



DEPARTMENT OF PLANNING & SUSTAINABILITY

Chief Executive Officer
Michael Thurmond

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: Benjamin Carlhoun
Mailing Address: 2323 Cheshire Bridge Rd
City/State/Zip Code: Atlanta, GA 30324
Email: Intowncraftsmen@gmail.com
Telephone Home: 404-534-8487 Business: Intown Craftsmen

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: _____
Address (Mailing): 973 Forrest Boulevard, Decatur, GA 30030
Email: Hehuckabee@gmail.com Telephone Home: 478-361-7025 Business: _____

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 973 Forrest Boulevard City: Decatur State: GA Zip: 30030
District(s): 4/6 Land Lot(s): Sub Block: _____ Parcel: 15 233 02 025
Zoning Classification: R-75 Commission District & Super District: _____

CHECK TYPE OF HEARING REQUESTED:

- VARIANCE (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
- OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.



DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 5/19/24

Applicant
Signature:

Halley Shekhar

DATE: 5/18/24

Applicant
Signature:

RTB

Subject: Variance Request for Rear Yard Setback Reduction - Section 27-2.2.1 – Accessory Structure Construction

Dear Members of the Zoning Board of Appeals,

My name is Haley, and I am writing to formally request a variance from Section 27-2.2.1 of the DeKalb County Zoning Ordinance. My request pertains to the reduction of the rear yard setback requirement from **40 feet to 30 feet** for my property located at 973 Forrest Boulevard. The purpose of this variance is to facilitate the construction of an accessory structure, namely a rear deck and covered screened-in porch which is crucial for the improvement and effective use of my property.

1. Physical Conditions of the Site:

The unique physical conditions of my property constitute a special case necessitating this variance. I have a legal nonconforming house. The parcel is characterized by a narrow and irregular shape, making compliance with the **40-foot rear yard setback** particularly challenging. Additionally, the presence of specimen trees, a natural feature of the land, further restricts the feasible location for constructing the accessory structure. These conditions are inherent and not a result of any actions taken by me or previous property owners.

2. Minimum Variance Necessary:

I assure you that my request is solely for the minimum variance necessary to render my property usable, the deck/screened-in porch must be constructed to a specific parameter and size to accommodate the resident that will be residing there. It is only along the back of the existing house (which was built before the current setback and is legally nonconforming). **The 30-foot setback** is essential for the practical and reasonable placement of the deck/screened-in porch, ensuring that I can enjoy full use of my property without seeking advantages beyond those available to other property owners in the same zoning district.

3. Public Welfare:

The proposed addition will provide a positive impact on the neighborhood and community. The reduced setback will not pose any harm to public welfare, neighboring properties, or the overall improvements in the R-75 zoning district. The deck/Screened-in porch will be a tasteful addition, enhancing the property without imposing adverse effects on the

LETTER OF SUPPORT - VARIANCE

surrounding area. I have received letters of support from my neighbors, who reside at 940 N. Carter Rd and 983 Forrest Boulevard respectively, who do not feel the addition would intrude on their privacy.

4. Ordinance Hardship:

A strict interpretation of the zoning laws, in this case, would cause undue hardship for me. The impracticality of adhering strictly to the current setback would limit my ability to use the property effectively. The variance is, therefore, essential to prevent unnecessary hardship and allow for a reasonable use of my land.

5. Alignment with the Spirit of the Law:

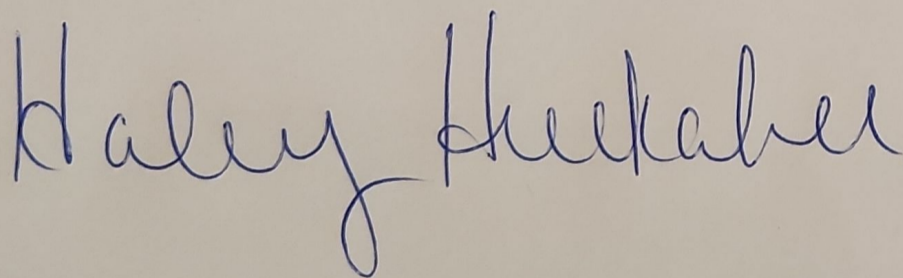
I firmly believe that my variance request aligns with the intent of the Suburban Character Area, as outlined in the DeKalb County Comprehensive Plan. The proposed construction of the deck/screened-in porch is in line with the goals of recognizing traditional suburban land use patterns while encouraging increased connectivity and accessibility. The development aims to enhance community connectivity, preserve and improve existing greenspace, and align with the proposed density of up to 8 dwelling units per acre for areas of this type.

In conclusion, I appreciate your time and consideration of my variance request. I am committed to working collaboratively to ensure that my proposed changes align with the broader goals and policies of DeKalb County.

Thank you for your attention to this matter.

Sincerely,

Haley Huckabee

A handwritten signature in blue ink that reads "Haley Huckabee". The signature is written in a cursive, flowing style.

May 18, 2024

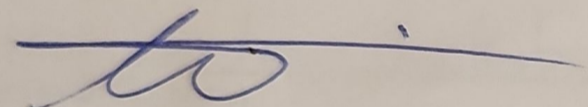
LETTER OF SUPPORT- VARIANCE

To the Members of the Zoning Board of Appeals:

I own the nearby home at 983 Forrest Boulevard. I am writing in support of our neighbor, Haley Huckabee, to improve the aesthetic of their house by adding a rear deck and covered porch to their home at 973 Forrest Boulevard. Haley is a great neighbor, and we look forward to her addition on the back of her home.

I have reviewed her application and plans and agree that she would only be improving her property and the surrounding neighborhood. The lot the home is situated on is an odd shape and should not be a reason to prevent her from doing the work to her home.

I ask that you please allow her to improve her home and are in full support of the project. Please approve her request so that the project may get underway as soon as possible.



Sincerely,

Maria Carolina Casares

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 05/07/2024 Applicant/Agent Signature: [Signature]

TO WHOM IT MAY CONCERN:

(I)/ (WE): Hailey Huckabee & Robert Burke
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

Nancy M Proctor
Notary Public

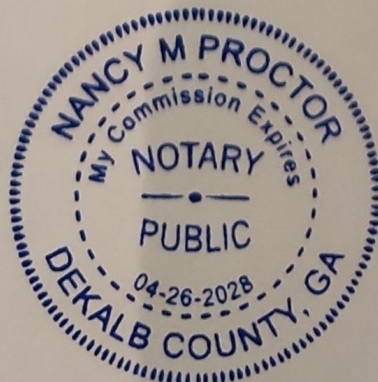
Nancy M Proctor
Notary Public

Notary Public

[Signature]
Owner Signature

Hailey Huckabee
Owner Signature

Owner Signature



SCREEN PORCH AND DECK ADDITION

973 FORREST BOULEVARD
DECATUR, GA 30030



PROJECT DESCRIPTION/CODE INFORMATION

PROJECT IS A TO ADD SCREEN PORCH AND DECK TO EXISTING HOUSE

ZONING : R-75

SEE SITE PLAN SHEET FOR ADDITIONAL ZONING INFORMATION

AREA SUMMARY:

EXISTING IMPERVIOUS AREAS:

EXISTING HOUSE - 1616 SF
EXISTING FRONT DRIVE & WALKWAYS - 1085 SF
EXISTING CARPORT - 191 SF
EXISTING REAR PATIO AND STOOP - 658 SF
EXISTING REAR SHED - 42 SF
EXISTING REAR WALLS AND PAVERS - 98 SQ FT
TOTAL - 3690 SF

PROPOSED IMPERVIOUS AREAS:

EXISTING HOUSE - 1616 SF
EXISTING FRONT DRIVE & WALKWAYS - 1085 SF
EXISTING CARPORT - 191 SF
PROPOSED NEW DECK AND SCREENED PORCH - 744 SF
REMAINING REAR PATIO AND STOOP - 406 SF
EXISTING REAR SHED - 42 SF
EXISTING REAR WALLS AND PAVERS - 98 SQ FT
TOTAL - 4182 SF

CODE COMPLIANCE:

ALL NEW WORK SHALL COMPLY WITH CURRENT GEORGIA BUILDING CODES.

APPLICABLE CODE

- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH 2020, 2022 GEORGIA AMENDMENTS
- INTERNATIONAL FIRE CODE, 2018 EDITION, WITH ALL GEORGIA FIRE MARSHALL AMENDMENTS
- INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH 2020, 2022 GEORGIA AMENDMENTS
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH 2020 GEORGIA AMENDMENTS
- NATIONAL FUEL & GAS CODE, 2018 EDITION, WITH 2020, 2022 GEORGIA AMENDMENTS
- NATIONAL ELECTRICAL CODE, 2020 EDITION, WITH 2021 GEORGIA AMENDMENTS
- NATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH 2020, 2022 GEORGIA SUPPLIMENTS AND AMENDMENTS
- NFPA 101, LIFE SAFETY CODE, 2018 EDITION, WITH ALL GEORGIA FIRE MARSHALL AMENDMENTS (2020)

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154 Krog Street, #125
Atlanta, GA 30307
404-218-8460

SCREEN PORCH AND
DECK ADDITION

973 FORREST BOULEVARD
DECATUR, GA 30030

PROJECT INFORMATION

OWNER

BO BURKE AND HALEY HUCKABEE
973 FORREST BOULEVARD
DECATUR, GA 30030
EMAIL: rhburke@pm.me

ARCHITECT

WRIGHT GARDNER ARCHITECT, LLC
154 KROG STREET NE, SUITE 125
ATLANTA, GEORGIA 30307
PHONE: 404-2 18-8460
EMAIL: wright@wrightgardnerarchitect.com

