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ENVOY AT PONCE

623, 631, 635, 641, 649, 655, 657, 671 NORTHERN AVENUE CLARKSTON, GA 30021

FOR INLINE COMMUNITIES

1776 PEACHTREE ST NW, SUITE 260S
ATLANTA, GA 30309
PHONE: 404-895-0913

PREPARED BY:

PLANNERS AND ENGINEERS COLLABORATIVE
 SITE PLANNING | LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | LAND SURVEYING
 350 RESEARCH COURT | PEACHTREE CORNERS, GEORGIA 30092 | (770) 451-2741 | FAX (770) 451-3915

"WE PROVIDE SOLUTIONS"

SITE INFORMATION

- TOTAL ONSITE AREA: 22.34 ACRES / TOTAL AREA DISTURBED 18.65 ACRES.
- BOUNDARY & TOPOGRAPHIC INFORMATION PROVIDED BY PLANNERS AND ENGINEERS COLLABORATIVE, DATED 04/13/2021.
- THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR DEKALB COUNTY, GEORGIA AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER(S) 13089C0086 K, EFFECTIVE DATE 08/15/2019 WAS EXAMINED AND A PORTION OF THE PROPERTY SHOWN HEREIN WAS FOUND TO FALL WITHIN A DESIGNATED FLOOD ZONE "AE" (AREAS OF 100-YEAR FLOOD) OR SPECIAL FLOOD HAZARD ZONE (AREAS OF 500-YEAR FLOOD).
- THERE ARE STATE WATERS LOCATED ON OR WITHIN 200 FEET OF THE SITE.
- THERE ARE NO KNOWN WETLANDS ON THIS SITE
- THE ORTHOMETRIC HEIGHTS (ELEVATIONS AND CONTOURS) SHOWN HEREON WERE DETERMINED BY A COMBINATION OF FIELD RUN SURVEY BY PLANNERS AND ENGINEERS COLLABORATIVE, DATED 04/13/2021 AND DEKALB COUNTY GIS.

SITE DATA

ADDRESS: 623, 631, 635, 641, 649, 655, 657, 671 NORTHERN AVENUE
CLARKSTON, GA 30021

SITE AREA: 22.34 AC
ZONING: RSM

PARCEL ID NUMBERS: 18 045 08 001, 18 045 08 003, 18 045 08 004, 18 045 08 005, 18 045 08 006, 18 045 08 007, 18 045 08 008, 18 045 08 009

OWNER INFORMATION:

OWNER: NORTHERN AVENUE RESIDENTIAL LLC

ADDRESS: 1776 PEACHTREE ST. NW
SUITE 260S
ATLANTA, GA 30309

CONTACT INFORMATION:

ENGINEER: KENNETH WOOD, P.E.
PLANNERS AND ENGINEERS COLLABORATIVE

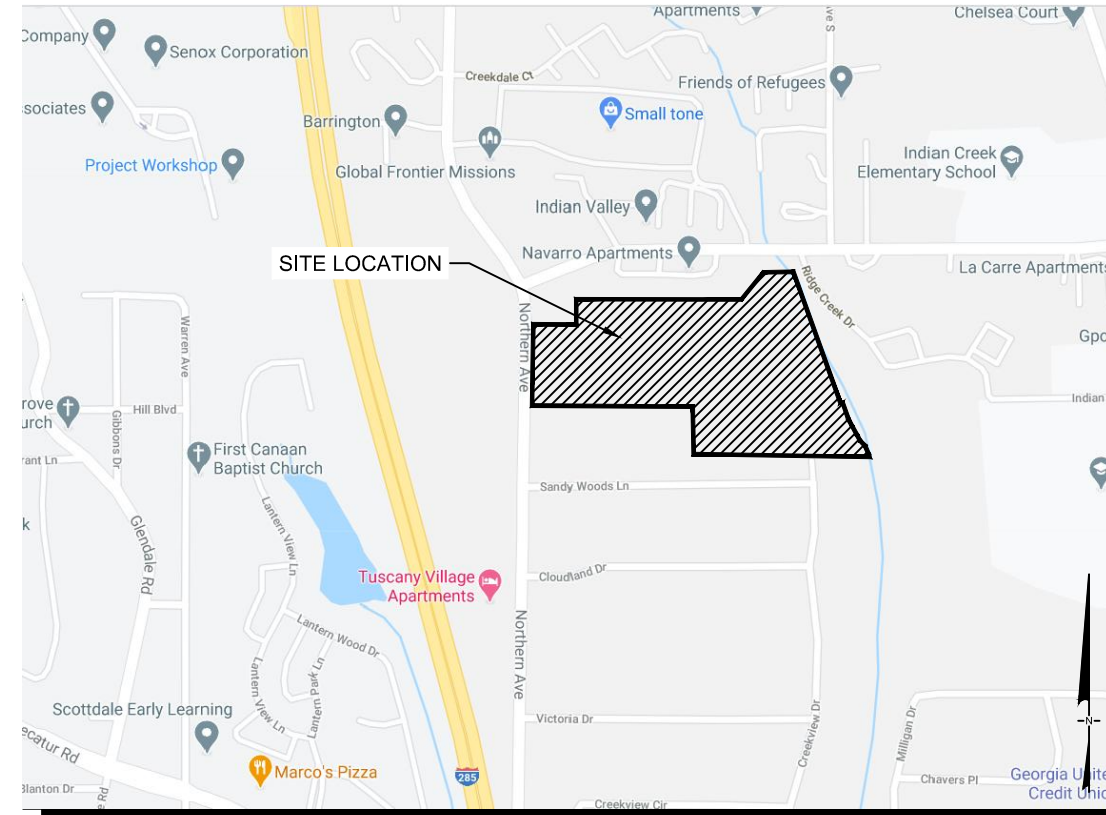
OWNER: NORTHERN AVENUE LLC.

ADDRESS: 350 RESEARCH COURT
PEACHTREE CORNERS,
GEORGIA 30092
PHONE: 770.451.2741
EMAIL: KEN@PEC.PLUS

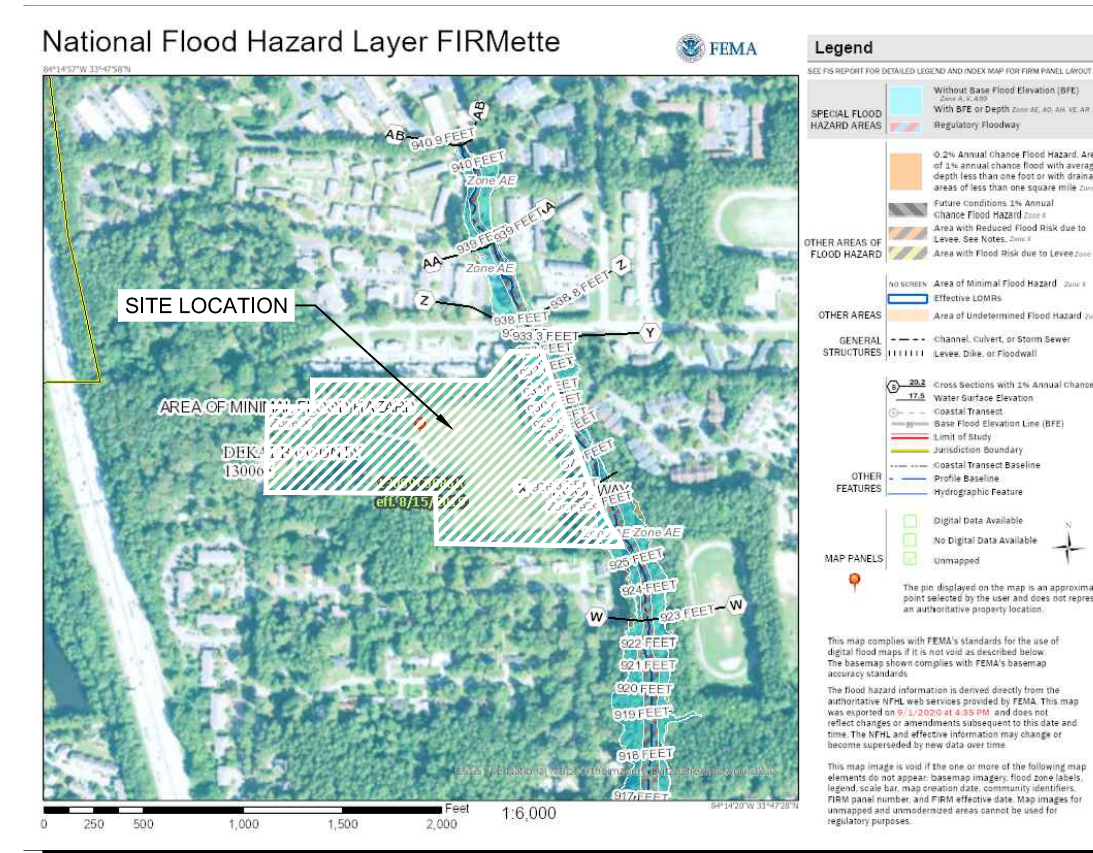
ADDRESS: 1776 PEACHTREE ST NW
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ATLANTA, GA 30309
PHONE: 404-895-0913

PROJECT SCOPE:

THE PROPOSED SITE PLAN IS A MASTER PLANNED DEVELOPMENT WITH 54 SINGLE FAMILY DETACHED UNITS, 67 TOWNHOMES WITH A COMMUNITY CENTER AND MASTER AMENITY AREA, ±3.881' OF PRIVATE ROADS AND ±824' OF ALLEYS, AND EXTENSIVE WALKING TRAILS AND ENHANCED OPEN SPACE THROUGHOUT THE DEVELOPMENT. SUPPORTING INFRASTRUCTURE INCLUDES TWO STORMWATER DETENTION PONDS WHICH WILL BE INTEGRATED INTO THE SITE'S ENHANCED OPEN SPACE AREAS.



SITE LOCATION MAP
NOT TO SCALE



FEMA FIRM MAP
FEMA FIRM PANEL NO.: 13089C0086 K
NOT TO SCALE

NOTE:
STREET LIGHTS WILL BE REQUIRED
ALONG ALL PUBLIC FRONTAGE FOR THE
APPROVAL OF LDP

NEW RECORDED DEEDS:
DEED BOOK 30006 PAGE 299
DEED BOOK 3006 PAGE 308

DEKALB COUNTY SANITATION WILL BE
UTILIZED TO HANDLE HOUSEHOLD
WASTE, YARD DEBRIS, AND RECYCLABLE
MATERIAL.

RE: Northern Avenue, DeKalb County - Sewer 20192.00

Dalympic, Scott <dalympic@dekalbcountyga.gov>
Mimi Kozenski <mimikozenski@dekalbcountyga.gov>
Bryan McCarty <bryanmccarty@dekalbcountyga.gov> & Kenneth Wood

Hello Matt,
The 8" sanitary sewer line shown on the GIS map for 623 Northern Ave. is Public. Assume a 15' sanitary sewer easement for this line since it was installed quite some time ago. Thanks.

Sincerely,
Scott Dalympic, EIT
Senior Staff Engineer, Division of Planning & Sustainability
DeKalb County Department of Environmental Management

330 W. Peachtree St. NW
3rd Floor
Atlanta, GA 30333
404.895.7592
404.895.7591
dekalbcountyga.gov



DEPARTMENT OF PLANNING & SUSTAINABILITY
 CERTIFICATE OF CONFORMITY

I, Kenneth J. Wood, the engineer/surveyor
 for the Subdivision known as Northern Ave. @ Indian Creek Way
 Located in Land Lot 045 of the 18 District, hereby
 certify that no lots platted within the subdivision are non-conforming or will
 result in any non-conforming lots.

