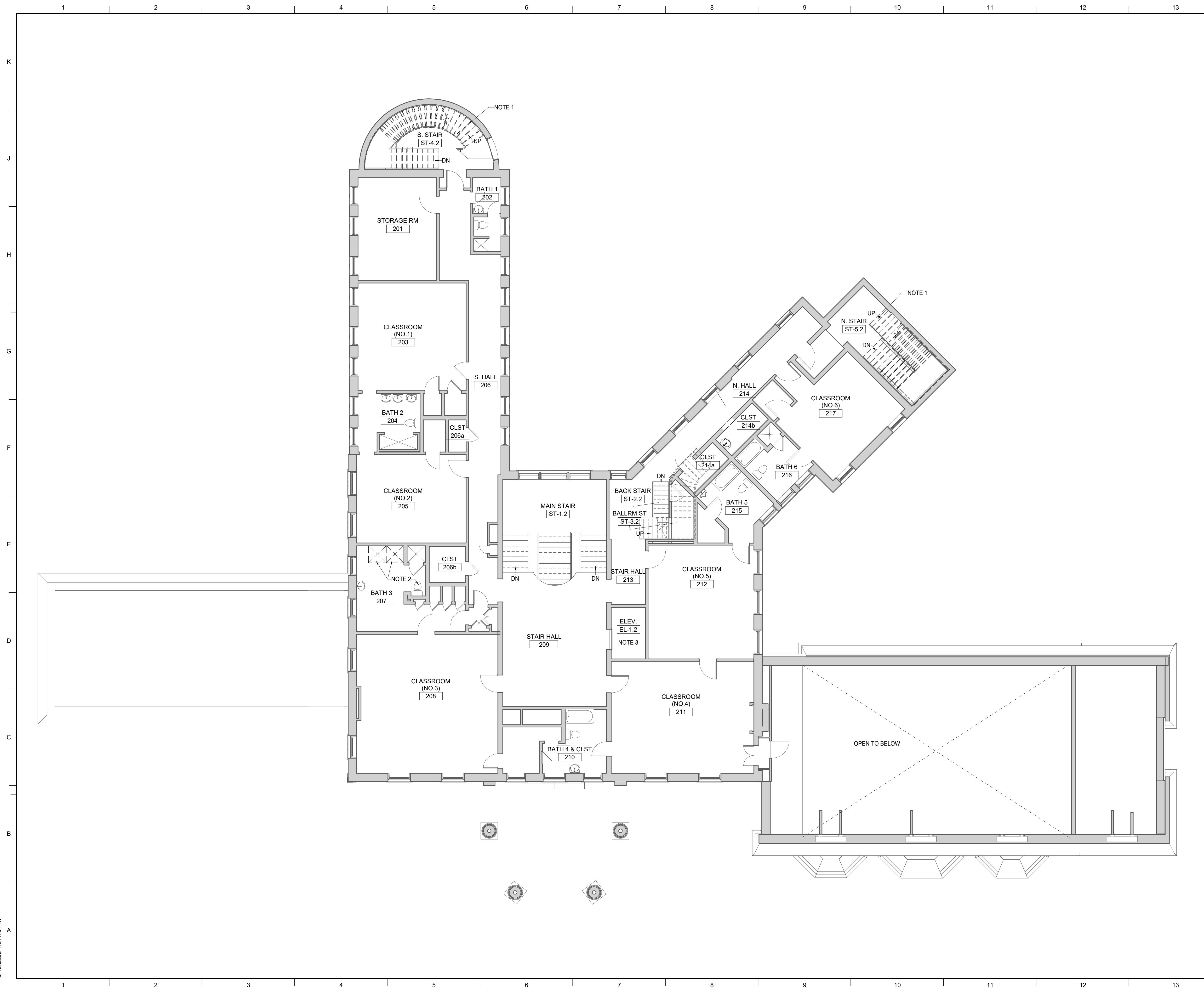
JOB NO.
 12169-00

DWG. NO.

A211

NOT FOR CONSTRUCTION

Autodesk Docs//P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
 8/18/2023 4:01:06 PM



MATERIAL KEYNOTES

	INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS. PATCH, REPAIR, SMOOTH, AND CLEAN ADJACENT FLOORS, WALLS, AND CEILINGS AS REQUIRED TO PROVIDE SMOOTH SURFACE FOR NEW FINISHES.
	EXISTING WALLS TO REMAIN
	INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS. PATCH, REPAIR, SMOOTH AND CLEAN ADJACENT FLOORS, WALLS AND CEILINGS AS REQUIRED TO PROVIDE SMOOTH SURFACE FOR NEW FINISHES.