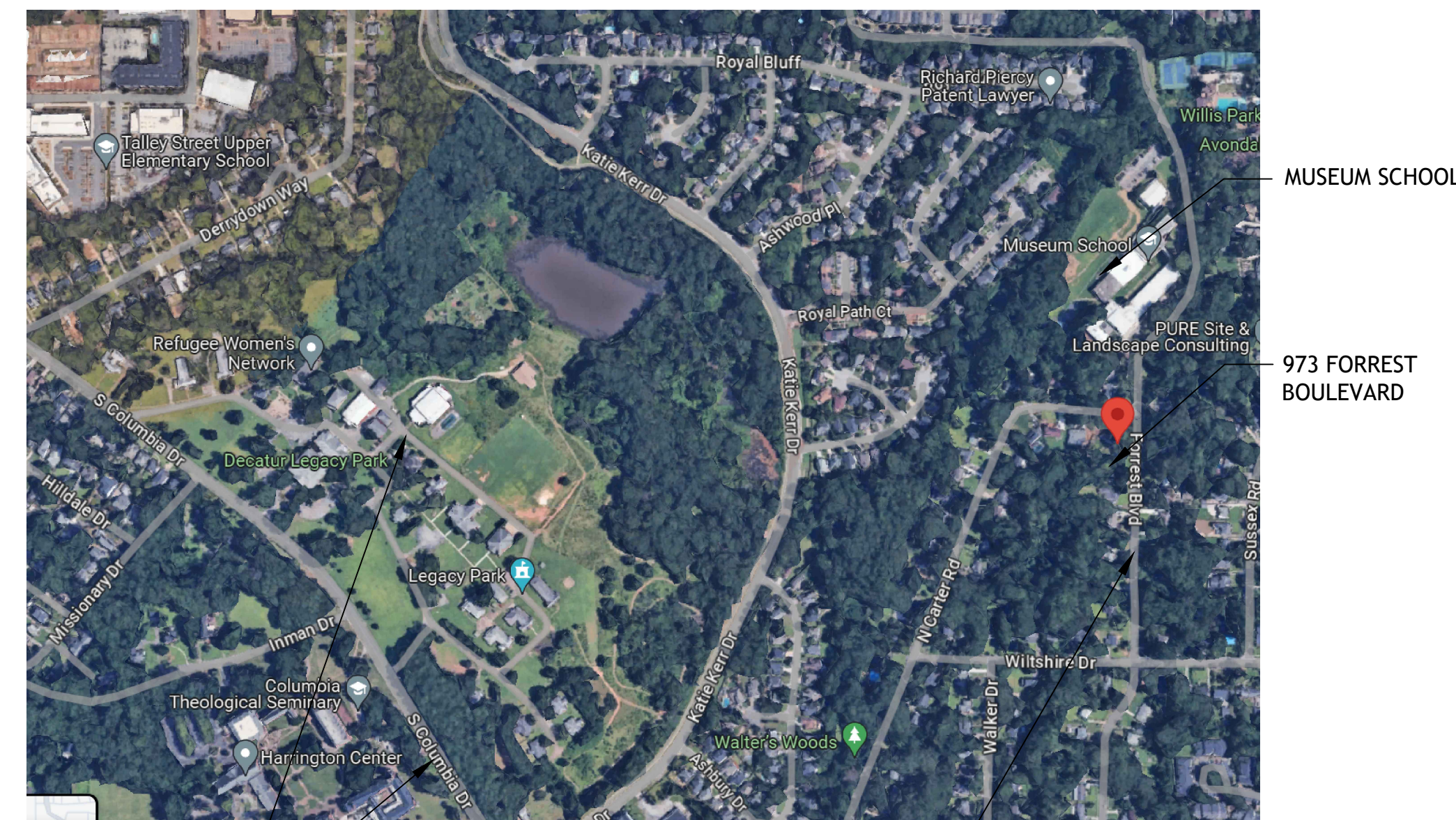
CONTRACTOR

INTOWN CRAFTSMEN

DRAWING INDEX

SHEET NUMBER	SHEET NAME	COUNT
A0-00	COVER PAGE	1
A0-01	SITE PLAN	1
A1-00	EXISTING FLOOR PLANS	1
A1-01	FLOOR PLANS	1
A1-02	ELECTRICAL PLAN	1
A2-00	EXISTING ELEVATIONS	1
A2-01	PROPOSED ELEVATIONS	1
S1-00	FOUNDATION PLAN	1
S1-01	FRAMING PLAN	1

VICINITY MAP



DECATUR LEGACY PARK
SOUTH COLUMBIA DRIVE

FORREST BOULEVARD

DRAWING CONVENTION

DRAWING WALL SECTION

DRAWING ELEVATION

NOTE REFERENCE

DETAIL

BREAK LINE

PARTITION TYPE

ROOM NAME
[RM#] — ROOM NAME AND NUMBER

0' - 0" — REQUIRED CLEAR DIMENSION

0' - 0" — DIMENSION TO FACE FINISH

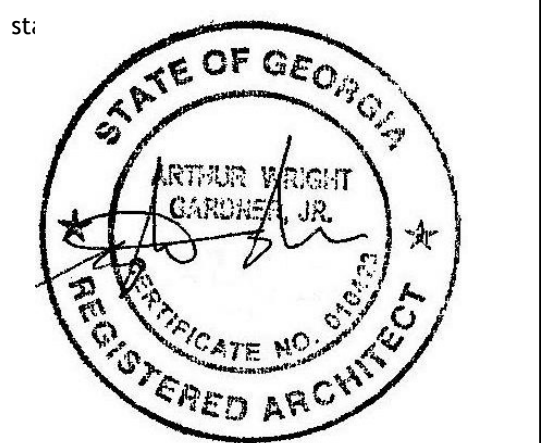
0' - 0" A.F.F. — ELEVATION DATUM

EXISTING WALL TO REMAIN

NEW WALL

DOOR NUMBER

WINDOW NUMBER



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revisions
No. Description Date

No.	Description	Date

sheet title:

COVER PAGE

project number: 24-nn
drawing date: MM.DD.2023
scale: as noted

sheet number:

A0-00

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 ISSUED FOR CONSTRUCTION



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revisions

No.	Description	Date

sheet title:

SITE PLAN

project number: 24-nnn
drawing date: MM.DD.2023
scale: as noted

sheet number:

A0-01

NOT ISSUED FOR CONSTRUCTION
ISSUED FOR CONSTRUCTION

GRASSING SCHEDULE
(HYDROSEEDING RATES)

D01 MULCHING RATES

MATERIALS: CHOOSE ONE OF THE FOLLOWING
1. DRY STRAW OR HAY - APPLY AT A DEPTH OF 2 TO 4 INCHES
2. WOOD WASTE - APPLY AT A DEPTH OF 2 TO 3 INCHES
3. CUTBACK ASPHALT - APPLY AT 100 GALLONS PER ACRE
4. POLYETHYLENE FILM - SECURE COVER BANKS

NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING SEASON MAY BE ACCOMPLISHED WITH STRAW OR HAY 3 TONS/ACRE
WOOD WASTE BANK BANKS MUST BE 3" DBH APPROX. 64 TONS/ACRE

NOTE: SEE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA FOR ADDITIONAL SEED TYPES.

SPECIES	RATE/TONS/ACRE	DATES	LIME	FERTILIZER (LBS/ACRE)		
				N	P ₂ O ₅	K ₂ O
WINTER RYE	1.5 - 2 LBS.	10/15 - 11/15	1 TON/ACRE	60 - 90	120 - 180	120 - 180
"WHEEPING" LOUPOURAS	2-3 LBS.	3/1 - 3/31	1 TON/ACRE	60 - 90	120 - 180	120 - 180
WYHAI	2-3 LBS.	3/1 - 3/31	1 TON/ACRE	60 - 90	120 - 180	120 - 180
RYEGRASS, ANNUAL	2-3 LBS.	8/1 - 1/31	1 TON/ACRE	60 - 90	120 - 180	120 - 180

*HYDROSEED ON ALL 3:1 (H:V) SLOPES.

D02 TEMPORARY VEGETATION

SPECIES	RATE/TONS/ACRE	DATES	LIME	FERTILIZER (LBS/ACRE)		
				N	P ₂ O ₅	K ₂ O
WINTER RYE	1.5 - 2 LBS.	10/15 - 11/15	1 TON/ACRE	60 - 90	120 - 180	120 - 180
"WHEEPING" LOUPOURAS	2-3 LBS.	3/1 - 3/31	1 TON/ACRE	60 - 90	120 - 180	120 - 180
WYHAI	2-3 LBS.	3/1 - 3/31	1 TON/ACRE	60 - 90	120 - 180	120 - 180
RYEGRASS, ANNUAL	2-3 LBS.	8/1 - 1/31	1 TON/ACRE	60 - 90	120 - 180	120 - 180

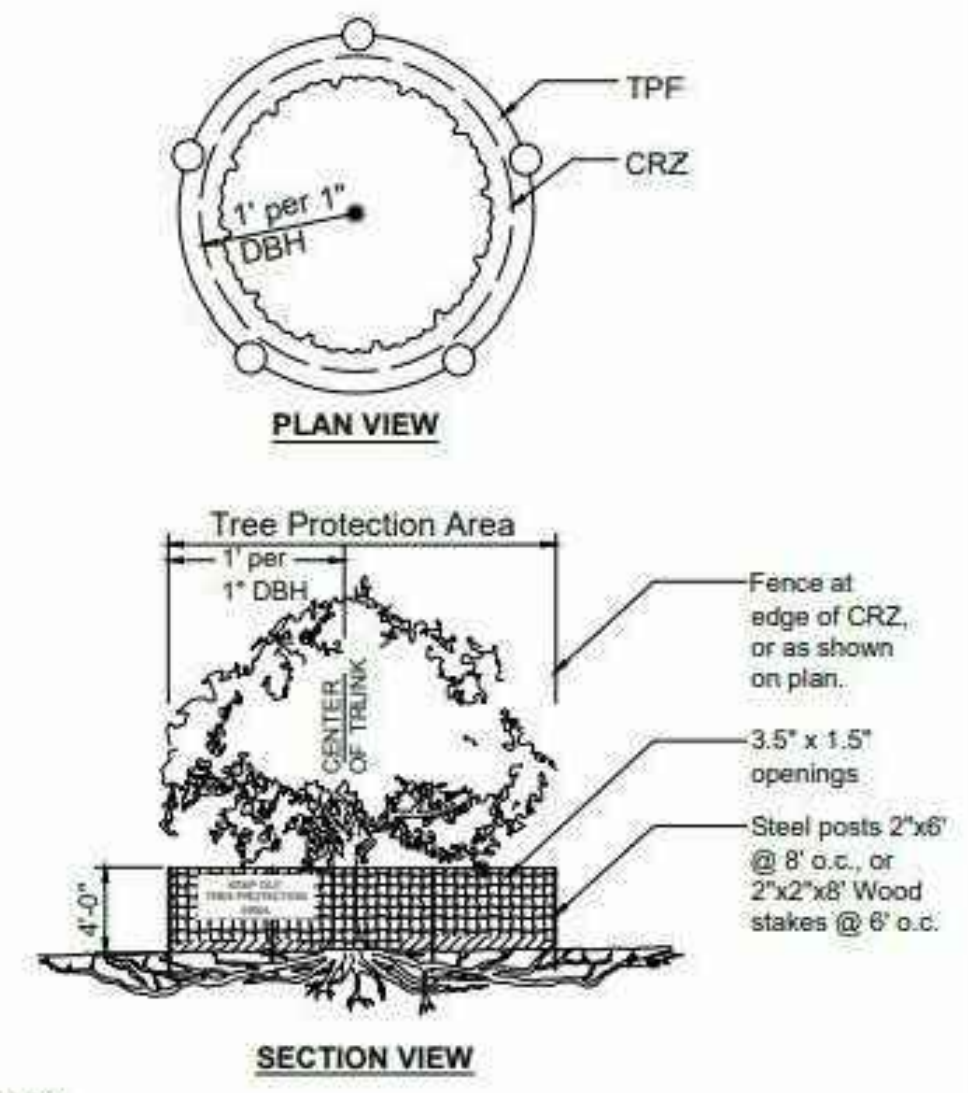
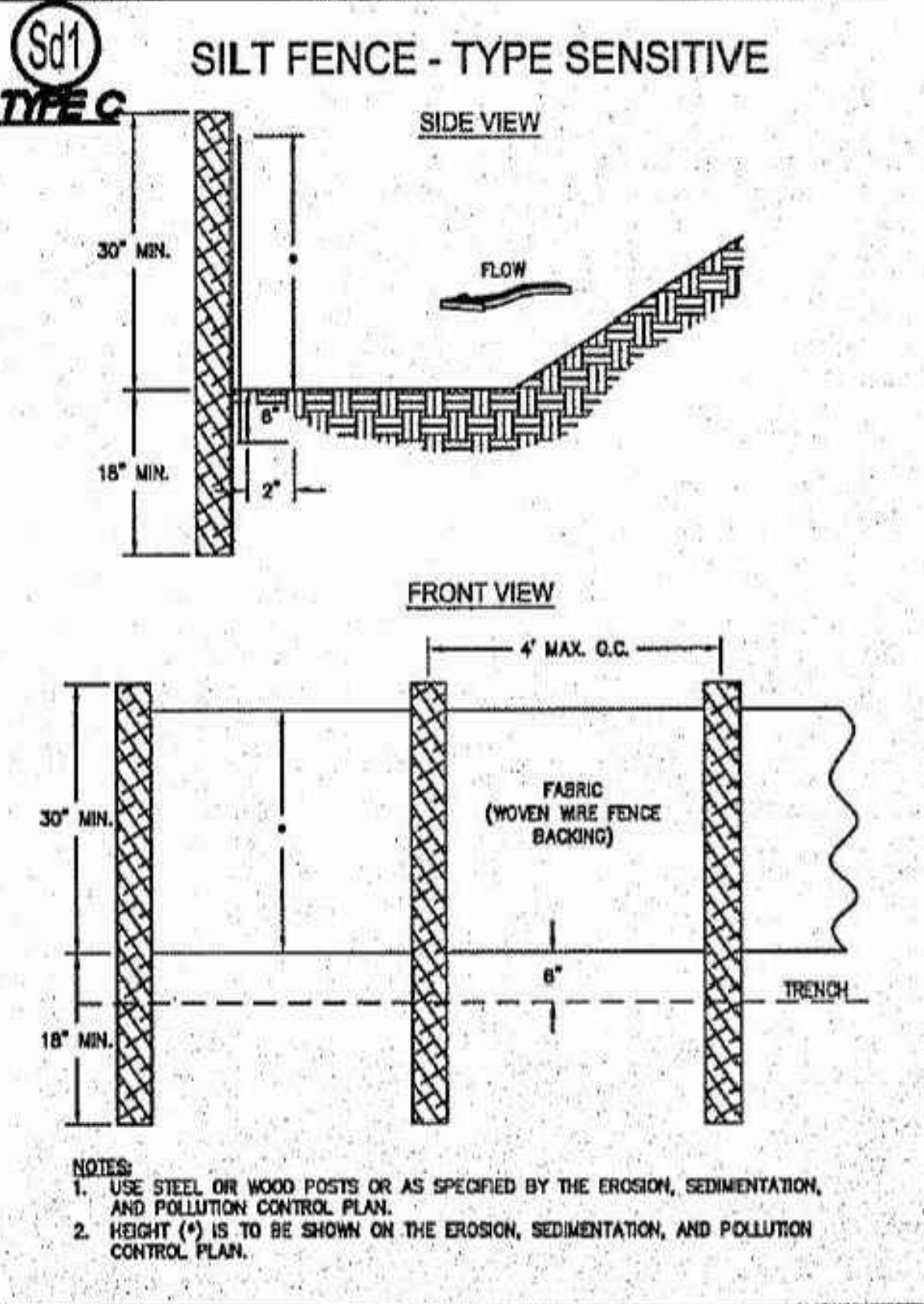
*HYDROSEED ON ALL 3:1 (H:V) SLOPES.