Kenneth J. Wood
 SIGNATURE
 Kenneth J. Wood
 NAME (PLEASE PRINT)
 350 Research Court, Suite 200
 ADDRESS
 Peachtree Corners, GA 30092
 CITY, STATE, ZIP

DEPARTMENT OF PLANNING & SUSTAINABILITY
 SUBDIVISION SKETCH PLAT APPLICATION
 Application fee: \$300.00 and 10.00 per lot.
 All applications must be accompanied by eighteen (18) folded copies of the sketch plat.
 (All plans must be folded)

PLEASE PRINT ALL INFORMATION

PROJECT NAME: Northern Avenue at Indian Creek Way
 PROJECT LOCATION: 623, 631, 641, 645, 655, 657, 671, Northern Ave., Clarkston, GA 30021
 PROPOSED USE: Single Family Subdivision, Single Family Townhomes

DATE OF SKETCH PLAT CONFERENCE: _____
 SITE ACREAGE: 22.34 # LOTS: 122 # UNITS: 122 SEWER: X SEPTIC TANK: _____
 PROPERTY OWNER: Western Communities - Bryan Island PHONE: 404.895.0913
 ADDRESS: 48 Atlanta Street
 CITY: Marietta STATE: GA ZIP: 30060
 AGENT AUTHORIZED TO RECEIVE ALL NOTIFICATIONS: PEC-
 ADDRESS: 350 Research Court, Suite 200 PHONE: 878.684.6217
 CITY: Peachtree Corners STATE: GA ZIP: 30092
 DEVELOPER: TBD PHONE: _____
 ADDRESS: _____
 CITY: _____ STATE: _____ ZIP: _____
 ENGINEER/ARCH: Kenneth J. Wood-PEC- PHONE: 878.684.6217
 ADDRESS: 350 Research Court, Suite 200 PHONE: 878.684.6217
 CITY: Peachtree Corners STATE: GA ZIP: 30092
 APPLICANT: Kristal Roggins
 COMPANY: PEC- PHONE: 878.684.6217
 ADDRESS: 350 Research Court, Suite 200, Peachtree Corners, GA 30092
 SIGNATURE OF APPLICANT: Kristal Roggins DATE: 08.10.2021

SKETCH PLAT - AP#1245158

REFERENCE: COMBINATION AP#1245217

SHEET INDEX	
SHEET NO.	SHEET NAME
SP0.0	COVER SHEET
SP0.5	ZONING CONDITIONS
SP1.0	SKETCH PLAT SITE PLAN
SP2.0	SKETCH PLAT MASTER PLAN
SP2.1 - SP2.2	40-SCALE SKETCH PLAT PLANS A-B
SURV	BOUNDARY AND TOPOGRAPHIC SURVEY
SPTS	TREE SURVEY
Z1	ZONING MASTER PLAN - "NORTHERN AVE. AT INDIAN CREEK WAY"
PULE	"PRODUCTIVE URBAN LANDSCAPE EXHIBIT"

P: (770) 451-2741 F: (770) 451-3915

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Planners & Engineers Collaborative+

LAND PLANNING + LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING
ARBORISTS + SURVEYING & CONSTRUCTION + WATER RESOURCES

350 RESEARCH COURT STE 200
PEACHTREE CORNERS, GA 30092

PROJECT
ENVOY AT PONCE
A MASTER PLANNED RESIDENTIAL
DEVELOPMENT

AT
623, 631, 635, 641, 649, 655, 657,
671 NORTHERN AVENUE
CLARKSTON, GA 30021

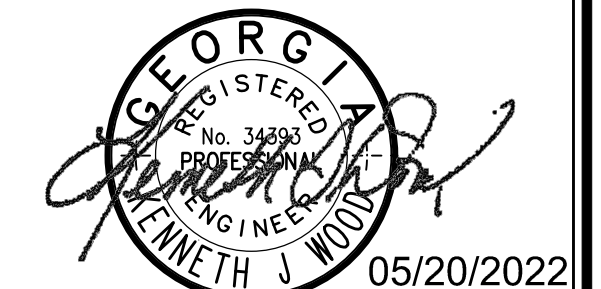
FOR
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ATLANTA, GA 30309
P: 404-895-0913

DEKALB AP #1245158

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	01/04/22	JK	SKETCH PLAT COMMENTS
-2	01/18/22	JK	SKETCH PLAT COMMENTS
-3	01/19/22	JK	SKETCH PLAT COMMENTS
-4	05/20/22	JK	SKETCH PLAT COMMENTS

THIS SEAL IS ONLY VALID IF COUNTER SIGNED
AND DATED WITH AN ORIGINAL SIGNATURE.



GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION # 0000059389 EXP. 10/28/2024

COVER SHEET

SCALE: N/A
DATE: 05/20/2022
PROJECT: 20192.00

SP0.0

SHEET

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**FINAL PROPOSED CONDITIONS
(SUBSTITUTE)**

**2021-2120
Z-21-1244531
7/22/21**

1. A maximum of 122 total residential dwelling units, consisting of a maximum of 68 single-family attached townhomes and a maximum of 54 single-family detached homes (including conventional and urban single-family detached dwellings) may be developed on the subject property.
2. General compliance with the locations of single-family detached traditional homes, urban single-family detached homes, and single-family attached townhomes shown on the site plan entitled "Northern Avenue at Indian Creek Way" prepared by Planners and Engineers Collaborative last revised July 20, 2021 presented at the July 27, 2021 Board of Commissioners hearing. To the extent that there is any conflict between the site plan and the other approved conditions set forth below, the written condition shall control. Only single-family detached traditional lots (minimum 10 feet between buildings) shall be provided along the southern property line and shall be at least 6,400 square feet in lot area and at least 64 feet wide.
3. A minimum of 39% open space shall be provided. Enhanced open space shall comprise at least 20% of the total site acreage. Documentation of the enhanced open space must be submitted by the developer and approved by the Director of Planning and Sustainability (or his designee) prior to final plat approval. Location and size of the proposed open space and pocket parks shall be generally consistent with the conceptual site plan entitled, "Northern Avenue at Indian Creek Way" prepared by Planners and Engineers Collaborative last revised July 20, 2021 presented at the July 27, 2021 Board of Commissioners hearing. Productive urban landscaping shall be incorporated into the design of and implementation of the pocket parks, transitional buffers and trails when proper light and soil conditions permit in generally conformity with the productive landscape plan entitled "Productive Urban Landscape Exhibit" prepared by Planners and Engineers Collaborative and submitted to the DeKalb County Planning and Sustainability Department on July 8, 2021. This productive urban landscaping shall consist of fruit bearing trees and shrubs and other plants that support pollinating insects. The developer shall create a Homeowners' Association which shall be responsible for maintaining the open space and landscaping in perpetuity.
4. In exchange for enhanced open space (as referenced in Condition 3), the development shall be entitled to a maximum density of 5.5 dwelling units per acre. A schedule for the installation of enhanced open space elements must be submitted by the developer and approved by the Director of Planning and Sustainability (or his designee) prior to final plat approval.
5. Healthy existing trees within the 20-foot transitional planted buffer along the south property line shall be preserved and supplemented with new trees to form an effective visual screen, as approved by the County Arborist prior to the issuance of any certificates of occupancy. Existing trees within the 20-foot transitional buffer along the northwest corner of the property shall be preserved and supplemented with new trees to form an effective visual screen as approved by the County Arborist prior to issuance of any certificates of occupancy.
6. Maximum building height of two stories for single-family (conventional) detached lots along

the south property line, dwellings facing Northern Avenue on the west side of the property, and for units 114-122 on the northwest corner adjacent to tax parcel 18 045 08 002. Maximum building height of three stories for single-family attached townhomes and urban single-family detached homes not adjacent to Northern Avenue or Dial Heights.

7. The development shall have no motor vehicle access to Creekview Drive.
8. Written confirmation of approval from the DeKalb County Transportation Department is required prior to the issuance of any building permits. Please note the infrastructure requirements in Article 5 of the Zoning Code and Chapter 14-190 of the Land Development Code. A right of way dedication of 35 feet from centerline or such that all public infrastructure (sidewalks/streetlights) are within right of way, whichever greater. All access points must meet minimum intersection and stopping sight distance requirements per AASHTO Greenbook for the posted speed limit and presented (signed and sealed by a professional engineer) with the land development permit documents.
9. The conventional single-family detached lots shall include distinctly different front façade designs within each phase of the development. "Distinctly different" shall mean that each front façade must differ from adjacent buildings' front façades in at least four (4) of the following six (6) ways: a. The use of different primary exterior materials; b. Variation in the width or height of the front façade by four (4) feet or more; c. Variation of the type, placement or size of windows and doors on the front façades; d. Variations in rooflines, including the use of dormers and changes in the orientation of rooflines; e. Variation in the location and proportion of front porches; and f. Variation in the location or proportion of garages and garage doors. Nosing-family detached residence shall be of the same front façade design as any other single-family detached residence along the same block face within eight (8) lots of the subject residence. Mirror images of the same configuration are not permitted on the same block face. No single front façade design may be used for more than twenty-five (25) percent of the total units of any single phase of a conventional single-family detached residence subdivision.
10. Any single-family detached residence with a front façade width of forty (40) feet or more shall incorporate wall offsets in the form of projections or recesses in the front façade plane. Wall offsets shall have a minimum depth or projection of two (2) feet so that no single wall plane exceeds twenty-five (25) feet in width.
11. Street-facing garage façades of single-family detached conventional units shall not comprise more than forty-five (45) percent of the total width of the conventional single family detached residence's front façade. Street-facing garages shall be at least two (2) feet behind the primary front façade plane of a single-family detached residence, which includes the front porch.
12. During construction, the Developer shall post a contact phone number those nearby residents can call to discuss development and construction issues. The developer shall use Best Management Practices (BMPs) for run-off and sedimentation control in compliance with Section 14.38 (Soil Erosion and Sediment Control) subject to approval of the Land Development Division of the Planning and Sustainability Department.
13. The approval of this rezoning application by the Board of Commissioners has no bearing on the requirements for other regulatory approvals under the authority of the Historic Preservation Commission, the Zoning Board of Appeals, or other entity whose decision should be based on the merits of the application under review by such entity whose decision shall be independently based.
14. Subject to Department of Transportation and County Arborist approval, the developer shall provide a 6-foot-wide sidewalk, no bicycle lane will be installed along the frontage of the Northern Avenue right-of-way to extend from Sandy Woods Lane to Indian Creek Way. The Applicant shall work with the DeKalb County Arborist and Department of Transportation to

preserve specimen trees along the 6 ft sidewalk to the extent possible, taking into consideration, amongst other things, the critical root zone of the trees, as well as sight-distance visibility requirements.

15. Blasting shall be permitted only with the written approval of the County under the requirements of Section 14-324.C of the DeKalb County Code of Ordinances. The developer shall notify residents on Northern Avenue and within the Dial Heights subdivision, the Clarkston High School administrators, and the managers of the apartment and condo complexes on Northern Avenue and the complexes bordering the north and east sides of the development on Indian Creek Way. Notifications will be made by way of mailbox flyers, 24 hours in advance of any blasting.
16. The Applicant, developer, or builder shall deliver to the DeKalb County Board of Education District 7 Representative an annual development progress report through the year in which the final building permit for the last residential unit is issued.
17. The Applicant shall comply with the DeKalb County Tree Protection Ordinance, including submitting to the County Arborist the required tree survey, and tree protection plan for the property. A copy of the tree survey and the proposed tree protection plan shall be delivered to the President of the Dial Heights Civic Association, Inc., and the Applicant shall deliver proof to the County Arborist of such delivery prior to the approval of the tree protection plan for the property. The Applicant shall seek to preserve all healthy specimen trees on the property, provided that the Applicant shall be able to remove specimen trees to effectuate the development of the property in accordance with the approved site plan and productive landscaping plan, provided that if any specimen trees are removed, all recompense trees to be planted shall be planted on site in the following order of preference: (1) transitional buffers, along the greenway trails, in the pocket parks and then in the remaining open space areas. All ivy, wisteria, and kudzu on existing healthy trees remaining on site shall be removed prior to the recording of the final plat. Additionally, the Applicant shall procure and fund the services of a qualified engineer to assess all wetlands and floodplains within or adjacent to the subject properties and document those findings. Findings shall be confirmed by County Wetland/Floodplain experts and presented to the adjacent neighborhoods, condos bordering the eastern edge of the property, and residents on Northern Avenue across from the development prior to any approval of site plans or land development permits.
18. Subject to the approval of the DeKalb County Department of Transportation, the Applicant may install reflective signage noting speed limits, dangerous curves and hills, and/or limited sight lines at hills, as determined to be necessary, between Sandy Woods Lane and Indian Creek Way.
19. There shall be a minimum of two retaining ponds (i.e. stormwater detention facilities) located on the property. The retaining wall on each pond shall be painted an earth tone color and will be screened around the perimeter with landscaping.
20. Applicant agrees to coordinate and fund the removal of trash (ex. bottles, paper, cans, etc.) along the Indian Creek stream bank located within the Subject Property. Additionally, to the extent given permission by landowners who have property thru which Indian Creek traverses, Applicant shall coordinate and fund the removal of trash located within or along the stream bank between the Subject Property and Dial Drive. These activities shall be completed immediately after all required erosion control is installed, and a second cleaning of trash shall occur prior to the approval and recording of the final plat. To the extent that there are any blockages to the flow of the stream caused by fallen trees or other debris, the landowner(s) shall contact the DeKalb County Floodplain Coordinator to coordinate the permission(s) needed to mitigate the blockage. The landowner shall be responsible for obtaining the required approvals from DeKalb County, and if necessary, the U.S. Army Corp of Engineers, including any fees and expenses associated with receiving the required approvals. Upon receiving the required approvals, the landowner shall deliver to the DeKalb County Planning Manager and to the Applicant, a copy of the written

approval from the Floodplain Coordinator and if required, the permit(s) from the U.S. Army Corp of Engineers, authorizing the removal of the blockage, on or before December 31, 2021. The Applicant shall mitigate blockages in Indian Creek between the project site and Dial Drive as authorized provided that the mitigation does not require any heavy equipment or specialized tools, and the aggregate mitigation costs do not exceed \$10,000.00.