GENERAL NOTES

- A. COORDINATE ALL DEMOLITION WITH ENVIRONMENTAL SITE ASSESSMENT. FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS WHEN ABATING HAZARDOUS MATERIALS.

SHEET SPECIFIC NOTES

1. DEMO EXISTING STEEL STAIRS AND RAILINGS.
2. DEMO EXISTING PLUMBING FIXTURE.
3. DEMO EXISTING ELEVATOR.

KEY PLAN	SEAL
PROJECT NORTH	

**LORD
AECK
SARGENT**

© 2023 Lord Aeck Sargent
Planning & Design, Inc.
LordAeckSargent.com

REVISION:

SHEET TITLE
DEMOLITION PLAN - LEVEL 02

SCALE (1/8"=1'-0")

JOB NAME
Galerie Living

LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.

AD102

NOT FOR CONSTRUCTION



HISTORIC POOL
 OLD BUILDING FOUNDATION

EXISTING TREE
 GREENHOUSE
 POND
 PROPOSED TREE

UNIVERSITY DR
 (R/W VARIES)

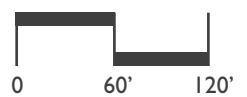
UNIVERSITY DR
 (R/W VARIES)

UNIVERSITY DRIVE

BRIARDALE LN

BRIARCLIFF RD

BRIARCLIFF ROAD
 (R/W VARIES)



Atlanta, GA
 January 19, 2024

CORSO DRUID HILLS
 MANSION AND HISTORIC GROUNDS SITE PLAN



NOTE:

1. SIZE OF TREE SYMBOL DIRECTLY REFLECTS CRITICAL ROOT ZONE AREA
2. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
3. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
4. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED FOR REPLACED AS NEEDED.
5. LANDSCAPING IS INSTALLED.
6. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES TO OCCUR WITHIN TREE PROTECTION AREAS OR WITHIN SIX (6) FEET OF THE CRZ.
7. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER DATE OF FINAL INSPECTION.

KEY

- EXISTING SPECIMEN TREE
- SPECIMEN TREE TO BE PRESERVED
- TREE PROTECTION FENCE
- EXISTING TREE
- TREE TO BE PRESERVED
- EXISTING SPECIMEN TREE TO BE REMOVED
- LIMITS OF DISTURBANCE

TREE PRESERVATION REQUIREMENTS

- LIMITS OF WORK AREA: 4.33 ACRES
- REQUIRED PRESERVATION OF SIGNIFICANT TREES: 3,362.4 INCHES (DBH)*
- INCHES (DBH) OF SIGNIFICANT TREES PRESERVED: 3,191 INCHES

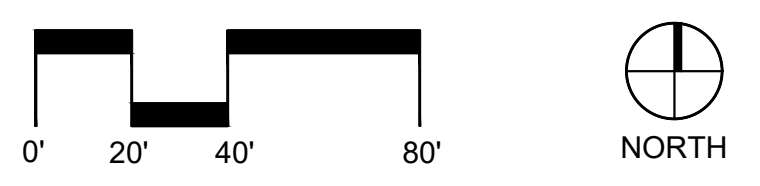
(*BASED ON DEKALB CO. STANDARD IF SIGNIFICANT TREES EXIST, EITHER 120 INCHES (DBH) PER ACRE OR 25% OF EXISTING SIGNIFICANT TREES PER AREA, WHICHEVER IS LESS, SHALL BE PRESERVED.)

TREE REPLACEMENT REQUIREMENTS

- LIMITS OF WORK AREA: 28.02 ACRES
- REQUIRED: MINIMUM 30 TOTAL SITE DENSITY FACTOR
- PROPOSED TOTAL SITE DENSITY FACTOR: 91.2

(*BASED ON DEKALB CO. STANDARD OF TOTAL SITE DENSITY FACTOR TO EQUAL NO LESS THAN 30 DENSITY UNITS PER ACRE ON NON-RESIDENTIAL DEVELOPMENT.)