D03 PERMANENT VEGETATION

SPECIES	RATE/TONS/ACRE	DATES	LIME	FERTILIZER (LBS/ACRE)		
				N	P ₂ O ₅	K ₂ O
MULLED BERBERIS	2 LBS.	1/15 - 3/15	1 TON/ACRE	60 - 90	120 - 180	120 - 180
UNMULLED BERBERIS	2 LBS.	3/15 - 6/15	1 TON/ACRE	60 - 90	120 - 180	120 - 180
PECULIE	3 - 10 LBS.	8/1 - 11/15	1 TON/ACRE	60 - 90	120 - 180	120 - 180
BANJA, PENSACOLA	0.2 - 1.2 LBS.	1/15 - 3/31	1 TON/ACRE	60 - 90	120 - 180	120 - 180

D04 SOD PLANTING REQUIREMENTS

SPECIES	VARIETIES	RESOURCE AREA	GROWING SEASON	WARM WEATHER	FERTILIZER REQUIREMENTS FOR SOD			NITROGEN TOP DRESSING RATE (LBS/ACRE)	
					TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)		RATE (LBS/ACRE)
BERBERIS	COMMON TURKEY TURKISH	M/L P/C	W	W	CLAS	FIRST SEASON	6-12-12	7500	50-100
					CRASS	SECOND MAINTENANCE	10-10-10	1000	400
BAMBERG	PENSACOLA	P/C	W	W	WARM	FIRST SEASON	6-12-12	7500	50-100
					CRASS	SECOND MAINTENANCE	10-10-10	1000	400
CENTIFID	COMMON BITTLEBLUE	C	W	W	CLAS	FIRST SEASON	6-12-12	7500	50-100
					CRASS	SECOND MAINTENANCE	10-10-10	1000	400
ST. AUGUSTINE	BITTLEBLUE	C	W	W	WARM	FIRST SEASON	6-12-12	7500	50-100
					CRASS	SECOND MAINTENANCE	10-10-10	1000	400
ZOYSA	EMERALD WIKER	P/C	W	W	WARM	FIRST SEASON	6-12-12	7500	50-100
					CRASS	SECOND MAINTENANCE	10-10-10	1000	400
TALL FESCUE	KENTUCKY 31	M/L P/C	W	W	WARM	FIRST SEASON	6-12-12	7500	50-100
					CRASS	SECOND MAINTENANCE	10-10-10	1000	400



TREE STATEMENT
NO TREES ARE REMOVED OR DESTROYED, SEE SITE PLAN

CONSTRUCTION ENTRANCE:
USE EXISTING DRIVEWAY FOR DUMPSTER, PORTALET AND CONSTRUCTION STAGING, SEE SITE PLAN

UTILITIES:
CONNECT TO EXISTING UTILITIES IN HOUSE INCLUDING ELECTRICAL, PLUMBING AND GAS



CALL BEFORE YOU DIG, HAVE UTILITIES LOCATIONS MARKED PRIOR TO ANY SITE WORK ACTIVITIES

DIRT STATEMENT:
NO REGRADING GRADING PROPOSED

GENERAL INFORMATION

DEKALB COUNTY GEORGIA R-75 SINGLE FAMILY RESIDENTIAL DISTRICT

- REQUIRED LOT AREA = 10,000 SQ. FT. ; ACTUAL LOT AREA = 20,577 SQ. FT., LOT CONFORMS
- REQUIRED FRONTAGE = 75 FEET ; ACTUAL LOT FRONTAGE = 99.22 FEET, LOT CONFORMS
- REQUIRED SETBACKS = FRONT 35', SIDE YARD 7.5', REAR 40'
- MAXIMUM LOT COVERAGE = 35% ; SEE CALCULATION BELOW FOR ACTUAL LOT COVERAGE

EXISTING IMPERVIOUS AREAS: EXISTING HOUSE - 1616 SF EXISTING FRONT DRIVE & WALKWAYS - 1085 SF EXISTING CARPORT - 191 SF EXISTING REAR PATIO AND STOOP - 658 SF EXISTING REAR SHED - 42 SF EXISTING REAR WALLS AND PAVERS - 98 SQ FT	PROPOSED IMPERVIOUS AREAS: EXISTING HOUSE - 1616 SF EXISTING FRONT DRIVE & WALKWAYS - 1085 SF EXISTING CARPORT - 191 SF PROPOSED NEW DECK AND SCREENED PORCH - 744 SF REMAINING REAR PATIO AND STOOP - 406 SF EXISTING REAR SHED - 42 SF EXISTING REAR WALLS AND PAVERS - 98 SQ FT
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TOTAL - 3690 SF TOTAL - 4182 SF