21. Development-related trucks, vehicles, and equipment shall not park on Northern Avenue.
22. Appropriate measures including but not limited to the daily watering of roads must be taken to mitigate dust and debris from construction and truck traffic.
23. Property must be secured by temporary fencing when no active work is underway.
24. All housing units built in the development shall be "solar ready" (except for lots 6 thru 21 as shown on the submitted Site Plan) and have electric service panels with sufficient capacity to accommodate electric vehicle charging within the garages and solar roof panels. The builder shall offer a solar package to all prospective purchasers. Additionally, the cabana adjacent to the pool shall be built with solar panels.
 - a. The electrical panel shall be sized to accommodate a 40-amp double pole breaker on the opposite end of the panel labeled "reserved for solar".
 - b. A minimum of one 240 V AC plug will be installed in each garage to accommodate electric vehicle charging.
25. Prior to the issuance of any land disturbance permit, the Applicant must provide evidence of a legal mechanism under which all land to be held in common and used for greenspace purposes within the development shall be protected in perpetuity. Such legal mechanism shall include a declaration of restrictive covenants and the formation of a homeowner association, which assure in perpetuity each of the following mandatory requirements:
 - a. That all land held in open space will remain undivided and shall not be subdivided or removed from joint access or benefit in perpetuity;
 - b. That all subsequent property owners in the development will be placed on notice of this development restriction through the deed records filed with the Superior Court of DeKalb County;
 - c. That all land held as greenspace will be properly maintained and that no liability or maintenance responsibilities for the land held as greenspace shall accrue to the County;
 - d. That a legal entity exists for notice of deficiencies in maintenance of the land held as greenspace, correction of these deficiencies, and assessment of liens against the properties for the cost of the correction of these deficiencies by a third party or the County;
 - e. That the legal mechanism will become effective and enforceable prior to or at the time of recording the final plat and the sale of any individual properties within the Subject Property; and
 - f. That all requirements of the legal mechanism used to comply with the regulations of this condition will be specified on the final plat to be recorded with the Clerk of Superior Court of DeKalb County.
 - g. Equal access and right of use to all greenspace by all homeowners;
 - h. Mandatory and automatic membership in the homeowners' association for all homeowners and their successors;

- i. A fair and uniform method of assessment and collection/payment for dues, maintenance and related costs;
 - j. Homeowners' association lien authority to ensure the collection of dues from all members;
 - k. Perpetual and continued maintenance and liability by the homeowners' association of land held as greenspace; and
 - l. Filing of all required covenants, declarations, and restrictions with the Clerk of the Superior Court of DeKalb County.
26. No widening/reconfiguration of Northern Avenue leading up to and at the 2 proposed site driveways' intersections with Northern Ave--specifically:
- a. no left turn lane (turning east into complex) at the full-access (northern) driveway on Northern Ave
 - b. no raised medians or other physical barriers or marked-off area in the street to guide northbound traffic flow
 - c. no deceleration lane at the 2nd right-in/right-out (southern) driveway.

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PROJECT

ENVOY AT PONCE

A MASTER PLANNED RESIDENTIAL
DEVELOPMENT

AT

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671 NORTHERN AVENUE

CLARKSTON, GA 30021

FOR

INLINE COMMUNITIES

1776 PEACHTREE ST NW
SUITE 2605
ATLANTA, GA 30309
P: 404-895-0913

DEKALB AP #1245158

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	01/04/22	JK	SKETCH PLAT COMMENTS
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GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION # 0000059389 EXP. 10/28/2024

**ZONING
CONDITIONS**

SCALE: N/A
DATE: 05/20/2022
PROJECT: 20192.00

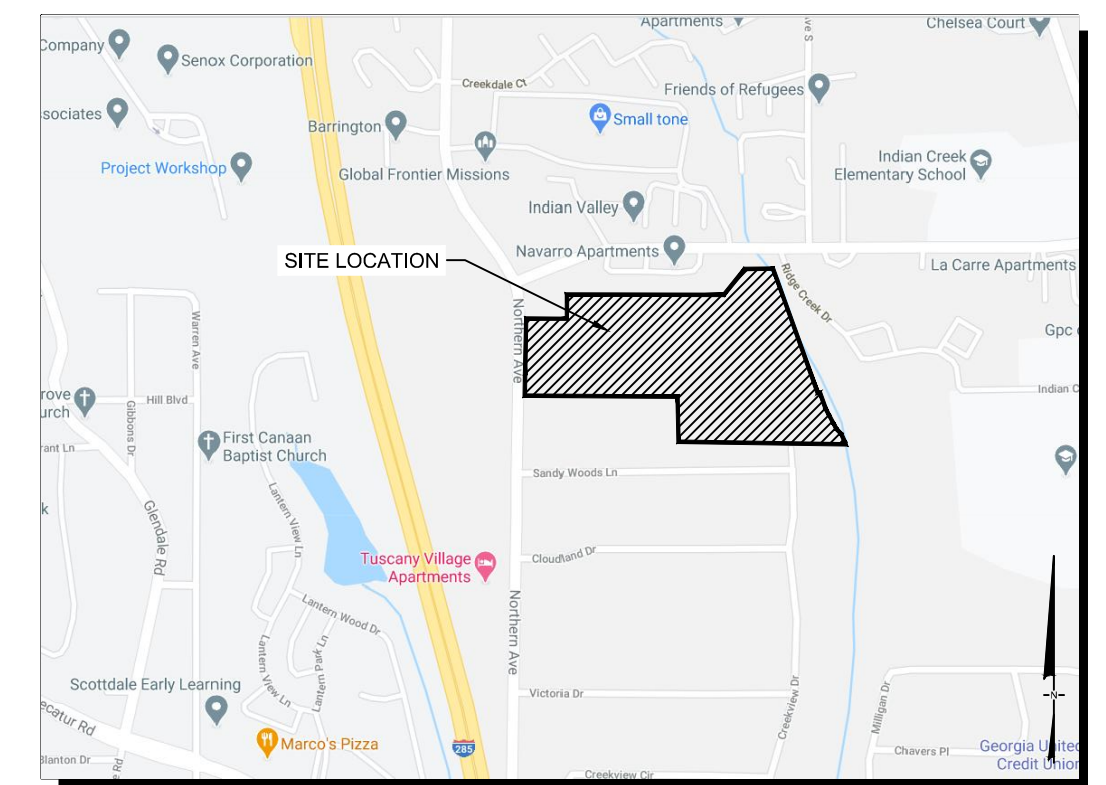
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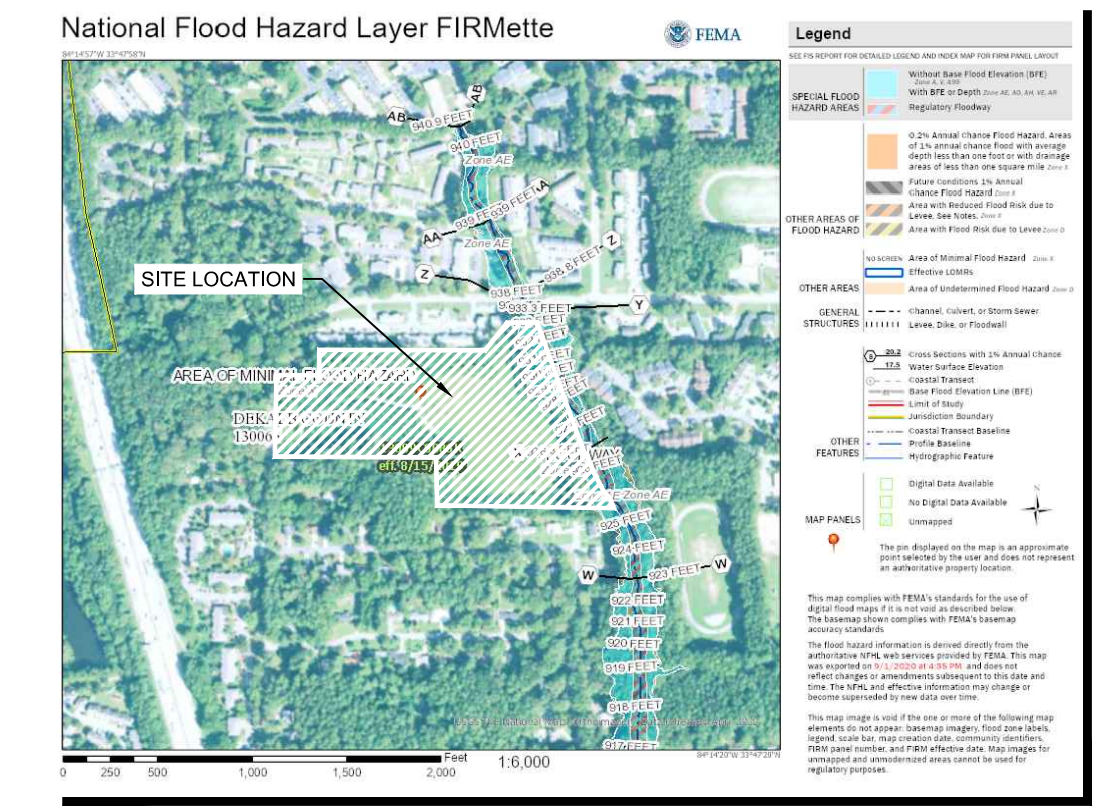
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24 HOUR CONTACT:
BRYAN MUSOLF @ 404-895-0913



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FEMA FIRM MAP
FEMA FIRM PANEL NO. 13089C0086 K
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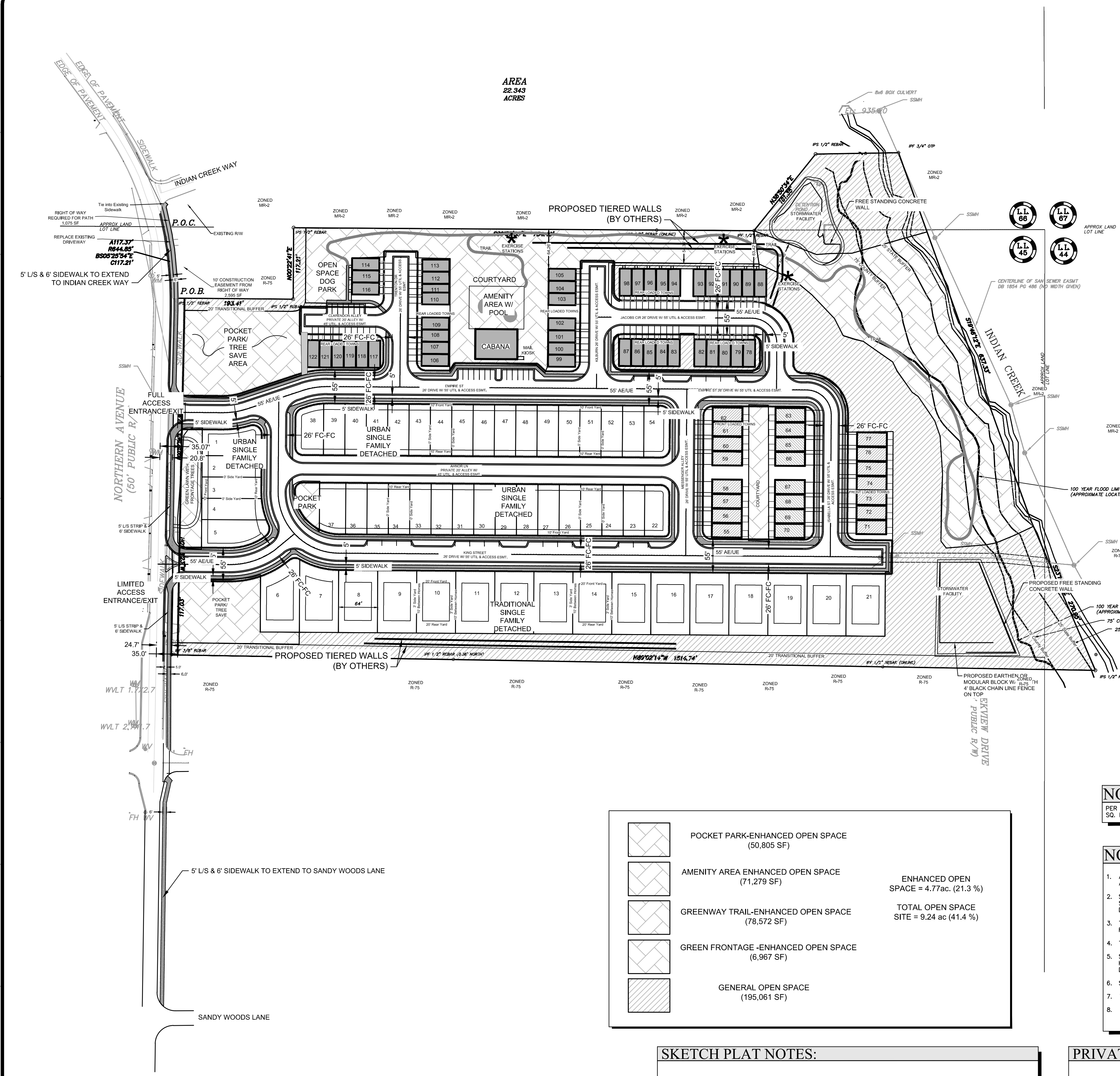
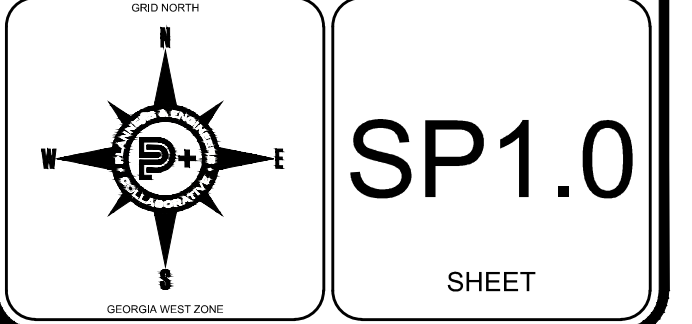


GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 000005389 EXP. 10/28/2024

SKETCH PLAT SITE PLAN



SCALE: 1" = 100'
DATE: 05/20/2022
PROJECT: 20192.00



	POCKET PARK-ENHANCED OPEN SPACE (50,805 SF)	
	AMENITY AREA ENHANCED OPEN SPACE (71,279 SF)	ENHANCED OPEN SPACE = 4.77ac. (21.3%)
	GREENWAY TRAIL-ENHANCED OPEN SPACE (78,572 SF)	TOTAL OPEN SPACE = 9.24 ac (41.4%)
	GREEN FRONTAGE -ENHANCED OPEN SPACE (6,967 SF)	
	GENERAL OPEN SPACE (195,061 SF)	

NOTES:
PER ZONING CONDITION #2, MINIMUM LOT SIZE OF SINGLE FAMILY DETACHED TRADITIONAL UNITS IS 6,400 SQ. FT. AND THE MINIMUM LOT WIDTH IS 64 FT.