A TREE PROTECTION KEY PLAN
 TP-01 SCALE: 1" = 80'-0"



Last modified on 01/19/24 by M.EFFCOAT
 File located in S:\2023\23018\Graphics\CAD\CAD\06 - Regulatory\2301801.dwg - HPC_Plan_Historic.dwg



3525 Piedmont Road NE
 Building 8, Suite 320
 Atlanta, Georgia 30305
 www.hgor.com
 p. 404-248-1960
 f. 404-248-1092

CONSULTANT LOGO:
 PROJECT TITLE:

CORSO DRUID HILLS
 ATLANTA, GA

HKS
 350 N SAINT PAUL STREET
 SUITE 100
 DALLAS, TX 75201

PROJECT NO:
 23018

ISSUE AND DATE:
 DESIGN DEVELOPMENT
 January 19, 2024

NO.	DATE	DESCRIPTION

SEAL:

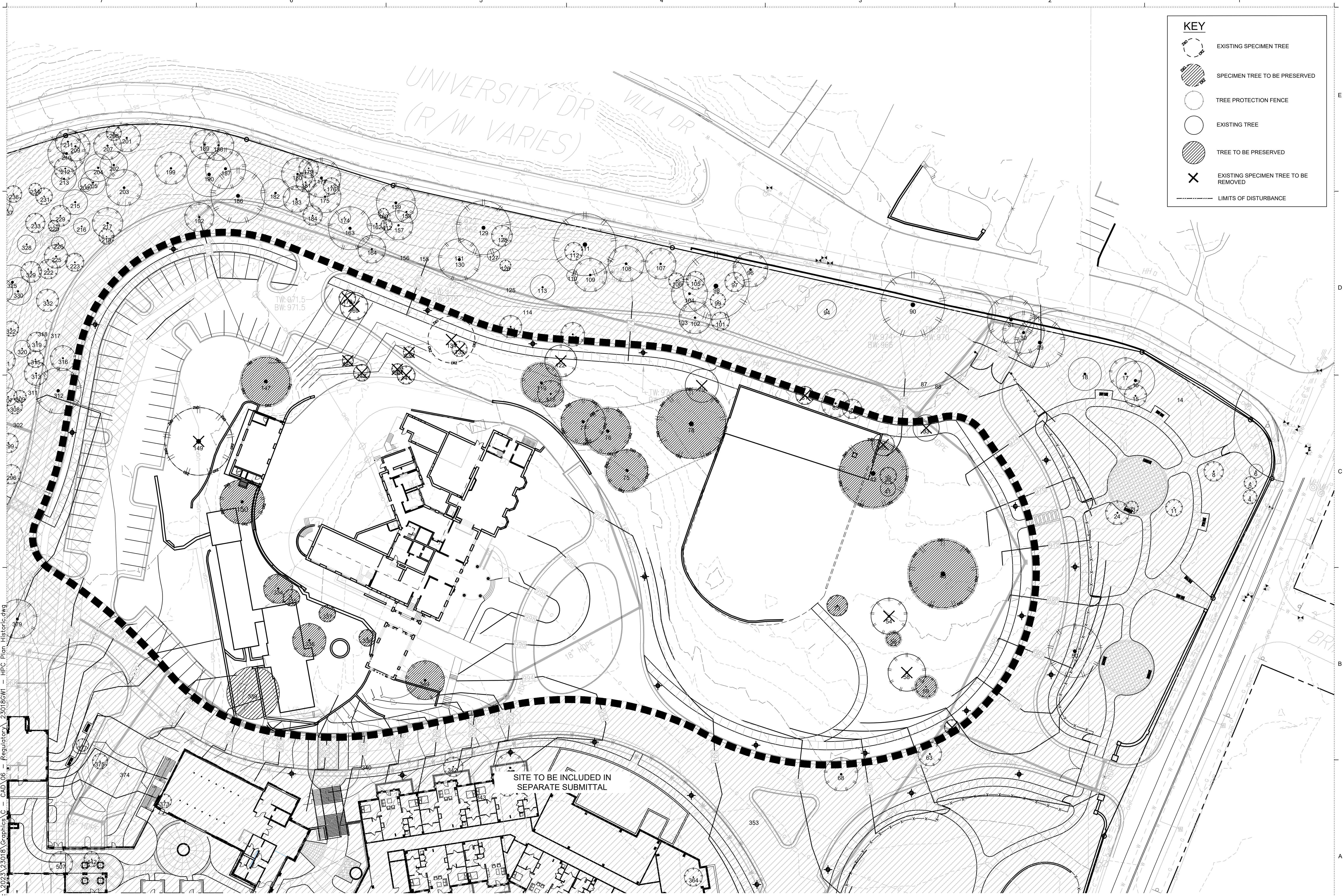
SHEET TITLE:
 TREE PROTECTION PLAN

SHEET NO:
 TP-02

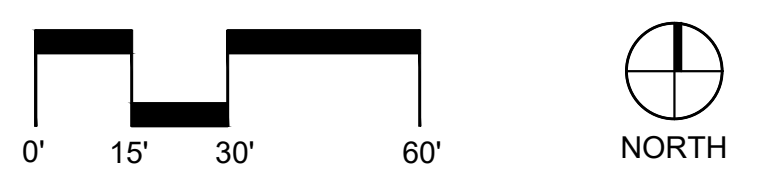
NOT RELEASED FOR CONSTRUCTION

KEY

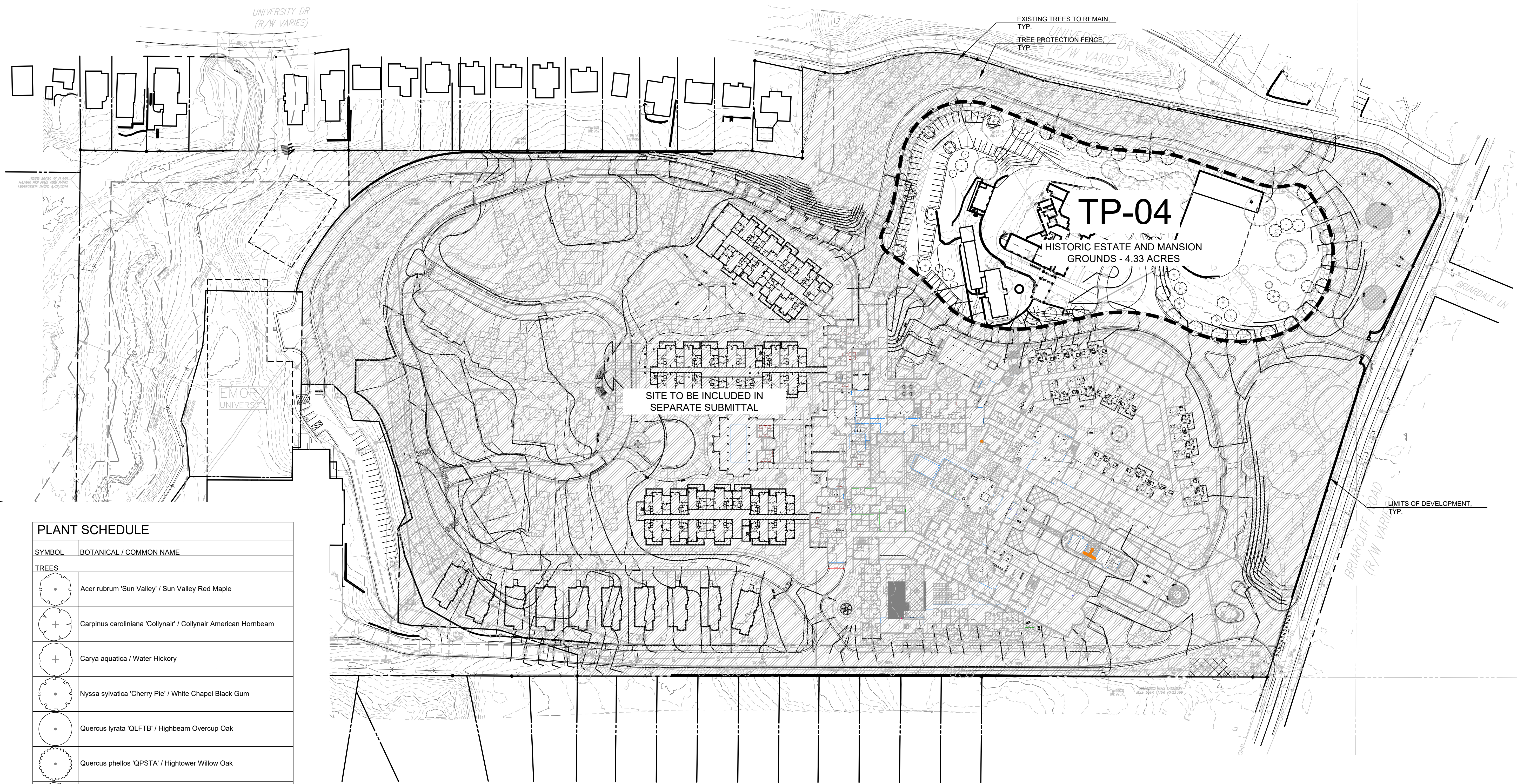
- EXISTING SPECIMEN TREE
- SPECIMEN TREE TO BE PRESERVED
- TREE PROTECTION FENCE
- EXISTING TREE
- TREE TO BE PRESERVED
- EXISTING SPECIMEN TREE TO BE REMOVED
- LIMITS OF DISTURBANCE