IMPERVIOUS (3690) /LOT AREA (20,577 SF)= EXISTING LOT COVERAGE - 17.9%, CONFORMS

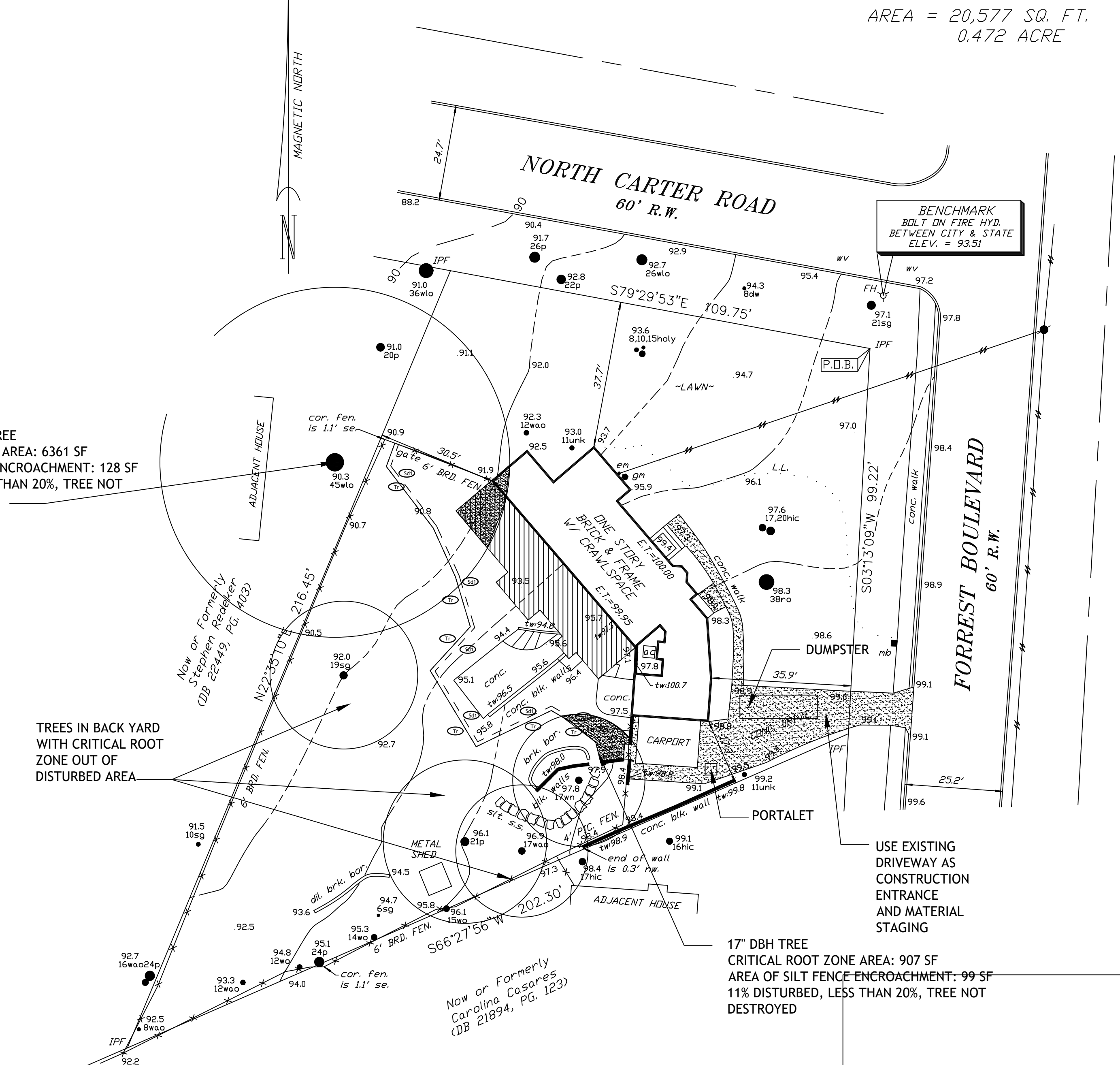
IMPERVIOUS (4182) /LOT AREA (20,577)= PROPOSED LOT COVERAGE - 20.3%, CONFORMS

WORK AREA INSIDE OF SILT FENCE:
2581 SQ FT

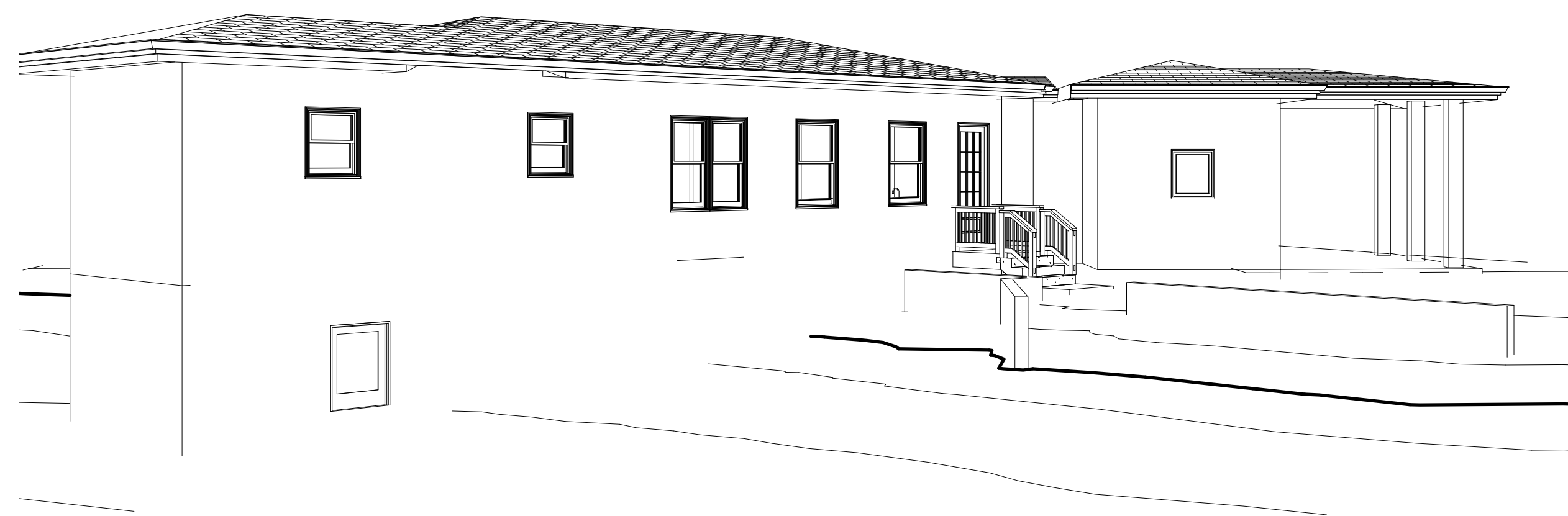
ACTUAL NEWLY DISTURBED/IMPERVIOUS AREA CREATED BY DECK AND PORCH:
492 SQ FT

NEIGHBOR 45" DBH TREE
CRITICAL ROOT ZONE AREA: 6361 SF
AREA OF NEW DECK ENCROACHMENT: 128 SF
2% DISTURBED, LESS THAN 20%, TREE NOT DESTROYED

ADDRESS:
973 FORREST BOULEVARD
DECATUR, GA 30030



1 0.2 SITE PROPOSED
A0-01 SCALE: 1:20

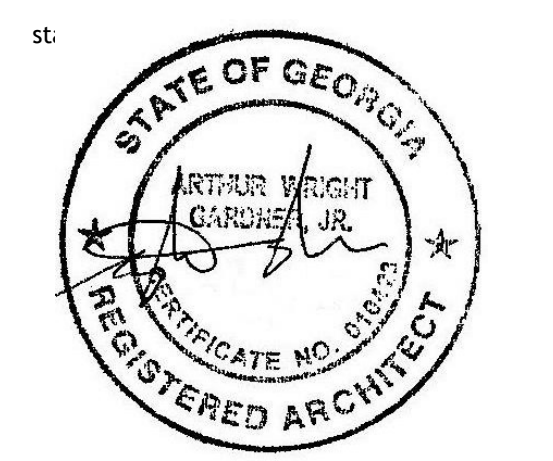


KEYNOTE LEGEND	
NUMBER	KEYNOTE
1	REMOVE EXISTING STAIR, RAILING & HARDWARE
2	REMOVE EXISTING FRAMING, DECK BOARDS AND RAILING AT LANDING
3	REMOVE EXISTING WINDOW AND FRAMING TO FLOOR LEVEL TO ACCOMMODATE NEW DOOR IN SAME LOCATION
4	REMOVE EXISTING DOOR, FRAME AND SECTION OF WALL TO ACCOMMODATE NEW WINDOW

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154 Krog Street, #125
Atlanta, GA 30307
404-218-8460

**SCREEN PORCH AND
DECK ADDITION**
973 FORREST BOULEVARD
DECATUR, GA 30030



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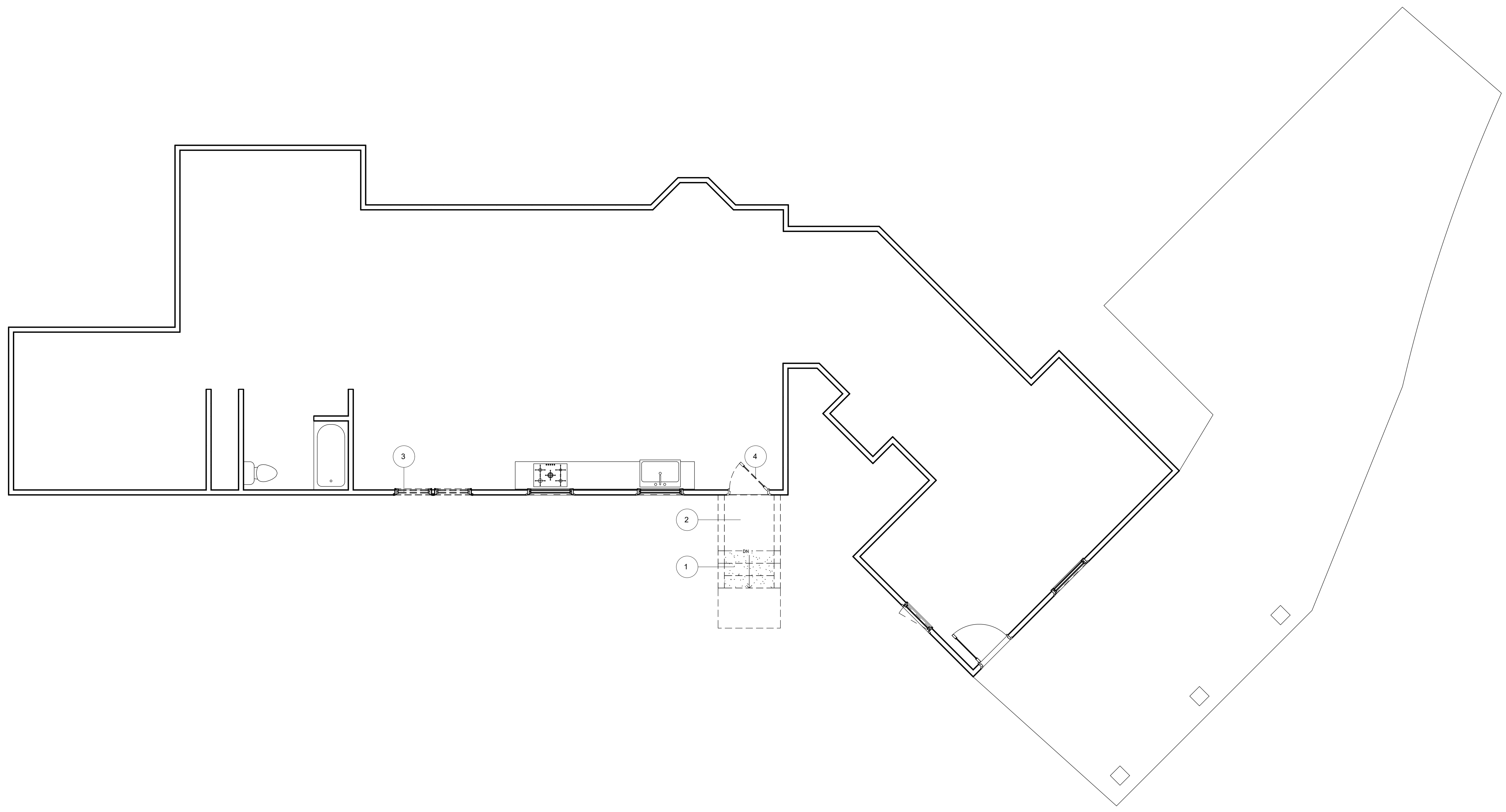
revisions

No.	Description	Date

sheet title:
EXISTING FLOOR PLANS

project number: 24-nnn
drawing date: MM.DD.2023
scale: as noted

sheet number:
A1-00
 NOT ISSUED FOR CONSTRUCTION
 ISSUED FOR CONSTRUCTION



1 1.0. GROUND FLOOR DEMO
A1-00 1/4" = 1'-0"



WINDOW SCHEDULE									
LEVEL	MARK	WIDTH	HEIGHT	HEAD HEIGHT	TYPE MARK	DESCRIPTION	EGRESS	TEMPERED	
GROUND FLOOR LINE	1	2'-8"	5'-2"	8'-0"	E	DBL HUNG	YES		

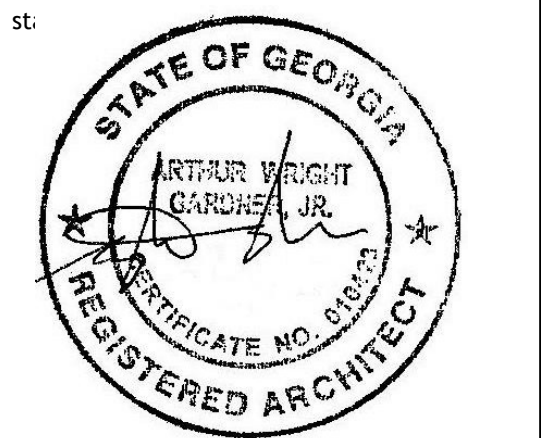
DOOR SCHEDULE							
Level	Mark	WIDTH	HEIGHT	TYPE MARK	DESCRIPTION	TEMPERED	
GROUND FLOOR LINE	GFDD-01	5'-0"	8'-0"	A	BTM PNL DBL ENTRY		

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**SCREEN PORCH AND
DECK ADDITION**