- NOTES:**
- A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GA. E.P.D. AND CORPS OF ENGINEERS.
 - SKETCH PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THE STORM DRAINAGE OR SANITARY SEWER SYSTEM. NO CONSTRUCTION SHALL BEGIN UNTIL CONSTRUCTION PLANS ARE APPROVED AND DEVELOPMENT PERMIT IS OBTAINED.
 - THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH CORPS OF ENGINEERS REQUIREMENTS REGARDING WETLANDS.
 - THERE ARE NO PUBLIC PROPOSED ROADS WITHIN THE SITE.
 - SKETCH PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THE PROPOSED LOCATION OF FIRE HYDRANTS AND FIRE APPARATUS ACCESS ROADS. NO CONSTRUCTION SHALL BEGIN UNTIL THE LAND DEVELOPMENT PERMIT HAS BEEN APPROVED AND OBTAINED.
 - STREET AND PEDESTRIAN LIGHTING TO BE PROVIDED DURING LDP SUBMITTAL
 - WATER AND SEWER SERVICE PROVIDED BY DEKALB COUNTY.
 - ALL PARCELS MUST BE COMBINED

SKETCH PLAT NOTES:

- TOTAL ONSITE AREA: 22.34 ACRES / TOTAL AREA DISTURBED 18.65 ACRES.
- BOUNDARY & TOPOGRAPHIC INFORMATION PROVIDED BY PLANNERS AND ENGINEERS COLLABORATIVE, DATED 04/13/2021.
- THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR DEKALB COUNTY, GEORGIA, AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER(S) 13089C0086 K, EFFECTIVE DATE 08/15/2019 WAS EXAMINED AND A PORTION OF THE PROPERTY SHOWN HEREIN WAS FOUND TO FALL WITHIN A DESIGNATED FLOOD ZONE "AE" (AREAS OF 100-YEAR FLOOD) OR SPECIAL FLOOD HAZARD ZONE (AREAS OF 500-YEAR FLOOD).
- THERE ARE STATE WATERS LOCATED ON OR WITHIN 200 FEET OF THE SITE.
- THE PROPOSED SUBDIVISION WILL BE SUBJECT TO PRIVATE COVENANTS AND A HOMEOWNER'S ASSOCIATION WILL BE ESTABLISHED
- THERE ARE STATE WATERS LOCATED ON THE SOUTHEAST PORTION OF THE SITE
- THERE ARE NO WETLANDS LOCATED ON SITE
- THERE IS NO KNOWN EXISTING HAZARDOUS WASTE BURY PITS ON THE SITE
- THERE ARE NO NATURAL, ARCHAEOLOGICAL, OR HISTORIC RESOURCES LOCATED ON THE SITE ACCORDING TO GNARHRS MAPPER.
- THE RECEIVING WATER, SOUTH FORK PEACHTREE CREEK, IS APPROXIMATELY 500' NORTHEAST OF THE SITE, AN UNNAMED TRIBUTARY OF THE INDIAN CREEK.
- ELECTRIC SERVICES SHALL BE INSTALLED UNDERGROUND.
- MINIMUM STORM PIPE SIZE WITHIN PUBLIC EASEMENT SHALL BE 18 INCHES.
- ALL STORM DRAIN PIPES SHALL REMAIN PRIVATE AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE LOWEST FINISHED FLOOR ELEVATION (FFE) OF ANY PROPOSED HOME OR BUILDING SHALL BE A MINIMUM OF 3 FEET ABOVE THE 100-YEAR DETENTION POND STORAGE ELEVATION AND/OR INLET PONDING ELEVATION.
- THE HOME OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR ALL FUTURE MAINTENANCE AND INSPECTIONS OF THE STORM WATER MANAGEMENT AGREEMENT. A COPY OF ALL FUTURE INSPECTIONS BY A REGISTERED ENGINEER SHALL BE FURNISHED TO DEKALB COUNTY.
- SPEED LIMIT ON NORTHERN AVE IS 35 MPH.
- NO PRIOR SUBDIVISIONS HAVE BEEN LOCATED ON SITE.
- NO VARIANCES ARE REQUIRED.

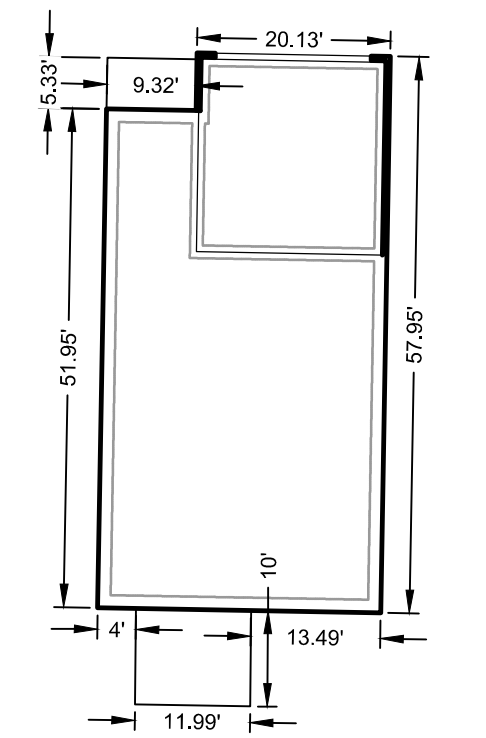
PRIVATE STREET CONDITIONS:

- ALL APPROVED CONDITIONS SHALL BE NOTED ON THE SKETCH PLAT AND FINAL PLAT.
- THE FINAL PLAT SHALL HAVE THE INDIVIDUAL UNITS AS DEPICTED ON SKETCH PLAT IN GENERAL LAYOUT ADDRESSED PER THE DEKALB COUNTY GIS DEPARTMENT AND PLATTED AS TAX PARCELS.
- THE MINIMUM GROSS UNIT SIZE SHALL BE STATED ON PLAT AND THE TAX PARCEL DIMENSIONS NOTED.
- A MANDATORY HOMEOWNERS ASSOCIATION SHALL BE REQUIRED FOR MAINTENANCE OF ACCESS DRIVES/INTERNAL STREETS, UTILITIES, AND STORM MANAGEMENT FACILITIES WITHIN COMMON AREAS AND TO PROVIDE A DECLARATION OF PROTECTIVE COVENANTS AND CONDITIONS ADDRESSING MAINTENANCE RESPONSIBILITY.
- PRIVATE STREETS SHALL BE NOTED AS SUCH AND SHALL MAINTAIN A MINIMUM OF 26 FEET OF PAVEMENT WIDTH FROM FACE OF CURB TO FACE OF CURB AND SHALL BE CONSTRUCTED TO THE SAME PAVING MATERIAL SPECIFICATION REQUIRED FOR PUBLIC STREETS SUBJECT TO DEKALB COUNTY APPROVAL.
- ALL EASEMENTS SHALL BE PROVIDED SUBJECT TO THE REQUIREMENTS OF DEKALB COUNTY.
- DRIVEWAYS SERVING INDIVIDUAL UNITS SHALL HAVE A MINIMUM LENGTH OF 20 FEET FROM FACE OF GARAGE TO BACK OF SIDEWALKS ON FRONT LOADED UNITS, AND 20 FEET FROM FACE OF GARAGE TO BACK OF GARAGE ON REAR LOADED UNITS.
- INDIVIDUAL WATER METERS SHALL BE PROVIDED TO EACH FEE SIMPLE LOT PER THE REQUIREMENTS OF THE DEKALB COUNTY WATERSHED DEPARTMENT. PROVIDE NECESSARY SEWER EASEMENTS. SEWER MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPMENT.
- ONLY THE BUILDING FOOTPRINT SHALL BE CONSIDERED AS A LOT. ALL OTHER AREAS SHALL BE CONSIDERED COMMON AREA.
- VEHICLES MAY NOT PARK IN ALLEYS DURING WEEKDAYS.
- ALL RESIDENCES SHALL HAVE HOUSE NUMBERS ON THE ALLEY SIDE OF THE RESIDENCE.
- ALLEY ADDRESSES TO BE ASSIGNED OFF ALLEYS
- ALL OTHER CONDITIONS, CODE AND DISTRICT REQUIREMENTS SHALL APPLY ACCORDINGLY.

THIS SKETCH PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE PLANNING COMMISSION OF DEKALB COUNTY, ON THIS _____ DAY OF _____ 20__.

BY: _____ (BY DIRECTOR)
PLANNING COMMISSION CHAIRMAN
DEKALB COUNTY, GEORGIA

- UTILITY NOTES:**
- WATER MAIN TO BE PUBLIC 8-INCH D.I.P. LINE WITHIN A 50' ACCESS AND UTILITY EASEMENT ON MAIN ROADS, 28"-20" EASEMENT ON ALLEYS, AND 20-FEET WATER EASEMENT FOR ACCESS AND MAINTENANCE (PROVIDED FOR DEKALB COUNTY).
 - SANITARY SEWER SYSTEM (SEWER PROVIDED BY DEKALB COUNTY) TO BE PUBLIC 8-INCH D.I.P. LINE WITHIN A 50' ACCESS AND UTILITY EASEMENT ON MAIN ROADS, 28"-20" EASEMENT ON ALLEYS, AND 20-FEET SANITARY SEWER EASEMENT FOR ACCESS AND MAINTENANCE.
 - SANITARY SEWER MAIN SHALL BE 8" DIP @ 1% (MIN) WITH 4" COVER.
 - EACH SINGLE FAMILY RESIDENCE WILL HAVE SEPARATE SANITARY SEWER LATERAL.
 - EACH SINGLE FAMILY RESIDENCE WILL HAVE SEPARATE 3/4" WATER METER.
 - DEKALB COUNTY SANITATION WILL BE RESPONSIBLE FOR HANDLING NON-HAZARDOUS HOUSEHOLD WASTE, YARD DEBRIS, AND RECYCLABLE MATERIAL.



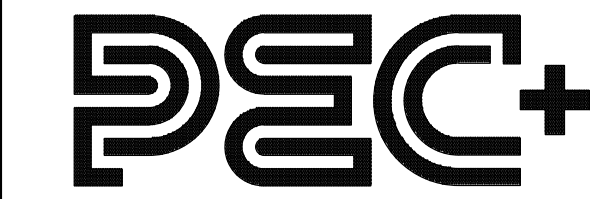
J:\2020\20192020\DeKalb\PEC\SKETCH PLAT - 20192.00.dwg - R50000 - 5/20/2022 10:05 AM

24 HOUR CONTACT:
BRYAN MUSOLF @ 404-895-0913



P: (770) 451-2741 F: (770) 451-3915

WWW.PEC.PLUS



Planners & Engineers Collaborative+

LAND PLANNING + LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING
ARBORISTS + SURVEYING & CONSTRUCTION + WATER RESOURCES

350 RESEARCH COURT STE 200
PEACHTREE CORNERS, GA 30092

PROJECT

ENVOY AT PONCE

A MASTER PLANNED RESIDENTIAL DEVELOPMENT

AT
623, 631, 635, 641, 649, 655, 657,
671 NORTHERN AVENUE
CLARKSTON, GA 30021

FOR

INLINE COMMUNITIES
1776 PEACHTREE ST NW
SUITE 260S
ATLANTA, GA 30309
P: 404-895-0913

DEKALB AP #1245158

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	01/04/22	JK	SKETCH PLAT COMMENTS
-2	01/18/22	JK	SKETCH PLAT COMMENTS
-3	01/19/22	JK	SKETCH PLAT COMMENTS
-4	05/20/22	JK	SKETCH PLAT COMMENTS

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.



GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION # 0000059389 EXP. 10/28/2024

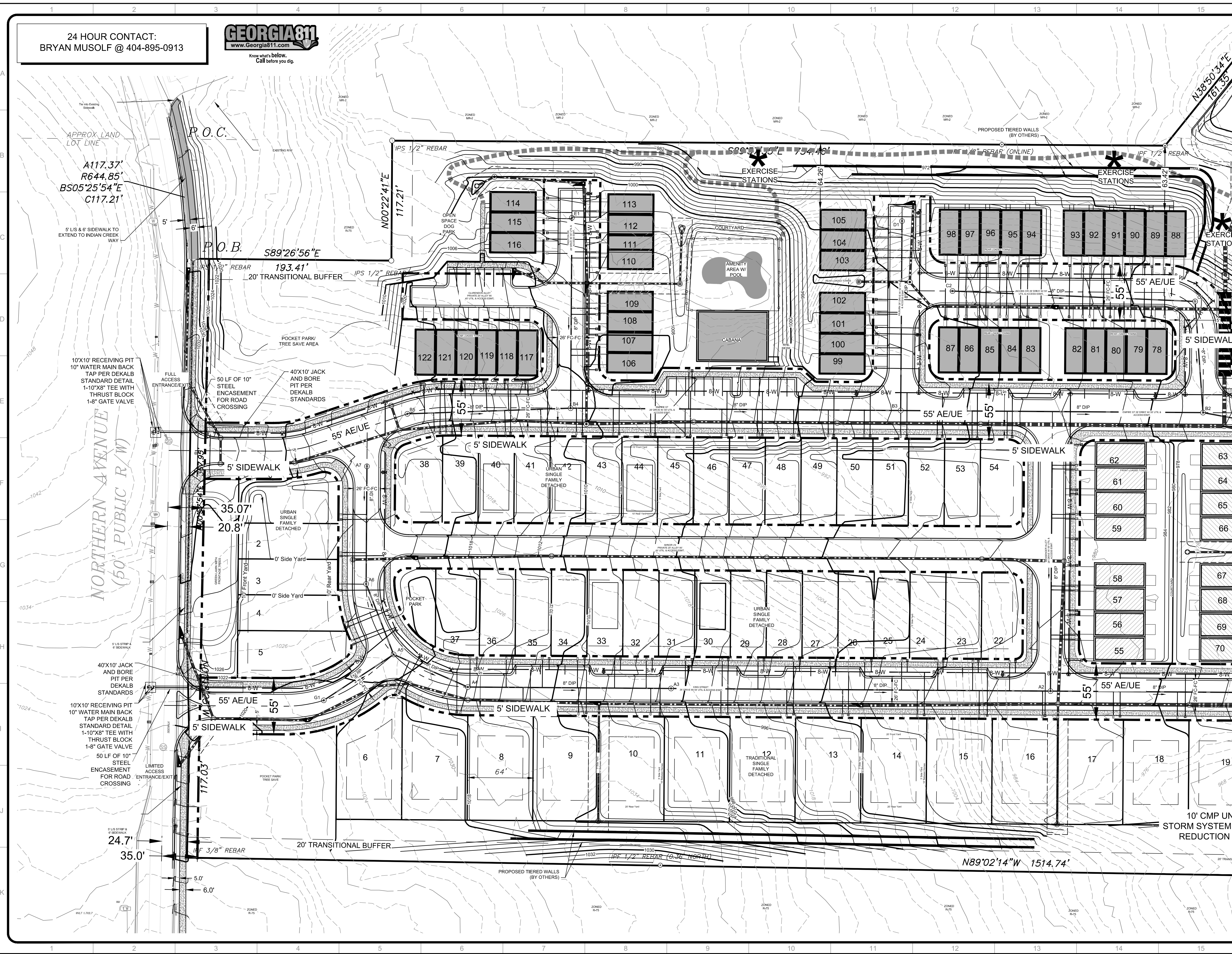
40-SCALE SKETCH PLAT A



SCALE: 1" = 40'
DATE: 05/20/2022
PROJECT: 20192.00

SP2.1

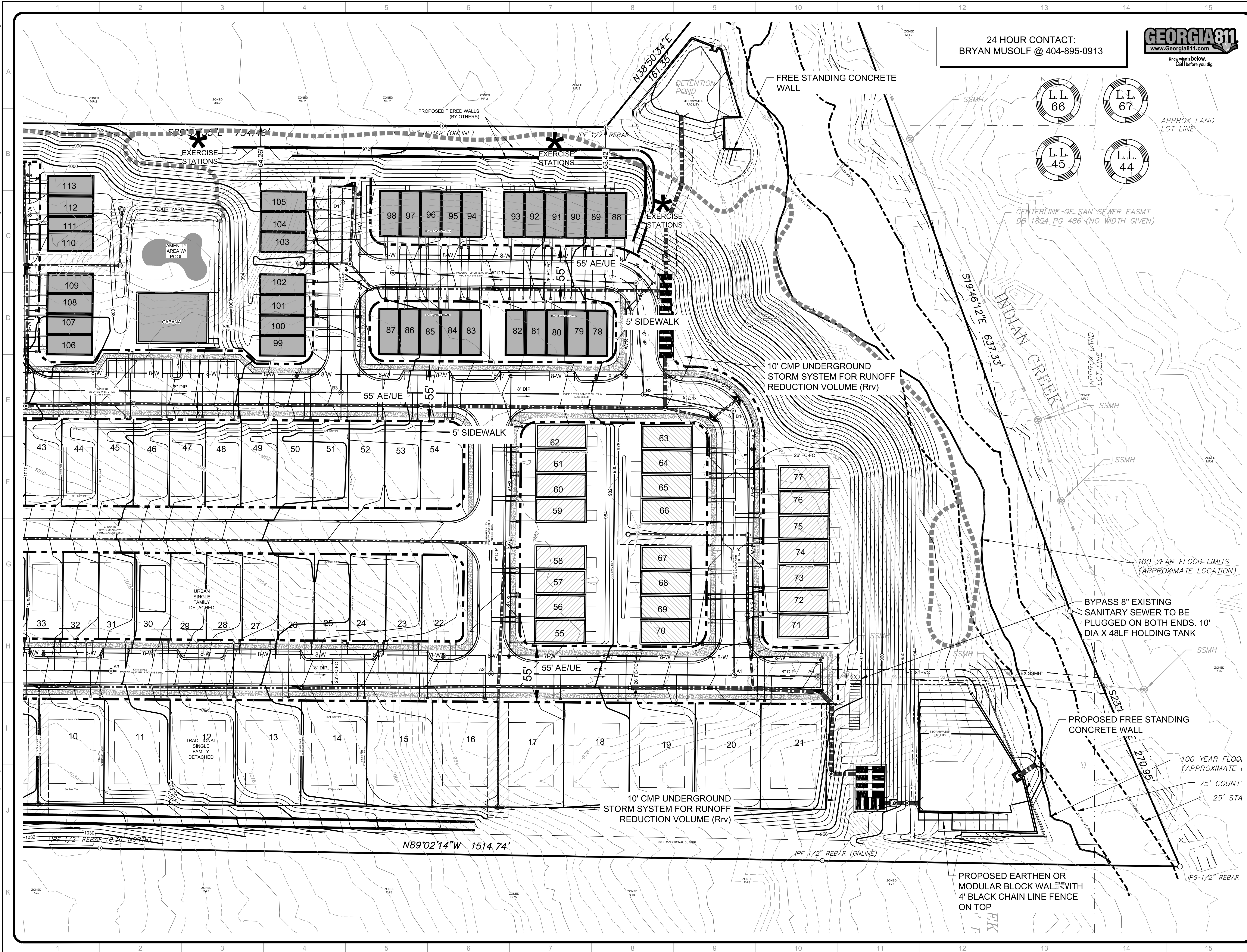
SHEET



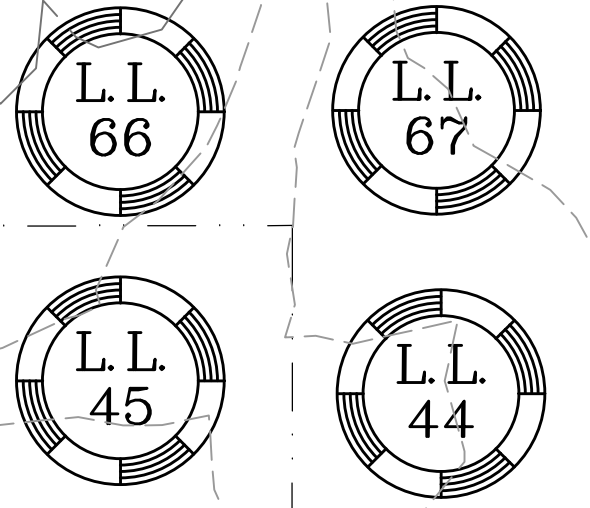
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J:\2019\20192000\Drawings\Sketch - SKETCH PLAT - 20192.00.dwg - R5/20/22 10:56 AM

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24 HOUR CONTACT:
BRYAN MUSOLF @ 404-895-0913



APPROX LAND LOT LINE

P: (770) 451-2741 F: (770) 451-3915

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350 RESEARCH COURT STE 200
PEACHTREE CORNERS, GA 30092

PROJECT

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A MASTER PLANNED RESIDENTIAL DEVELOPMENT

AT

623, 631, 635, 641, 649, 655, 657,
671 NORTHERN AVENUE

CLARKSTON, GA 30021

FOR

INLINE COMMUNITIES

1776 PEACHTREE ST NW
SUITE 260S
ATLANTA, GA 30309
P: 404-895-0913

DEKALB AP #1245158

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	01/04/22	JK	SKETCH PLAT COMMENTS
-2	01/18/22	JK	SKETCH PLAT COMMENTS
-3	01/19/22	JK	SKETCH PLAT COMMENTS
-4	05/20/22	JK	SKETCH PLAT COMMENTS

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 0000059389 EXP. 10/28/2024

40-SCALE SKETCH PLAT B



SCALE: 1" = 40'
DATE: 05/20/2022
PROJECT: 20192.00

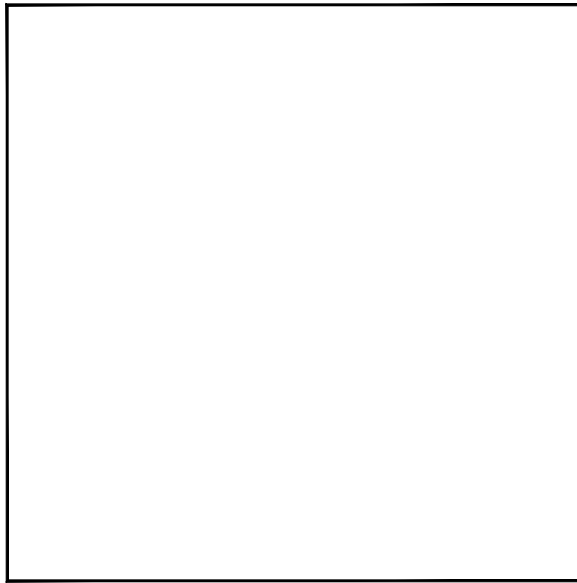
SP2.2

SHEET

J:\2020\20192000\Drawings\Sheet\SP2.2 - SKETCH PLAT - 20192.00.dwg - R5.dwg - 5/20/2022 10:56 AM

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COUNTY CLERK



NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED AND TO THE SURVEYOR'S BEST KNOWLEDGE ARE APPROXIMATELY AS SHOWN. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
2. I HAVE EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR DEKALB COUNTY, GEORGIA AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 13089C0086K, PANEL 86 OF 201, EFFECTIVE DATE AUGUST 15, 2019 AND FOUND A PORTION OF THE PROPERTY SHOWN HEREON TO FALL WITHIN A DESIGNATED FLOOD ZONE "AE" (AREAS OF 100 YEAR FLOOD). THE PROPERTY SHOWN HEREON TO FALL WITHIN A DESIGNATED FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD).
3. THIS SITE IS TIED TO GRID NORTH BASED ON GPS OBSERVATIONS ADJUSTED BY PLANNERS AND ENGINEERS COLLABORATIVE IN DECEMBER, 2020. NORTH AMERICAN DATUM OF 1983 (NAD83), NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), GEORGIA WEST ZONE STATE PLANE COORDINATES.
4. THE TERM "CERTIFICATION" RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.
5. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE INSPECTION REPORT. EASEMENTS OR OTHER ENCUMBRANCES MAY EXIST ON PUBLIC RECORD BUT NOT BE SHOWN HEREON.
6. NO ZONING INFORMATION PROVIDED FOR BUILDING SETBACKS.
7. (NO) EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
8. THE STORM AND SANITARY SEWER LINES HAVE BEEN PLOTTED GRAPHICALLY FROM VISIBLE LOCATION. SOME OF THESE STRUCTURES ARE COVERED WITH DEBRIS AND WASTE. THE SURVEYOR HAS MADE EVERY EFFORT TO SHOW THE STORM AND SEWER ACCURATELY, BUT DOES NOT GUARANTEE THE LOCATION OF THE UTILITIES.
9. NO EVIDENCE FOUND OF SEPTIC TANKS OR INERT WASTE BURY PITS.