A TREE PROTECTION PLAN
 TP-02 SCALE: 1" = 30'-0"



Last modified on 01/19/24 by M.EFFCOAT
 File located in S:\2023\23018\Graphics\CAD\06 - Regulatory\2301806WI - HPC Plan_Historic.dwg



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME
TREES	
	Acer rubrum 'Sun Valley' / Sun Valley Red Maple
	Carpinus caroliniana 'Collynair' / Collynair American Hornbeam
	Carya aquatica / Water Hickory
	Nyssa sylvatica 'Cherry Pie' / White Chapel Black Gum
	Quercus lyrata 'QLFTB' / Highbeam Overcup Oak
	Quercus phellos 'QPSTA' / Hightower Willow Oak
	Quercus x 'Long' / Regal Prince Oak
	Tilia americana 'Continental Appeal' / Continental American Linden
	Ulmus alata 'UAMTF' / Kalysta Winged Elm
	Ulmus americana 'Eisenhower' / Eisenhower American Elm

TREE PRESERVATION REQUIREMENTS

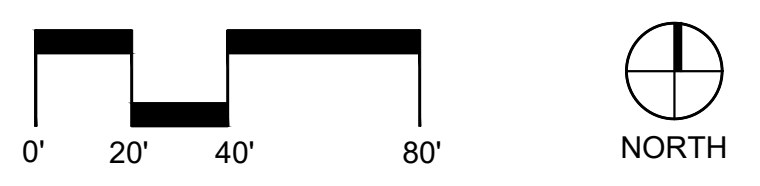
- LIMITS OF WORK AREA: 28.02 ACRES
- REQUIRED PRESERVATION OF SIGNIFICANT TREES: 519.6 INCHES (DBH)*
- INCHES (DBH) OF SIGNIFICANT TREES PRESERVED: 552 INCHES + PROPOSED DBH 1,691

(*BASED ON DEKALB CO. STANDARD IF SIGNIFICANT TREES EXIST, EITHER 120 INCHES (DBH) PER ACRE OR 25% OF EXISTING SIGNIFICANT TREES PER AREA, WHICHEVER IS LESS, SHALL BE PRESERVED.)