973 FORREST BOULEVARD
DECATUR, GA 30030



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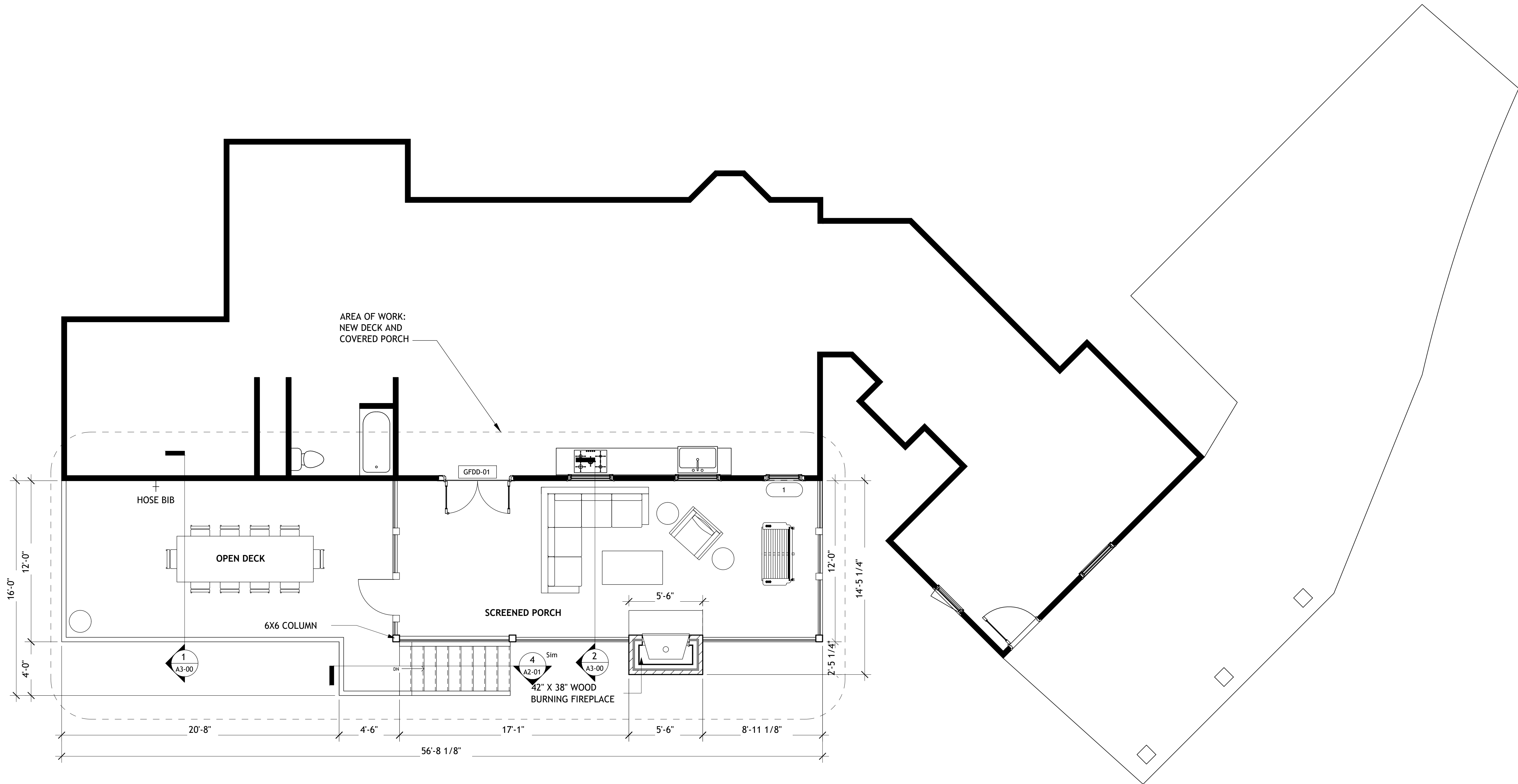
No.	Description	Date

sheet title:
FLOOR PLANS

project number: 24-nnn
drawing date: MM.DD.2023
scale: as noted

sheet number:
A1-01

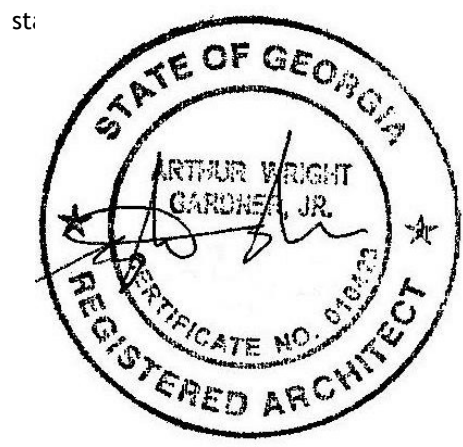
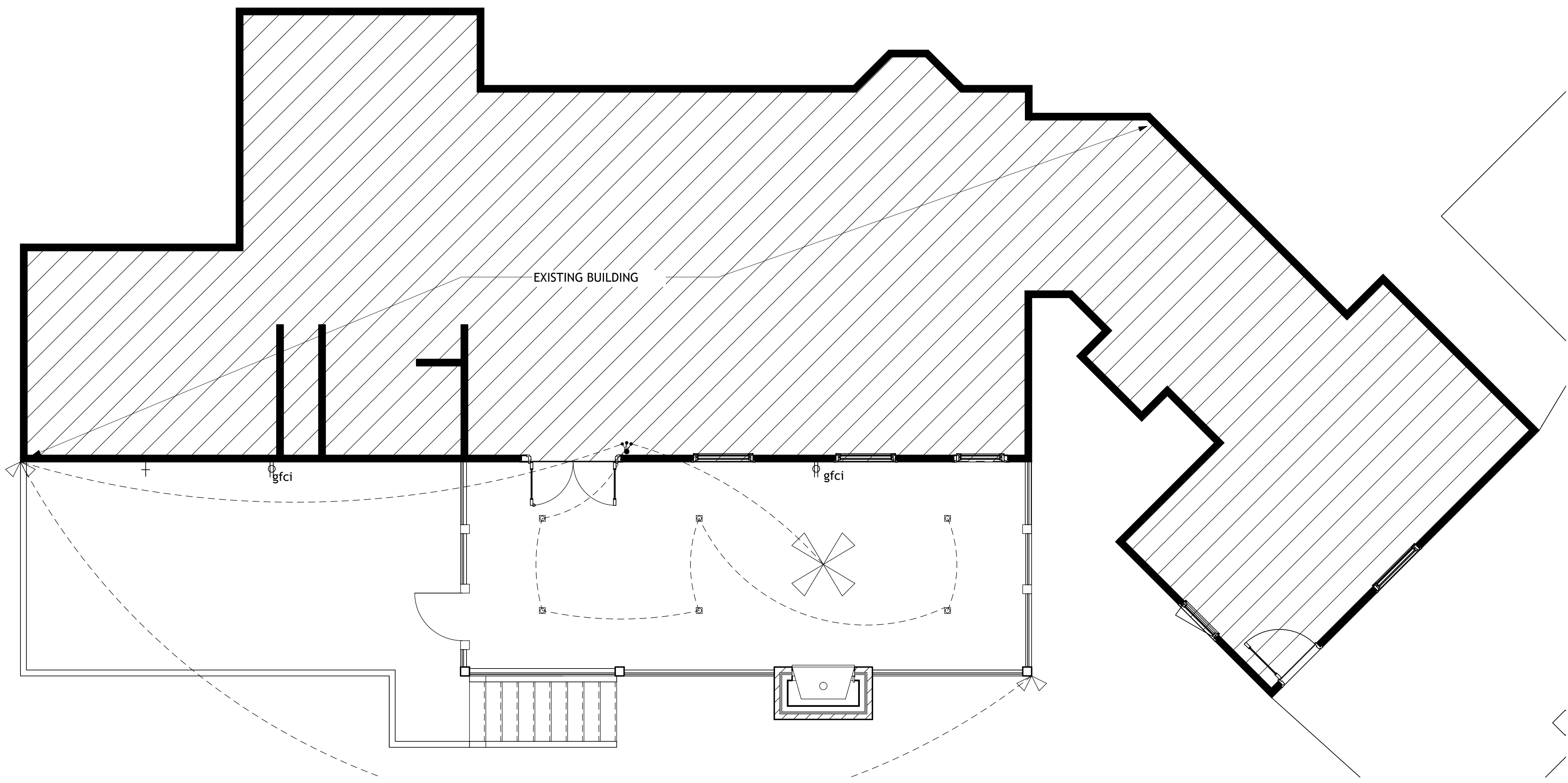
NOT ISSUED FOR CONSTRUCTION
 ISSUED FOR CONSTRUCTION



1 1.1 GROUND FLOOR PROPOSED
A1-01 1/4" = 1'-0"

ELECTRICAL LEGEND

	SMOKE DETECTOR
	CARBONMONOXIDE DETECTOR
	CEILING FAN WITH DIRECTIONAL LIGHTS
	WALL MOUNTED LIGHTS
	CENTRAL LIGHT (DIRECTIONAL)
	PENDANT LIGHT
	CAN LIGHT
	FLUORESCENT LIGHTS
	EXTRACTOR
	FLOOD LIGHT



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revisions

No.	Description	Date

sheet title:

**ELECTRICAL
PLAN**

project number: 24-nnn
drawing date: MM.DD.2023
scale: as noted

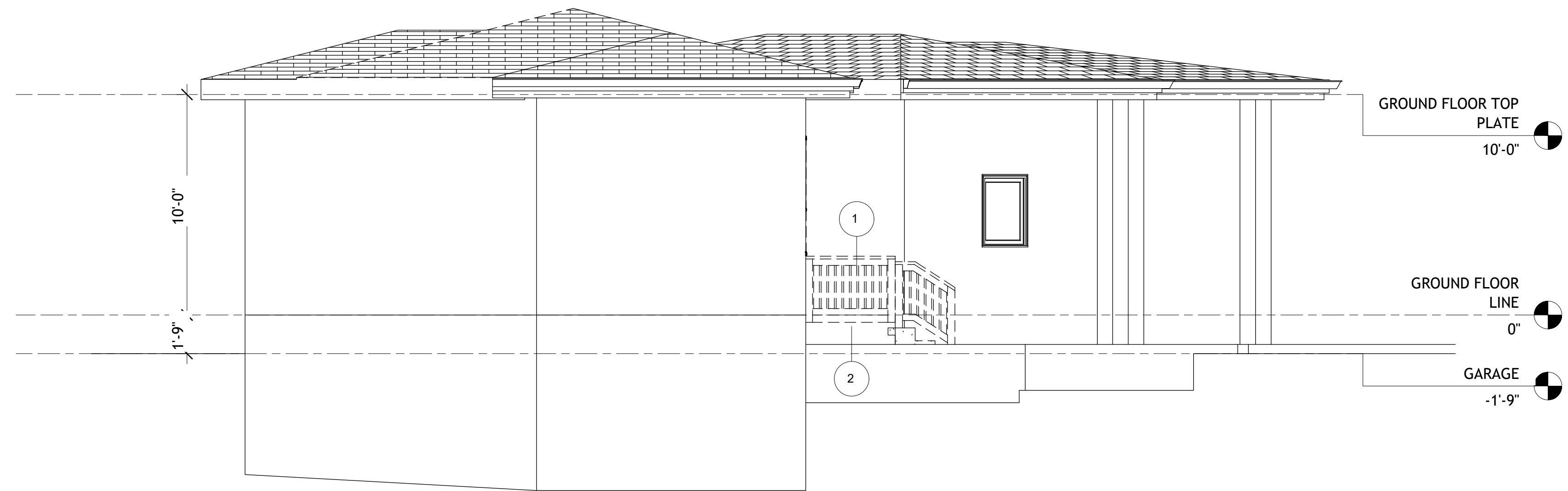
sheet number:

A1-02

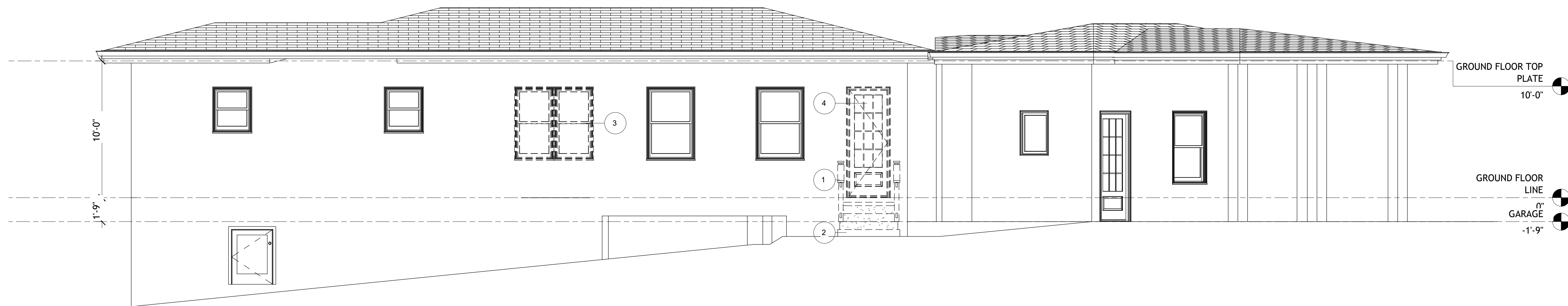
NOT ISSUED FOR CONSTRUCTION
 ISSUED FOR CONSTRUCTION

1 1.1 DECK/COVERD PORCH RCP
A1-02 1/4" = 1'-0"

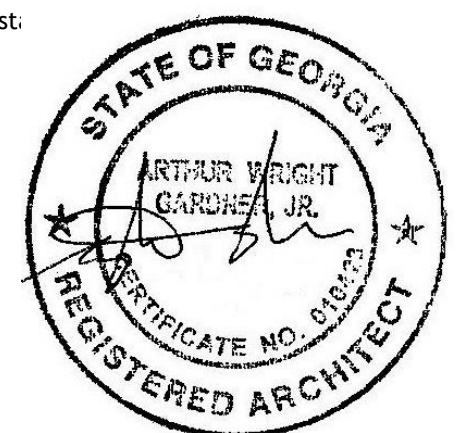
KEYNOTE LEGEND	
NUMBER	KEYNOTE
1	REMOVE EXISTING STAIR, RAILING & HARDWARE
2	REMOVE EXISTING FLOOR JOISTS, SUB FLOOR & FINISHED FLOOR MATERIALS.
3	REMOVE EXISTING WINDOW AND FRAMING BELOW TO FLOOR LEVEL TO ACCOMMODATE NEW DOOR
4	REMOVE EXISTING DOOR, FRAME AND SECTION OF WALL TO ACCOMMODATE NEW WINDOW



2 LEFT-SIDE ELEVATION DEMO
A2-00 1/4" = 1'-0"



1 FRONT ELEVATION DEMO
A2-00 1/4" = 1'-0"



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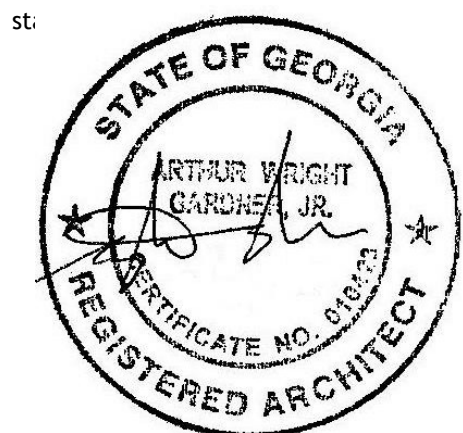
No.	Description	Date

sheet title:
EXISTING ELEVATIONS

project number: 24-nnn
drawing date: MM.DD.2023
scale: as noted

sheet number:
A2-00

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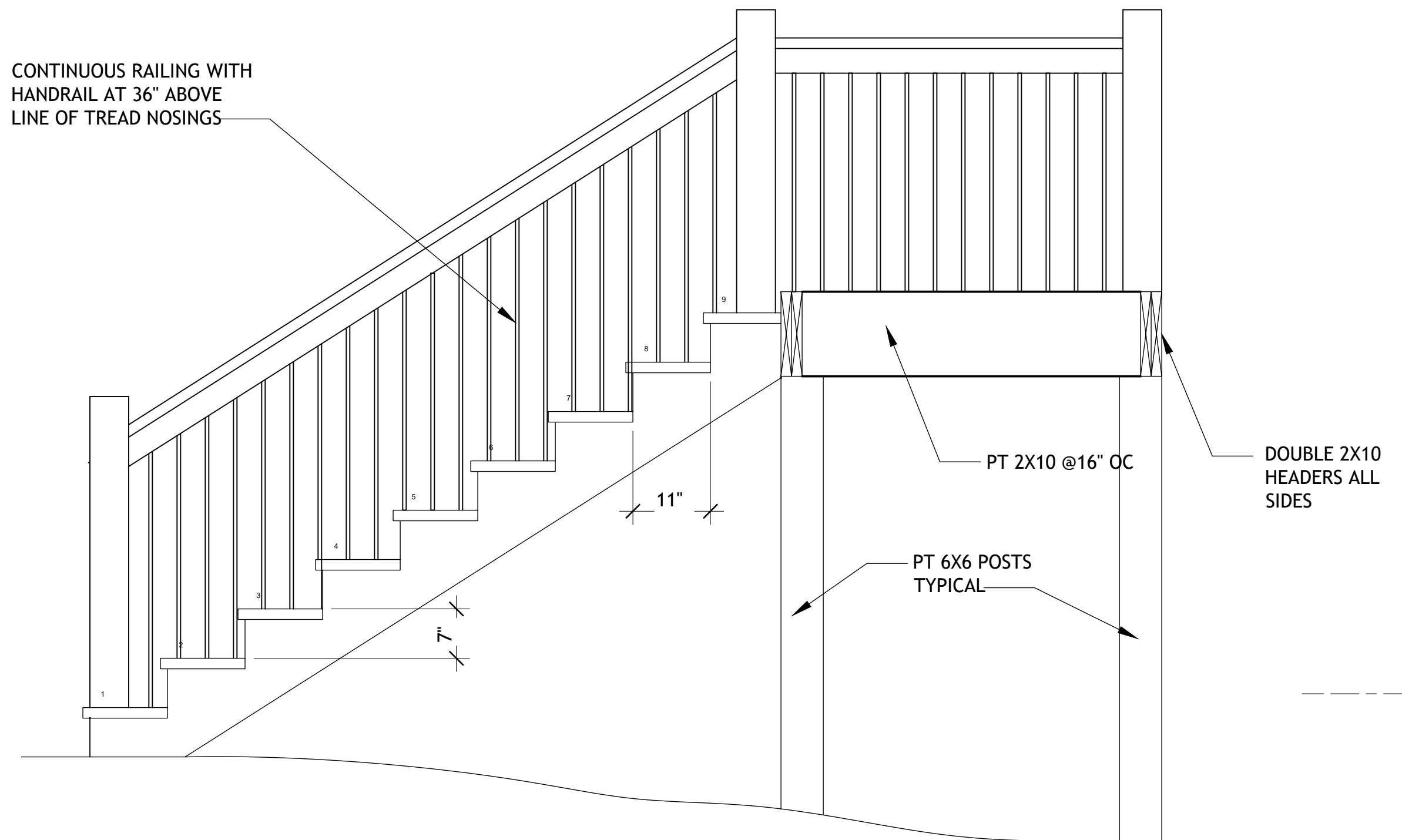
revisions

No.	Description	Date

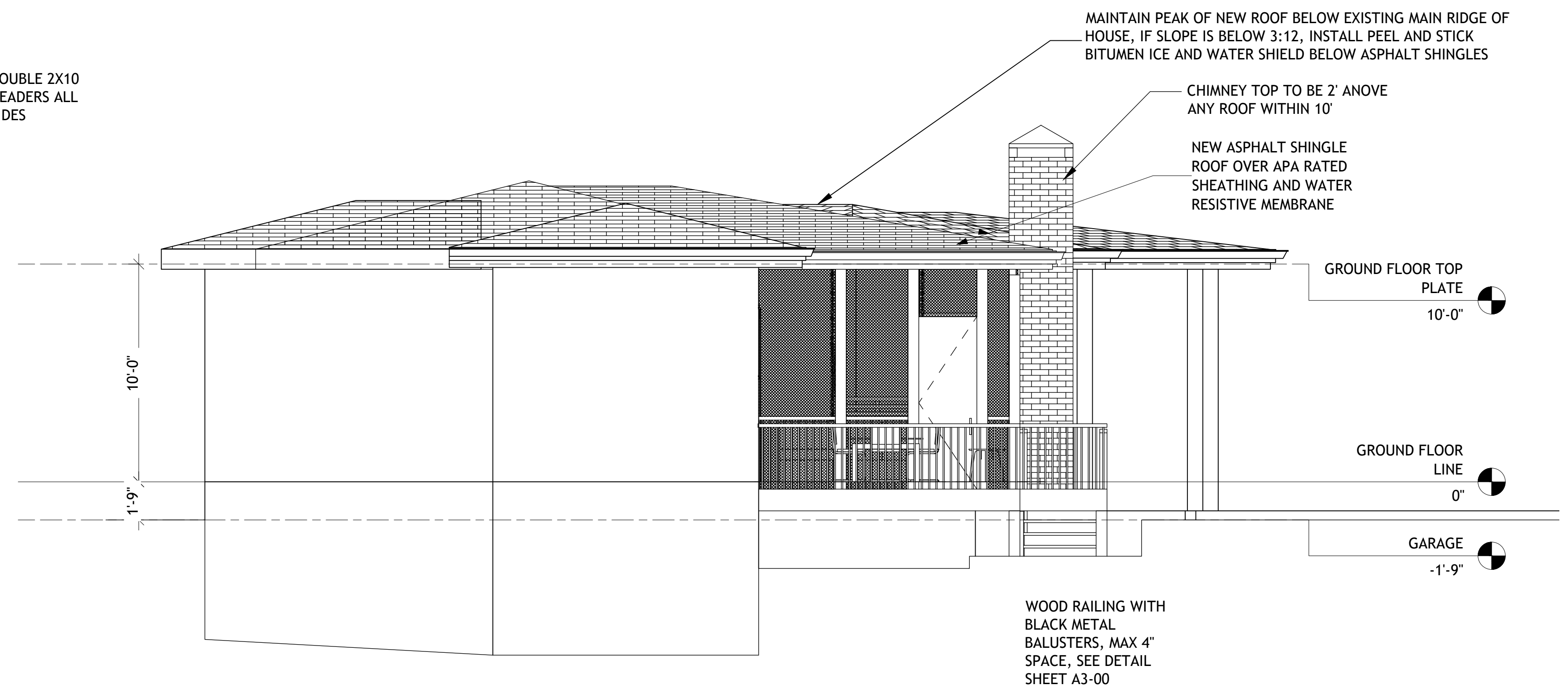
sheet title:
**PROPOSED
ELEVATIONS**

project number: 24-nn
drawing date: MM.DD.2023
scale: as noted

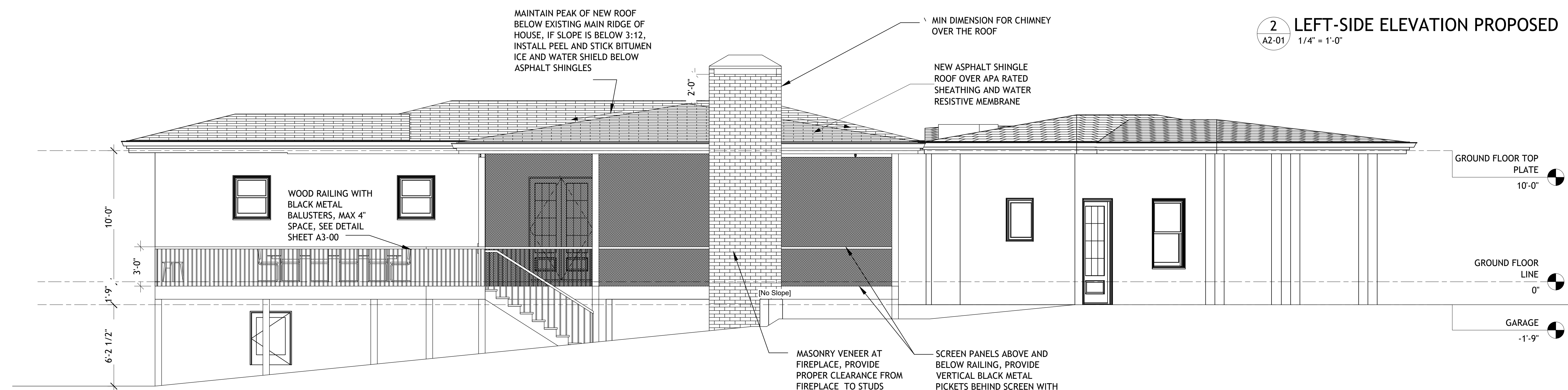
sheet number:
A2-01
 NOT ISSUED FOR CONSTRUCTION
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4 STAIR DETAIL
A2-01 3/4" = 1'-0"