TITLE EXCEPTIONS

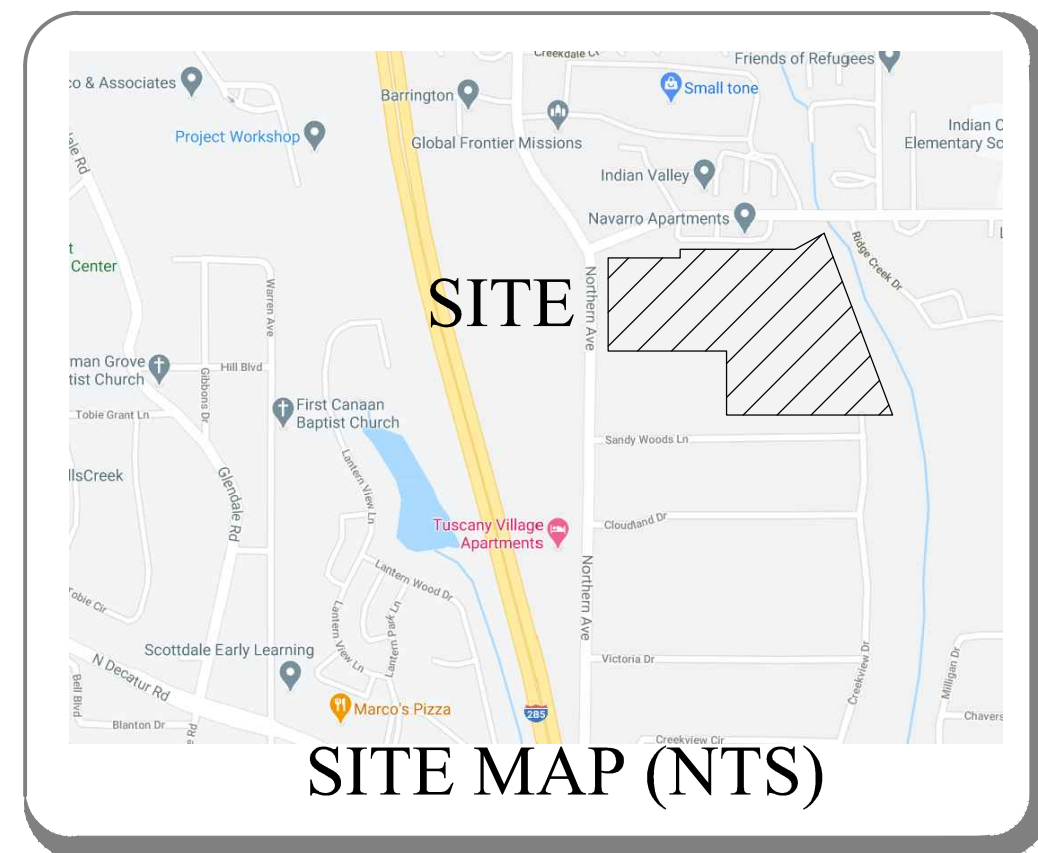
- Chicago Title Insurance Company, Commitment number 3202-0055 with an effective date of August 9, 2020 was used in the preparation of this survey and the listed exceptions are as follows:
10. Easement from R.T. Medlock to Georgia Power Company dated December 3, 1947 recorded in Deed Book 708, Page 501, aforesaid records. Affects the property but cannot be plotted. BLANKET IN NATURE.
 11. Easement from Evelyn W. & W.P. Biggers, Jr. to DeKalb County dated February 18, 1964 recorded in Deed Book 1854, Page 486, aforesaid records. Affects the property, as shown on the survey.
 12. Easement Agreement from Mirage Construction Company et al to Ridgescreek Condominium Association Inc. Dated May 9, 2002 recorded in Deed Book 13270, Page 245, aforesaid records. Affects the property but cannot be plotted. This easement is for ingress and egress and does not contain a description.

LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lots 44, 45 and 66 of the 18th District, DeKalb County, Georgia and being more particularly described as follows:

To find the TRUE POINT OF BEGINNING, commence from a point, at the intersection of the easterly right-of-way line of Northern Avenue (50' R/W) and the Land Lot Line common to Land Lots 45 and 66; thence along said right-of-way line 117.37 feet along an arc of a curve to the right, said curve having a radius of 644.85 feet and a chord bearing and distance of South 05 degrees 25 minutes 54 seconds East 117.21 feet to a point and the TRUE POINT OF BEGINNING; thence leaving said right-of-way line South 89 degrees 26 minutes 56 seconds East a distance of 193.41 feet to 1/2" rebar set; thence North 00 degrees 22 minutes 41 seconds East a distance of 117.21 feet to a 1/2" rebar set; thence South 89 degrees 37 minutes 35 seconds East a distance of 754.46 feet to 1/2" rebar found; thence North 38 degrees 50 minutes 34 seconds East a distance of 161.35 feet to a 1/2" rebar set; thence North 89 degrees 03 minutes 33 seconds East a distance of 135.98 feet to a 1/2" open top pipe found; thence South 19 degrees 46 minutes 12 seconds East a distance of 637.33 feet to a point; thence South 23 degrees 16 minutes 26 seconds East a distance of 270.95 feet to a 1/2" rebar set; thence North 89 degrees 02 minutes 14 seconds West a distance of 1514.74 feet to a 3/8" rebar found on said right-of-way line; thence along said right-of-way line the following courses and distances: North 01 degrees 04 minutes 40 seconds East a distance of 117.03 feet to 1/2" rebar found; thence North 01 degrees 18 minutes 23 seconds West a distance of 100.00 feet to a point, thence continuing along said right-of-way line North 00 degrees 57 minutes 54 seconds East a distance of 367.95 feet to a point and the TRUE POINT OF BEGINNING.

Said tract containing 22.343 acres of land.



STRUCTURE LEGEND

- CABLE / TV**
 - Cable / TV Marker
 - Cable / TV Pedestal
 - Cable / TV Manhole
 - Cable / TV Handhole
 - Cable / TV Cable Box
- ELECTRIC / POWER**
 - Transformer
 - Guy Wire
 - Electric Meter
 - Power Pole/Utility Pole
 - Street Light/Light Pole
 - Electric Panel
 - Electric Box
 - Electric Manhole
 - Electric Handhole
 - Electric / Power Marker
 - Spot Light
- FIBER OPTIC**
 - Fiber Optic Marker
 - Fiber Optic Manhole
 - Fiber Optic Pedestal
- GAS**
 - Gas Meter
 - Gas Valve
 - Gas Fill Cap
 - Gas Manhole
 - Gas Marker
 - Gas Pressure Relief Valve
 - Gas Vault
 - Gas Vent Pipe
 - Gas Something -)
- PAVEMENT MARKING**
 - Pavement Marking
 - BUS ONLY
 - SCHOOL
 - Turn Arrow Left/Right
 - Turn Arrow Left
 - Turn Arrow Right
 - Traffic Arrow Straight
 - Traffic Arrow Straight/Left
 - Traffic Arrow Straight/Right
 - Traffic Arrow U-Turn
 - Handicap Pavement Marking
 - Bike Lane Pavement Marking
- PROPERTY MONUMENTS**
 - Right-of-Way Monument Found
 - Concrete Monument Found
 - Iron Pin Set
 - Iron Pin Found (Rebar found)
 - PK Nail Set
 - PK Nail Found
 - Point
 - Benchmark
- MISCELLANEOUS**
 - Land Lot Symbol
- SEWER**
 - Grease Trap
 - Sanitary Sewer Manhole
 - Cleanout
 - Sanitary Sewer Vent Pipe
 - Sanitary Sewer Marker
 - Sanitary Sewer Force Main Valve
 - Sanitary Sewer Lift Station
- SITE / TOPOGRAPHIC FEATURES**
 - Street Sign
 - Air Condition Unit
 - Bollard
 - Mailbox
 - Satellite Dish
 - Flag Pole
 - Monitoring Well
 - Antenna
 - Column
 - Camera Pole / Camera
 - Bore Hole Location
 - Mail Post
 - Rail Road Mile Post
- STORM / DRAINAGE**
 - Storm Structure Lid
 - Drop Inlet
 - Catch Basin
 - Single Wing Catch Basin
 - Double Wing Catch Basin
 - Weir Inlet
 - Head Wall
 - Junction Box
 - Curb Inlet
 - Flared-in Section
 - Down Spout
- TELEPHONE**
 - Telephone Terminal Box
 - Telephone Marker
 - Telephone Handhole Box
 - Telephone Manhole
 - Telephone Cabinet
- TRAFFIC**
 - Overhead Traffic Signal
 - Traffic Handhole Box
 - Telephone Handhole Box
 - Traffic Signal Pole
 - Traffic Signal Loop Control Box
- WATER**
 - Fire Hydrant
 - Irrigation Control Valve
 - Water Meter
 - Water Valve
 - Fire Department Connection
 - Water Vault
 - Pressure Irrigation Valve
 - Water Vent Pipe
 - Water Valve Marker
 - Water Marker
 - Water Manhole
 - Water Air Release Valve
 - Water Back Flow Preventer
 - Sprinkler Head
 - Sprinkler Valve

LINETYPES

- PROPERTY**
 - Adjacent Property
 - Property Line
 - Center of Creek
- FENCE LINES**
 - Barb Wire Fence
 - Chain Link Fence
 - Wood Fence
 - Woven Wire Fence
 - Guardrail
- EXISTING OVERHEAD**
 - Overhead Wires
- EXISTING UNDERGROUND**
 - Cable
 - Electric
 - Fiber Optic
 - Gas
 - Water
 - Telecommunications
 - Television
 - Storm Drainage Line
 - Sanitary Sewer
- SITE / TOPOGRAPHIC FEATURES**
 - Guardrail

ABBREVIATIONS

- APPROX. Approximate
- #4 1/2" Rebar
- C&G Curb and Gutter
- CLF Chain Link Fence
- CMP Corrugated Metal Pipe
- CO Clean Out
- OPP Corrugated Plastic Pipe
- DB Dead Book
- DI Drop Inlet
- DE Drainage Easement
- EOP Edge of Pavement
- EPP Electric Power Pole
- EPAN Electric Panel
- ESMT Easement
- FES Flared End Section
- FFE Finish Floor Elevation
- FH Fire Hydrant
- FLGP Georgia Flag Pole
- GM Gas Meter
- GW Guy Wire
- HDR Hand Rail
- H.W. Hard Wood
- HW Headwall
- ICV Irrigation Control Valve
- I.E. Invert Elevation
- IPF Iron Pin Found
- IPS Iron Pin Set
- LP Light Pole
- MW Monitoring Well
- N/F Now or Formerly
- OTP Open Top Pipe
- PB Plot Book
- PG Pipe
- PKF PK Nail Found
- PKS PK Nail Set
- POB Point of Beginning
- POC Point of Commencement
- PVC Polyvinyl Chloride Pipe
- RBC Rebar Capped
- RCP Reinforced Concrete Pipe
- RWM Right of Way Monument
- SSE Sanitary Sewer Easement
- SSMH Sanitary Sewer Manhole
- TRAN Transformer
- VCP Vitrified Clay Pipe
- W.D.F. Wood Fence
- WM Water Meter
- WV Water Valve

EXISTING CONDITIONS ADDRESS CHART			
PARCEL #	OWNER / ADDRESS	TAX PARCEL ID	ACRES
1	FUGEES LAND HOLDINGS LLC 623 NORTHERN AVE, CLARKSTON, GA. 30021	18-045-08-095	1.458
2	FUGEES LAND HOLDINGS LLC 631 NORTHERN AVE, CLARKSTON, GA. 30021	18-045-08-001	5.358
3	FUGEES LAND HOLDINGS LLC 635 NORTHERN AVE, CLARKSTON, GA. 30021	18-045-08-003	2.845
4	FUGEES LAND HOLDINGS LLC 641 NORTHERN AVE, CLARKSTON, GA. 30021	18-045-08-004	1.688
5	FUGEES LAND HOLDINGS LLC 649 NORTHERN AVE, CLARKSTON, GA. 30021	18-045-08-005	1.704
6	HEMANTH & ANJALI GRANDHIGE 655 NORTHERN AVE, CLARKSTON, GA. 30021	18-045-08-006	1.681
7	HEMANTH & ANJALI GRANDHIGE 657 NORTHERN AVE, CLARKSTON, GA. 30021	18-045-08-007	1.986
8	FUGEES LAND HOLDINGS LLC 671 NORTHERN AVE, CLARKSTON, GA. 30021	18-045-08-008	5.645

REFERENCES

1. PLAT FOR CLOUDLAND SUBDIVISION, FILED AND RECORDED AT THE CLERK OF SUPERIOR COURT OFFICE, DEKALB COUNTY, GEORGIA, IN PLAT BOOK 49 PAGE 5.

The field data upon which this map or plat is based has a closure precision of one foot in 66,728 feet and an angular error of 00' 00" 02 per angle point and was adjusted using the compass adjustment rule.

This map or plat has been calculated for closure and is found to be accurate to within one foot in 1,406,566 feet.

EQUIPMENT USED:

- ANGULAR: TOPCON TOTAL STATION
- LINEAR: TOPCON TOTAL STATION

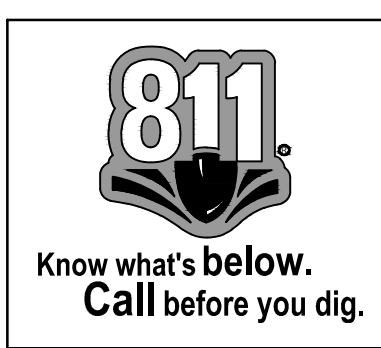
To InLine Communities & Chicago Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-4, 8, 13, and 16 of Table A thereof. The field work was completed on:

Date of Map or Plat: 02/09/2021

SCOPE OF WORK:
THE PURPOSE OF THIS LOT COMBINATION PLAT IS TO COMBINE THE FOLLOWING TAX PARCELS AND ADDRESSES INTO ONE TAX PARCEL.

THE PURPOSE OF THIS PLAT IS TO COMBINE TAX PARCEL NUMBERS: 18-045-08-095, 18-045-08-001, 18-045-08-003, 18-045-08-004, 18-045-08-005, 18-045-08-006, 18-045-08-007 & 18-08-008 INTO ONE LOT.