TREE REPLACEMENT REQUIREMENTS

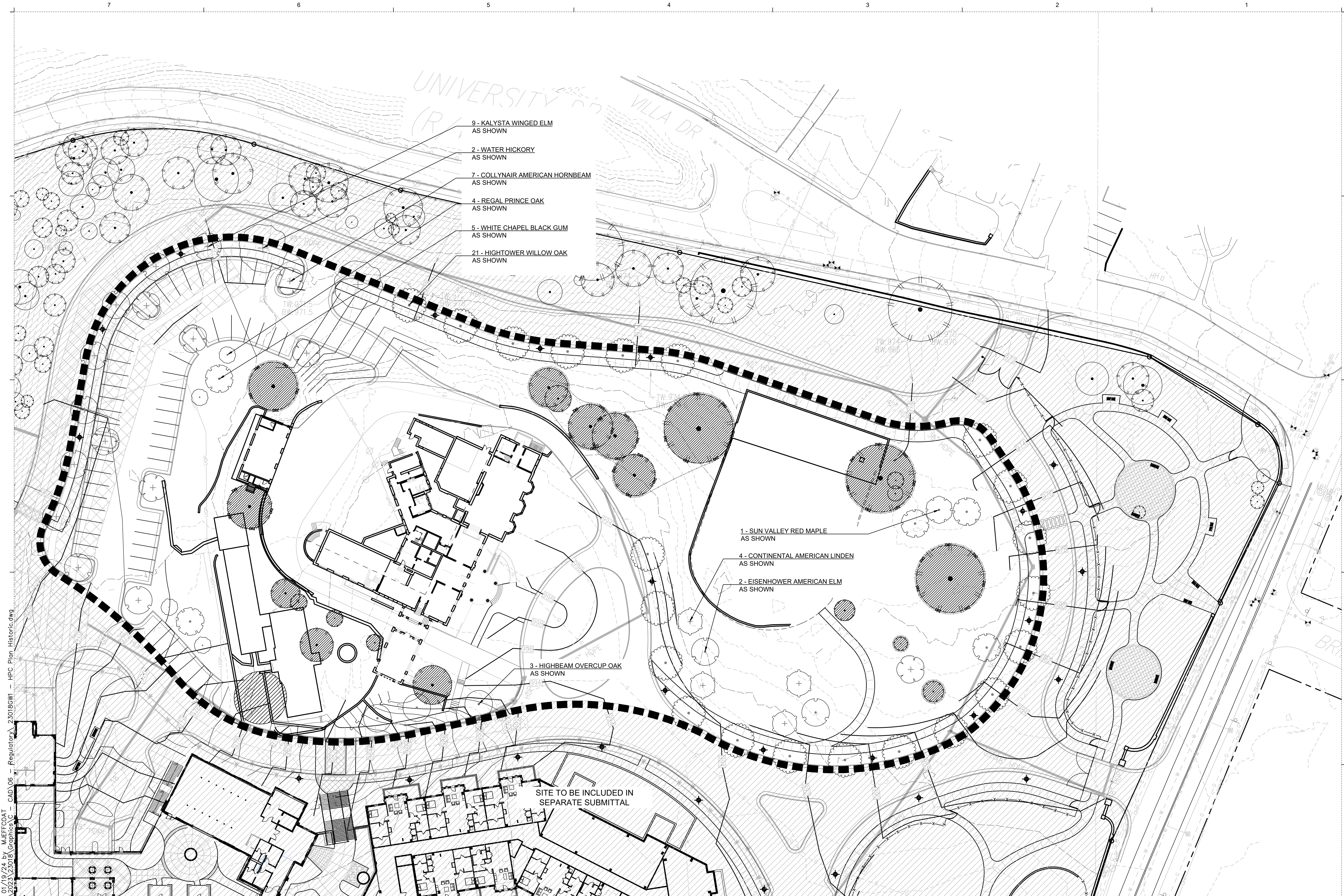
- LIMITS OF WORK AREA: 28.02 ACRES
- REQUIRED: MINIMUM OF 30 DENSITY UNITS PER ACRE
- PROPOSED MINIMUM TOTAL SITE DENSITY: 129.9 DENSITY UNITS

(*BASED ON DEKALB CO. STANDARD OF TOTAL SITE DENSITY FACTOR TO EQUAL NO LESS THAN 30 DENSITY UNITS PER ACRE ON NON-RESIDENTIAL DEVELOPMENT.)



A TREE REPLACEMENT KEY PLAN
 TP-03 SCALE: 1" = 80'-0"

Last modified on 01/19/24 by M.EFFCOAT
 File located in: S:\2023\23018\Graphics\CAD\06 - Regulatory\2301860W - HFC_Plan_Historic.dwg



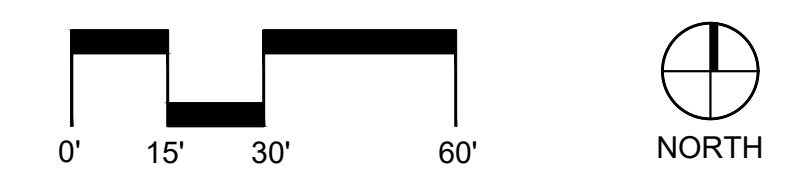
- 9 - KALYSTA WINGED ELM
AS SHOWN
- 2 - WATER HICKORY
AS SHOWN
- 7 - COLLYNAIR AMERICAN HORNBEAM
AS SHOWN
- 4 - REGAL PRINCE OAK
AS SHOWN
- 5 - WHITE CHAPEL BLACK GUM
AS SHOWN
- 21 - HIGHTOWER WILLOW OAK
AS SHOWN

- 1 - SUN VALLEY RED MAPLE
AS SHOWN
- 4 - CONTINENTAL AMERICAN LINDEN
AS SHOWN
- 2 - EISENHOWER AMERICAN ELM
AS SHOWN

3 - HIGHBEAM OVERCUP OAK
AS SHOWN

SITE TO BE INCLUDED IN
SEPARATE SUBMITTAL

A TREE REPLACEMENT PLAN
 TP-04 SCALE: 1" = 30'-0"



Last modified on 01/19/24 by M.EFFCOAT
 File located in S:\2023\23018\Graphics\CAD\06 - Regulatory\2301806WI - HPC Plan - Historic.dwg