2 LEFT-SIDE ELEVATION PROPOSED
A2-01 1/4" = 1'-0"

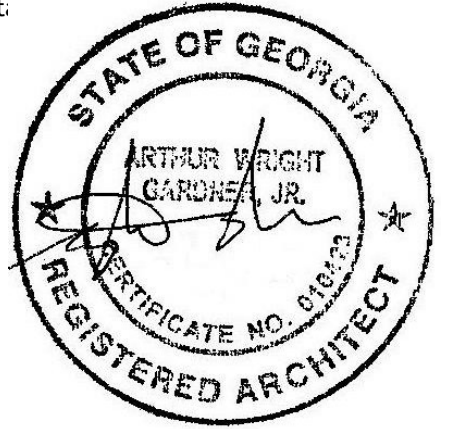


1 FRONT ELEVATION PROPOSED
A2-01 1/4" = 1'-0"

SCREEN PORCH AND
DECK ADDITION

973 FORREST BOULEVARD
DECATUR, GA 30030

ST:



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No.	Description	Date

sheet title:

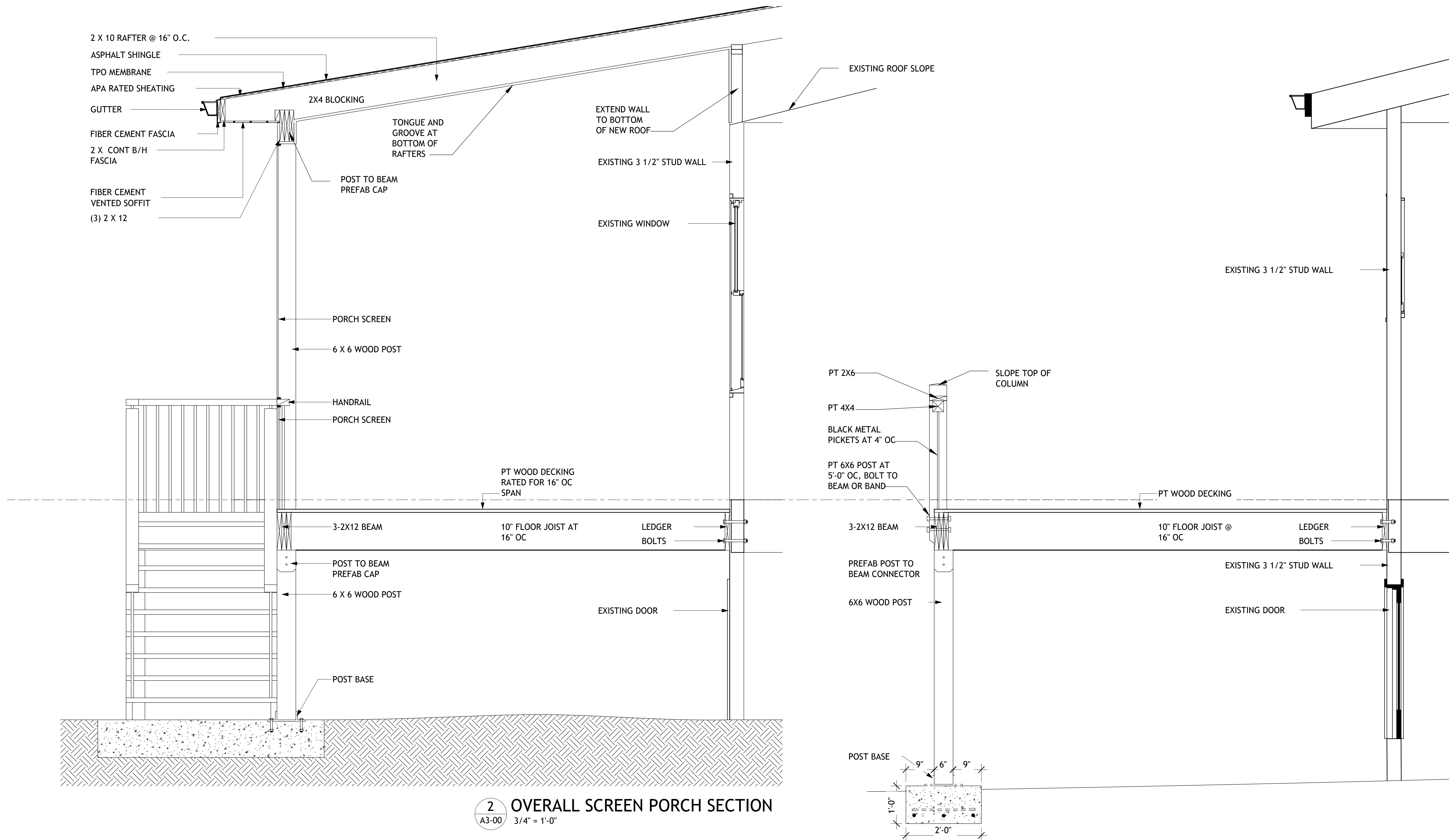
OVERALL
SECTIONS

project number: 24-nn
drawing date: MM.DD.2023
scale: as noted

sheet number:

A3-00

☐ NOT ISSUED FOR CONSTRUCTION
■ ISSUED FOR CONSTRUCTION

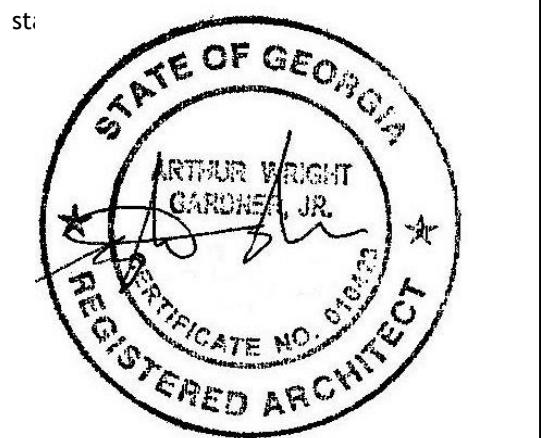


2 OVERALL SCREEN PORCH SECTION
A3-00 3/4" = 1'-0"

1 OVERALL DECK SECTION
A3-00 3/4" = 1'-0"

**SCREEN PORCH AND
DECK ADDITION**

973 FORREST BOULEVARD
DECATUR, GA 30030



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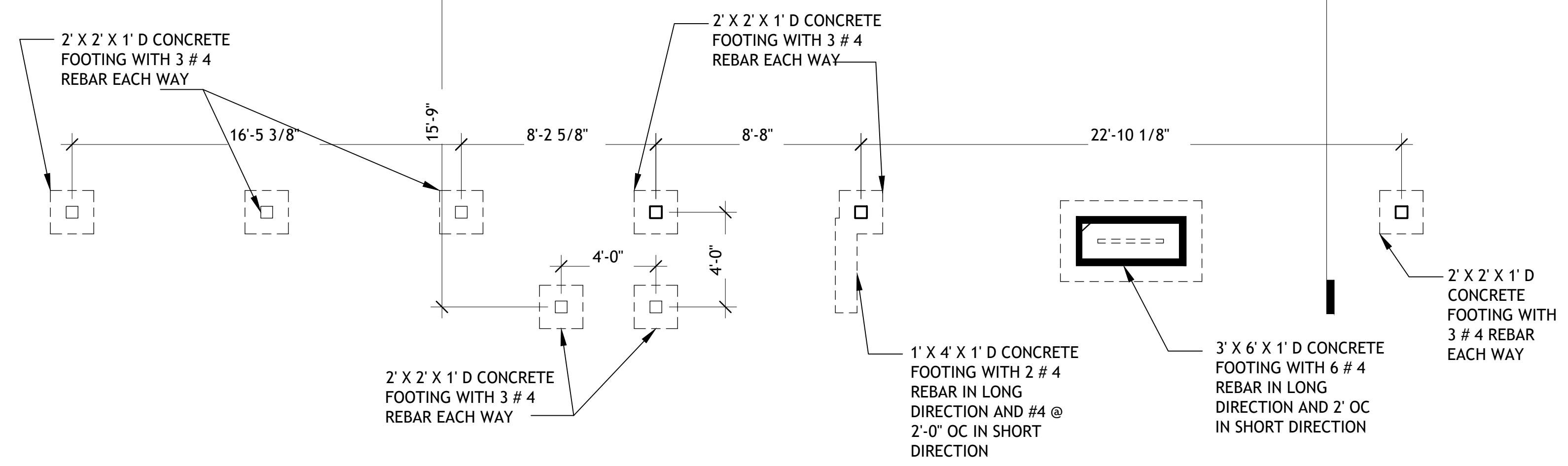
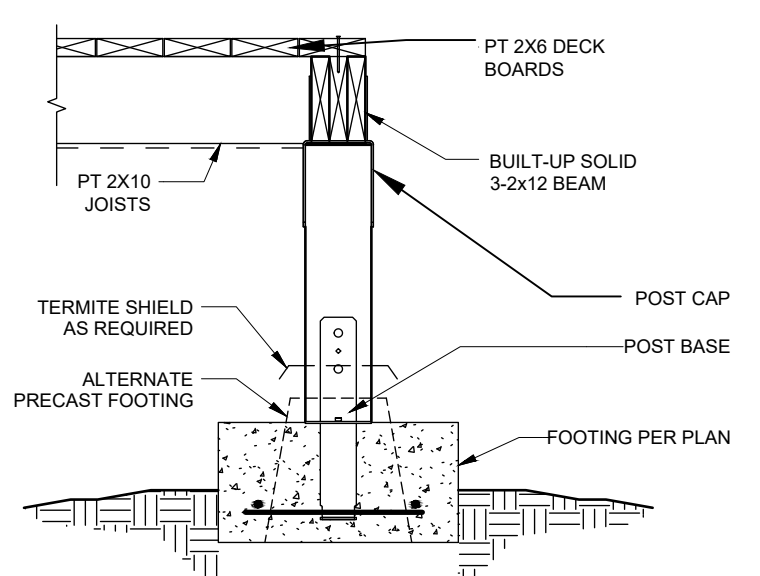
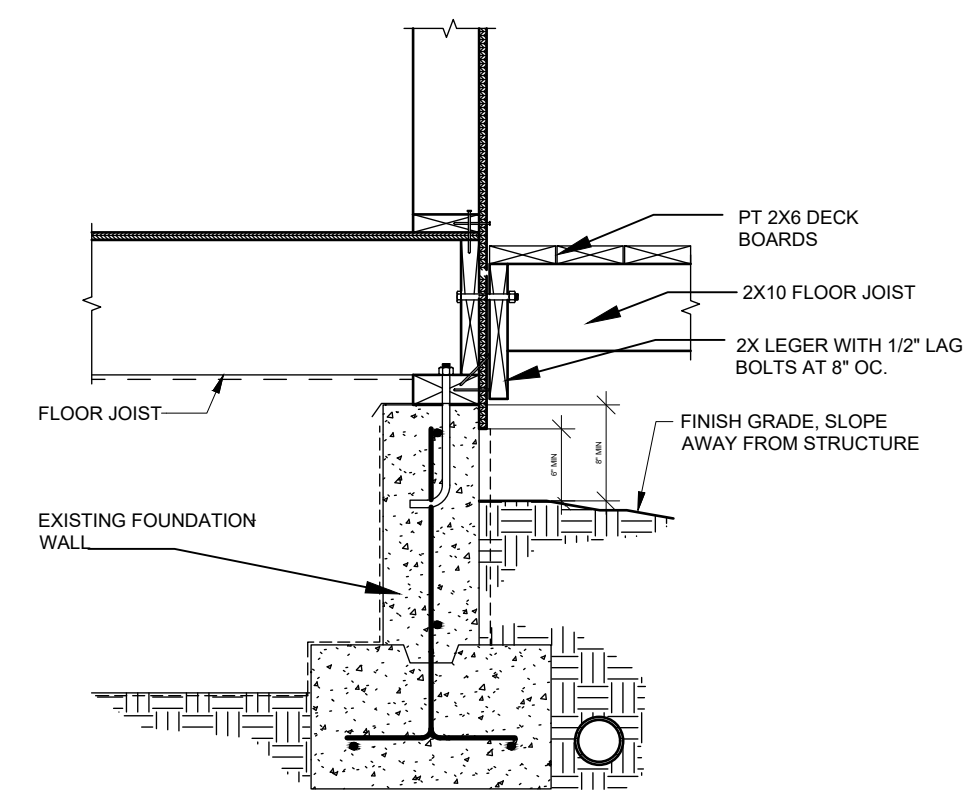
revisions