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LAND PLANNING - SURVEYING & CONSTRUCTION - CIVIL ENGINEERING -
ARBORESTERS - LANDSCAPE ARCHITECTURE - WATER RESOURCES
350 RESEARCH COURT PEACHTREE CORNERS, GEORGIA 30092
(770)451-2741 WWW.PEC.PLUS
C.O.A.-45F000004

REVISIONS			
REV	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

LAND LOT(S) 44, 45 & 66
DISTRICT 18th

LOT COMBINATION PLAT
FOR
INLINE COMMUNITIES & CHICAGO TITLE INSURANCE COMPANY

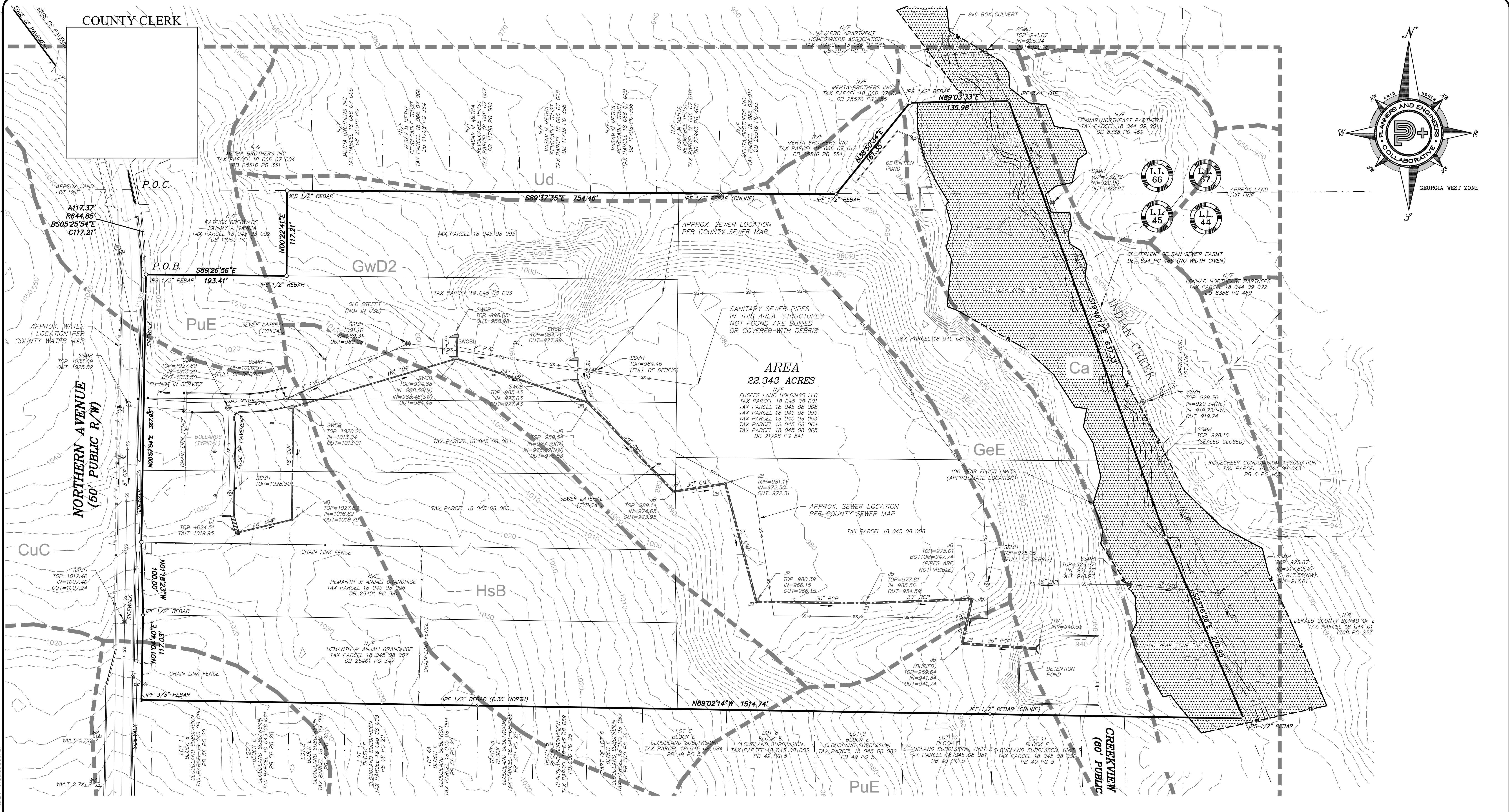
DEKALB COUNTY
GEORGIA



DRAWN BY: SE
CHECKED BY: JH
FILE NO.: 20192.00
DATE: 02/09/2021
SCALE: 1" = 60'
DATE OF FIELD WORK: 1/12/21

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COUNTY CLERK



AREA
22.343 ACRES

NORTHERN AVENUE
(50' PUBLIC R/W)

CREEKVIEW
(50' PUBLIC R/W)

EXISTING CONDITIONS

SHEET 2 OF 3



Know what's below.
Call before you dig.