No.	Description	Date

sheet title:
**FOUNDATION
PLAN**

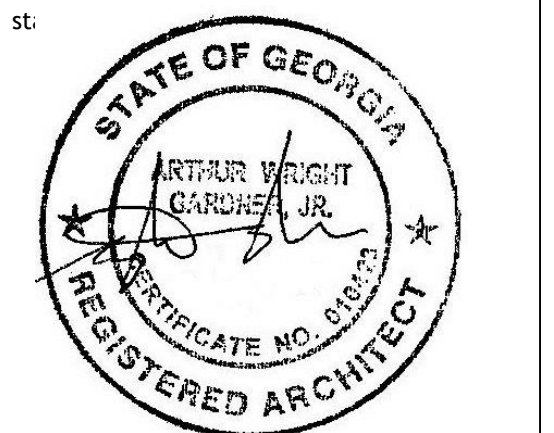
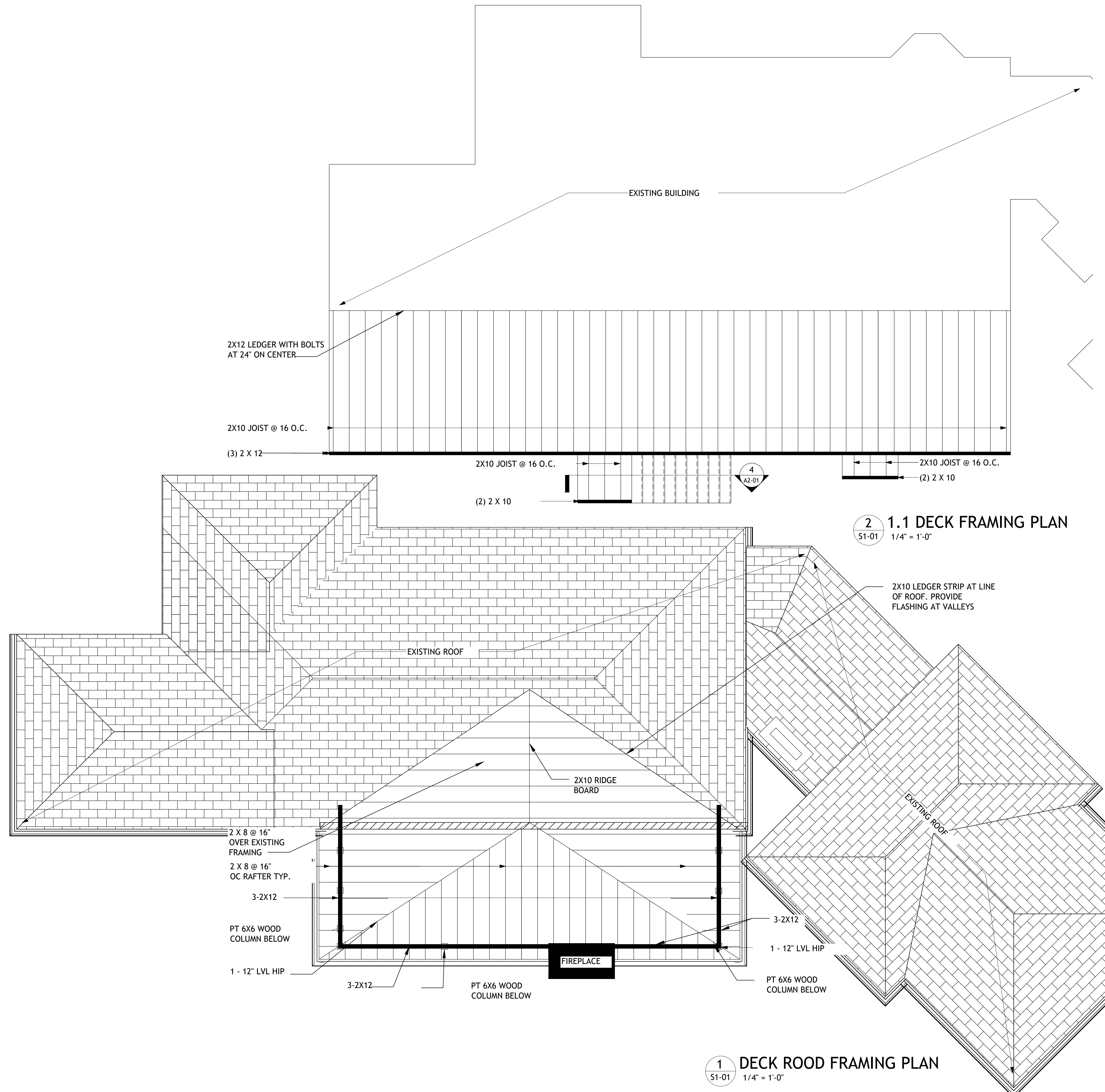
project number: 24-nnn
drawing date: MM.DD.2023
scale: as noted

sheet number:
S1-00
 NOT ISSUED FOR CONSTRUCTION
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2 WALL W/ BRICK VENEER
3/4" = 1'-0"

1 .0.0.WALL FOOTING
1/4" = 1'-0"



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No.	Description	Date

sheet title:
FRAMING PLAN

project number: 24-nnn
drawing date: MM.DD.2023
scale: as noted

sheet number:
S1-01

NOT ISSUED FOR CONSTRUCTION
 ISSUED FOR CONSTRUCTION

May 20, 2024

LETTER OF SUPPORT- VARIANCE

To the Members of the Zoning Board of Appeals:

I own the property next door at 950 N. Carter Rd. I am writing to the members of the zoning board of appeals to express our support for my *neighbor*, Ms. Haley Huckabee, in her effort to improve the appearance of her home by adding a covered porch and rear deck.

Ms. Huckabee is a wonderful neighbor, and I am eager to see *her* project come to fruition. We have reviewed *her* request and plans and are satisfied that *she* is only looking out for *her* own property and the neighborhood.

I understand that the lot the home sits on has an unusual shape, but I ask that you allow *her* to proceed with the project. I urge you to approve *her* request and allow the project to begin as quickly as possible.

Sincerely,

Diana K. Wood

(Printed Name)

Diana K. Wood

(Signature)



PROFESSIONAL LICENSING

GEORGIA SECRETARY OF STATE BRAD RAFFENSPERGER

CORPORATIONS • ELECTIONS • LICENSING • CHARITIES

Licensee Details

Licensee Information

Name: Intown Craftsmen Inc

Owner: Russ Melton

Address: 2107 N. Decatur Road
Sutie 329
Decatur GA 30033

Primary Source License Information

Lic #: RBCO006293

Profession: Residential/General Contractor

Type: Residential Basic Company

Secondary:

Method: Application

Status: Active

Issued: 6/26/2017

Expires: 6/30/2024

Last Renewal Date:

7/8/2022

Associated Licenses

Relationship: Supervisor

Licensee: Melton, Russell Dean

License Type: Residential Basic Qualifying Agent

License #: RBQA006292

License Status: Active

Established: 6/26/2017

Association Date: 10/19/2016

Expiry:

Type: Prerequisite User

Public Board Orders

Please see Documents section below for any Public Board Orders

Other Documents

No Other Documents

Data current as of: May 15, 2024 11:9:13Data current as of: October 23, 2023 17:6:1

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CITY OF ATLANTA

55 Trinity Avenue SW
Suite 1350
Atlanta GA 30303

OCCUPATION TAX REGISTRATION CERTIFICATE
VALID ONLY WHEN OCCUPATION REGISTRATION TAX
REQUIREMENTS ARE PAID

Business Name: Intown Craftsmen, Inc
Business Location: 2323 CHESHIRE BRIDGE RD NE
Atlanta, GA
Owner:
License Number: GBL-0621-03644
Issued Date: 1/30/2024
Expiration Date: 12/31/2024

Business Type(s): 236118 Residential Remodelers
Mailing Address: 2323 CHESHIRE BRIDGE RD NE
Atlanta, GA
License Type: General Business License
Classification: Construction

Mohamed Balla

Mohamed Balla, Chief Financial Officer

DISPLAY THIS CERTIFICATE IN A CONSPICUOUS PLACE AT BUSINESS LOCATION. NOT VALID IF BUSINESS LOCATION DOES NOT COMPLY TO CITY ZONING REQUIREMENTS. NOT VALID UNLESS ACCOMPANIED BY STATE OF GEORGIA LICENSE(S), IF REQUIRED. CERTIFICATE NOT TRANSFERABLE IF BUSINESS TERMINATES OR CHANGES OWNERSHIP DURING CERTIFICATE PERIOD. CALL THE BUSINESS LICENSE OFFICE AT 404-330-6270. THIS CERTIFICATE IS SUBJECT TO ALL APPLICABLE ORDINANCES AND LAWS.

TO BE POSTED IN A CONSPICUOUS PLACE