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C.O.A.-45F00004

REV	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

LAND LOT(S) 44, 45 & 66
DISTRICT 18th

LOT COMBINATION PLAT
FOR
INLINE COMMUNITIES & CHICAGO TITLE INSURANCE COMPANY

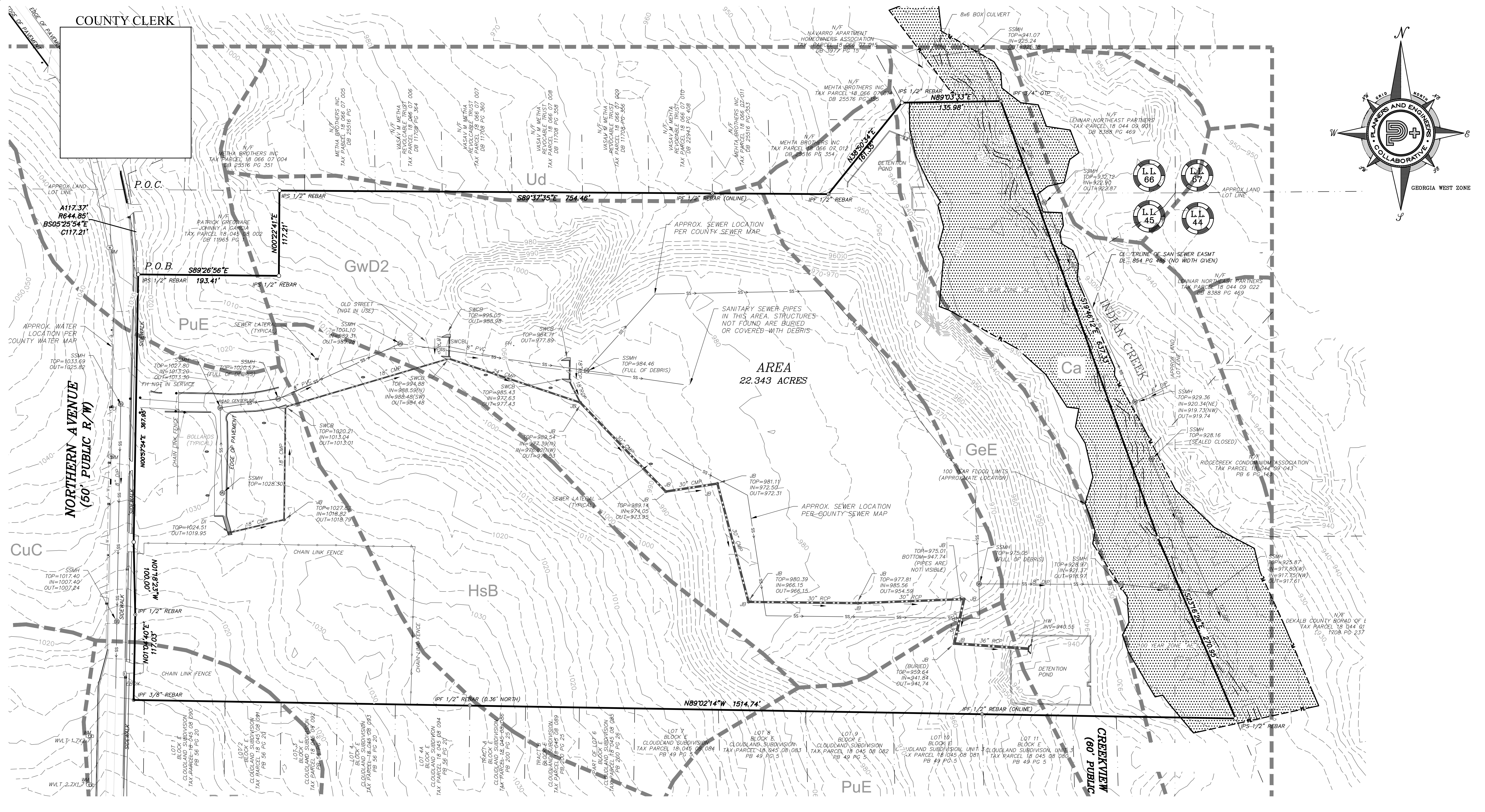


DRAWN BY: SE
CHECKED BY: JH
FILE NO.: 20192.00
DATE: 02/09/2021
SCALE: 1" = 60'
DATE OF FIELD WORK: 1/12/21



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COUNTY CLERK



PROPOSED CONDITIONS

SHEET 3 OF 3



REV	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

LAND LOT(S) 44, 45 & 66
DISTRICT 18th

LOT COMBINATION PLAT
FOR

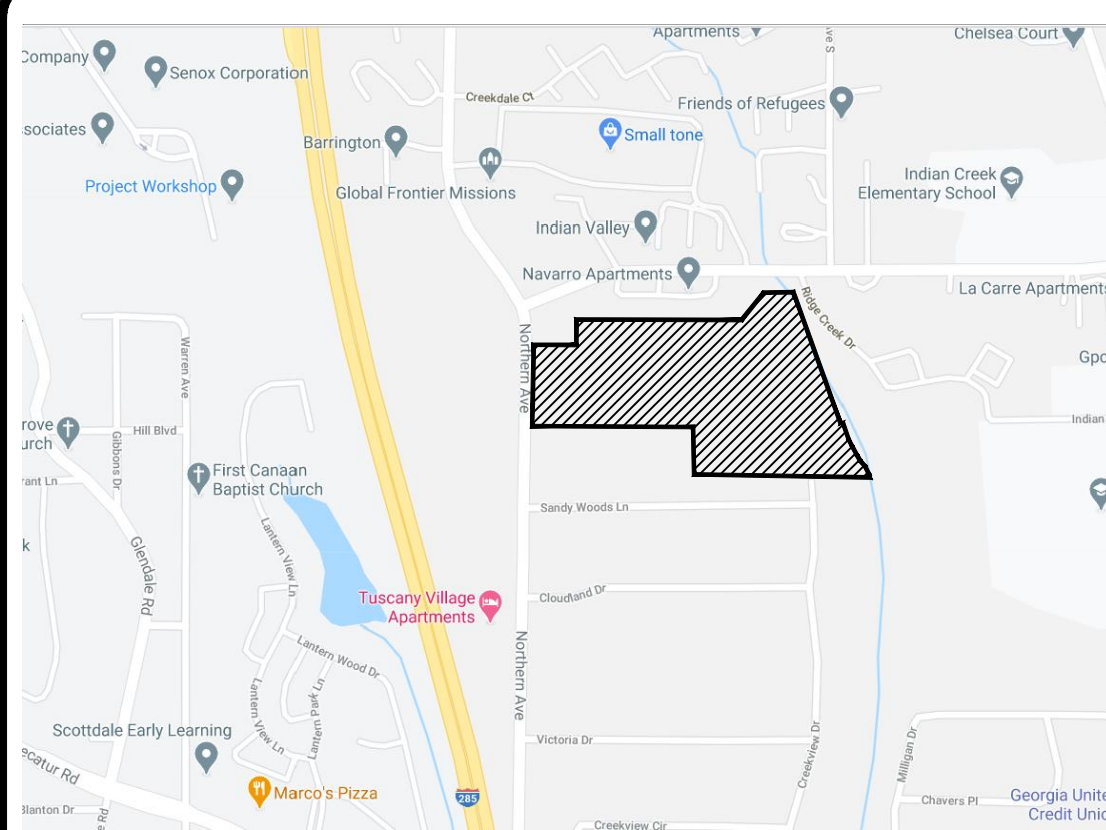
INLINE COMMUNITIES & CHICAGO TITLE INSUARCNCE COMAPNY



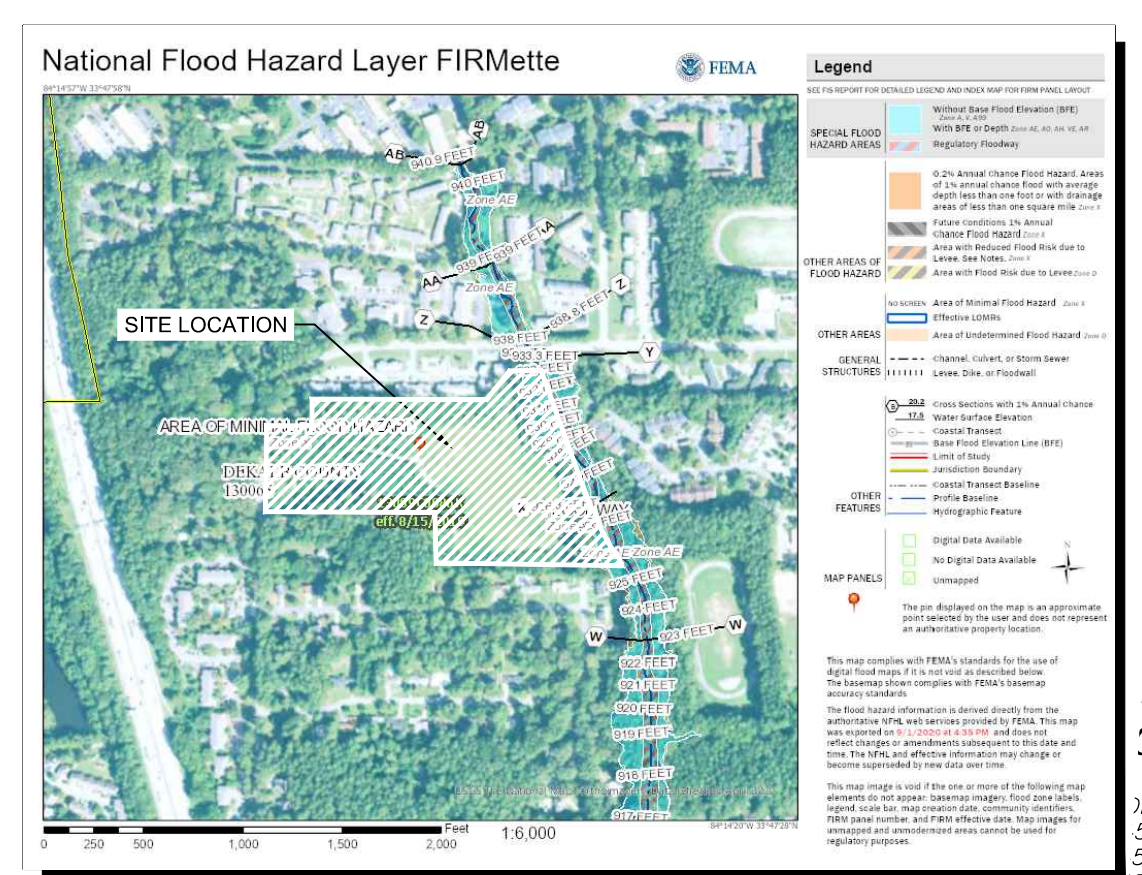
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U:\p\c\l\2021\20210209\SSD\Drawings\20192.00 LOT COMBINATION.dwg - T03m - 1/18/2022 9:28 AM



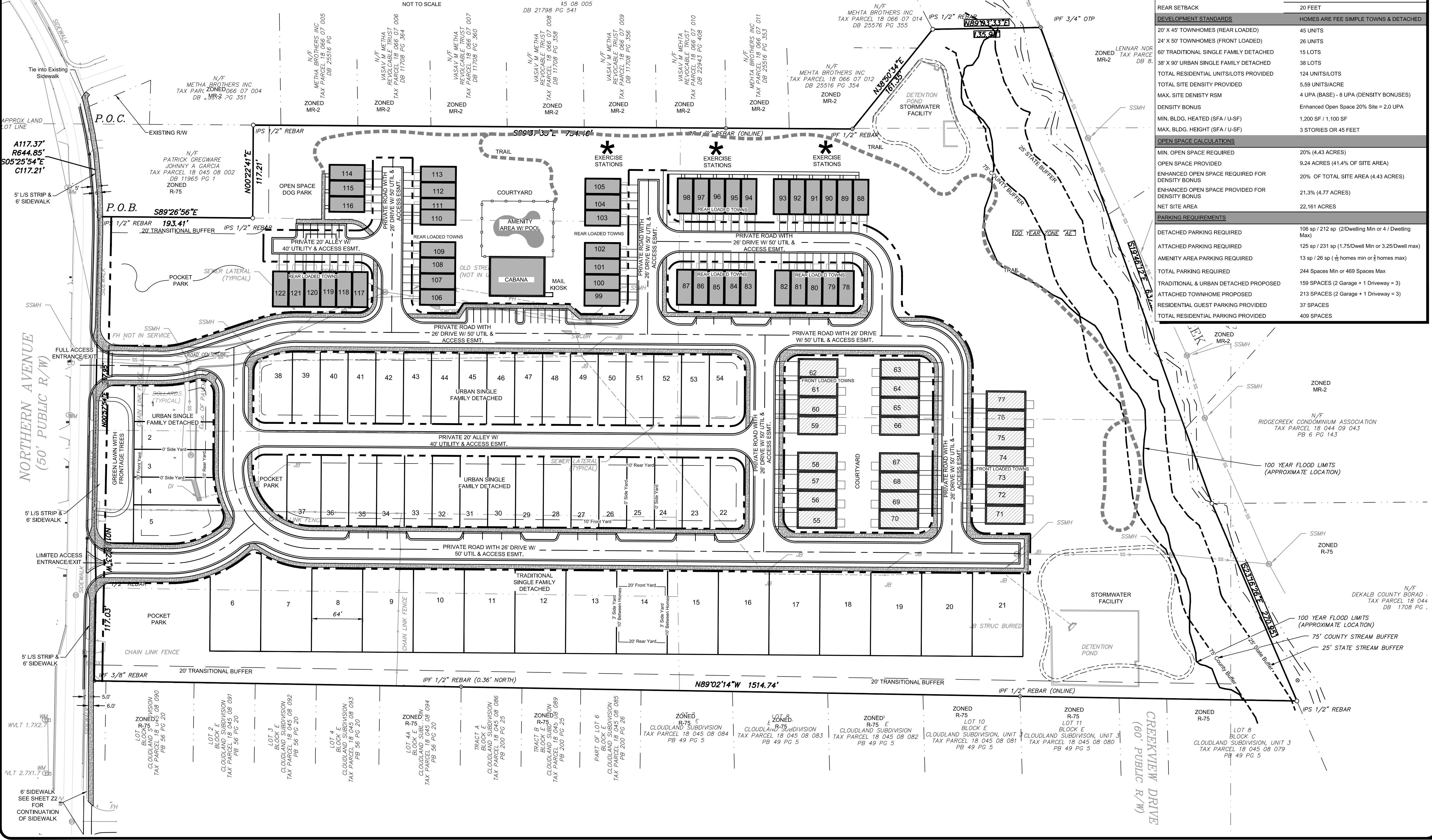
SITE LOCATION MAP
NOT TO SCALE



FEMA FIRMeTte
NOT TO SCALE



24 HOUR CONTACT:
BRYAN MUSOLF
404-895-0913



SITE DATA:	
SITE AREA	22.343 ACRES
EXISTING ZONING	R-75 & MR-2
PROPOSED ZONING	RSM
ZONING JURISDICTION	DEKALB COUNTY, GEORGIA
USE CALCULATIONS	
NET SITE AREA (AFTER R/W TAKING)	22.161 ACRES
SETBACK REQUIREMENTS: TOWNHOMES (SFA)	
FRONT SETBACK (ARTERIAL STREET/LOCAL)	20 FEET (DEVELOPMENT) 10 FEET (LOCAL)
SIDE SETBACK (INTERIOR)	0 FEET (10' BLDG. SEPARATION PROVIDED)
SIDE SETBACK (PUBLIC STREET CORNER)	20 FEET (DEVELOPMENT) 10 FEET (LOCAL)
REAR SETBACK (W/O ALLEY / WITH ALLEY)	15 FEET / 10 FEET
SETBACK REQUIREMENTS: DETACHED (U-SF)	
FRONT SETBACK (MIN/MAX)	15' FRONT LOADED / 10' ALLEY ACCESS
SIDE SETBACK (INTERIOR)	0 FEET / 3' BLDG. SEPARATION
SIDE SETBACK (PUBLIC STREET CORNER)	20 FEET / 10 FEET INTERIOR LOT
REAR SETBACK	20 FEET FRONT LOADED / 10' ALLEY ACCESS
SETBACK REQUIREMENTS: DETACHED (TRAD.)	
FRONT SETBACK	20 FEET
SIDE SETBACK	3 FEET (10 FEET MIN. BETWEEN HOMES)
REAR SETBACK	20 FEET
DEVELOPMENT STANDARDS	
20' X 45' TOWNHOMES (REAR LOADED)	45 UNITS
24' X 50' TOWNHOMES (FRONT LOADED)	26 UNITS
60' TRADITIONAL SINGLE FAMILY DETACHED	15 LOTS
38' X 90' URBAN SINGLE FAMILY DETACHED	38 LOTS
TOTAL RESIDENTIAL UNITS/LOTS PROVIDED	124 UNITS/LOTS
TOTAL SITE DENSITY PROVIDED	5.59 UNITS/ACRE
MAX. SITE DENSITY RSM	4 UPA (BASE) - 8 UPA (DENSITY BONUSES)
DENSITY BONUS	Enhanced Open Space 20% Site = 2.0 UPA
MIN. BLDG. HEATED (SFA / U-SF)	1,200 SF / 1,100 SF
MAX. BLDG. HEIGHT (SFA / U-SF)	3 STORIES OR 45 FEET
OPEN SPACE CALCULATIONS	
MIN. OPEN SPACE REQUIRED	20% (4.43 ACRES)
OPEN SPACE PROVIDED	9.24 ACRES (41.4% OF SITE AREA)
ENHANCED OPEN SPACE REQUIRED FOR DENSITY BONUS	20% OF TOTAL SITE AREA (4.43 ACRES)
ENHANCED OPEN SPACE PROVIDED FOR DENSITY BONUS	21.3% (4.77 ACRES)
NET SITE AREA	22.161 ACRES
PARKING REQUIREMENTS	
DETACHED PARKING REQUIRED	106 sp / 212 sp (2/Dwelling Min or 4 / Dwelling Max)
ATTACHED PARKING REQUIRED	125 sp / 231 sp (1.75/Dwell Min or 3.25/Dwell max)
AMENITY AREA PARKING REQUIRED	13 sp / 26 sp (1/2 homes min or 2 homes max)
TOTAL PARKING REQUIRED	244 Spaces Min or 469 Spaces Max
TRADITIONAL & URBAN DETACHED PROPOSED	169 SPACES (2 Garage + 1 Driveway = 3)
ATTACHED TOWNHOME PROPOSED	213 SPACES (2 Garage + 1 Driveway = 3)
RESIDENTIAL GUEST PARKING PROVIDED	37 SPACES
TOTAL RESIDENTIAL PARKING PROVIDED	409 SPACES

NORTHERN AVE. at INDIAN CREEK WAY
A MASTER PLANNED RESIDENTIAL DEVELOPMENT
FOR
INLINE COMMUNITIES

PLANNERS AND ENGINEERS COLLABORATIVE
SITE PLANNING & LANDSCAPE ARCHITECTURE & CIVIL ENGINEERING & LAND SURVEYING
350 RESEARCH COURT @ PEACHTREE CORNERS, GEORGIA 30092 | (770) 451-2741 | FAX (770) 451-3915

REVISIONS:

NO.	DATE	BY	DESCRIPTION
*1	1/14/2021	PEC	Reduce Density/Add SF
*2	1/22/2021	PEC	Add Additional Detached
*3	2/10/2021	PEC	Reduce Density & Add Open Space/Decal Lanes
*4	2/15/2021	PEC	Staff Comments
*5	3/8/2021	PEC	Reduce Density/Cmts
*6	4/6/2021	PEC	Added Open Space Added more Detached
*7	4/15/2021	PEC	Add Open Space, Detached
*8	4/29/2021	PEC	Added Buffer to south
*9	5/6/2021	PEC	Updated OS calls
*10	5/17/2021	PEC	Median, Islands, Open space
*11	5/24/2021	PEC	Update Offsite Trail
*12	7/8/2021	PEC	Update Open Space/Turn Lanes
*13	7/20/2021	PEC	Update Turn Lanes/Side Walk

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ZONING MASTER PLAN

SCALE: 1" = 60'

DATE: OCTOBER 28, 2020

PROJECT: 20192.00

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.

GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 0000059389 EXP. 10/28/2021

Z1
SHEET

PRODUCTIVE URBAN LANDSCAPE EXHIBIT



A ORCHARD GROVE

GROUPS OF ORCHARDS TREES ARE SCATTERED SURROUNDING THE OPEN LAWN AREA



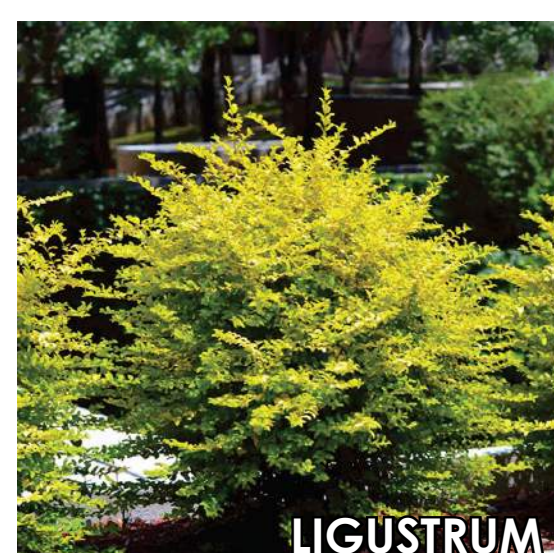
B POLLINATOR GARDEN / EDIBLE ANNUAL BED

POLLINATOR GARDENS ARE SET AT THE ENTRANCE OF THE NEIGHBOURHOOD AND CONSISTS OF SHRUBS, PERENNIALS AND ANNUALS TO PROMOTE BUTTERFLY AND BEE HABITATS WHILE PROVIDING HERBS, VEGETABLES AND FRUITS TO RESIDENTS.



C STREETSCAPE

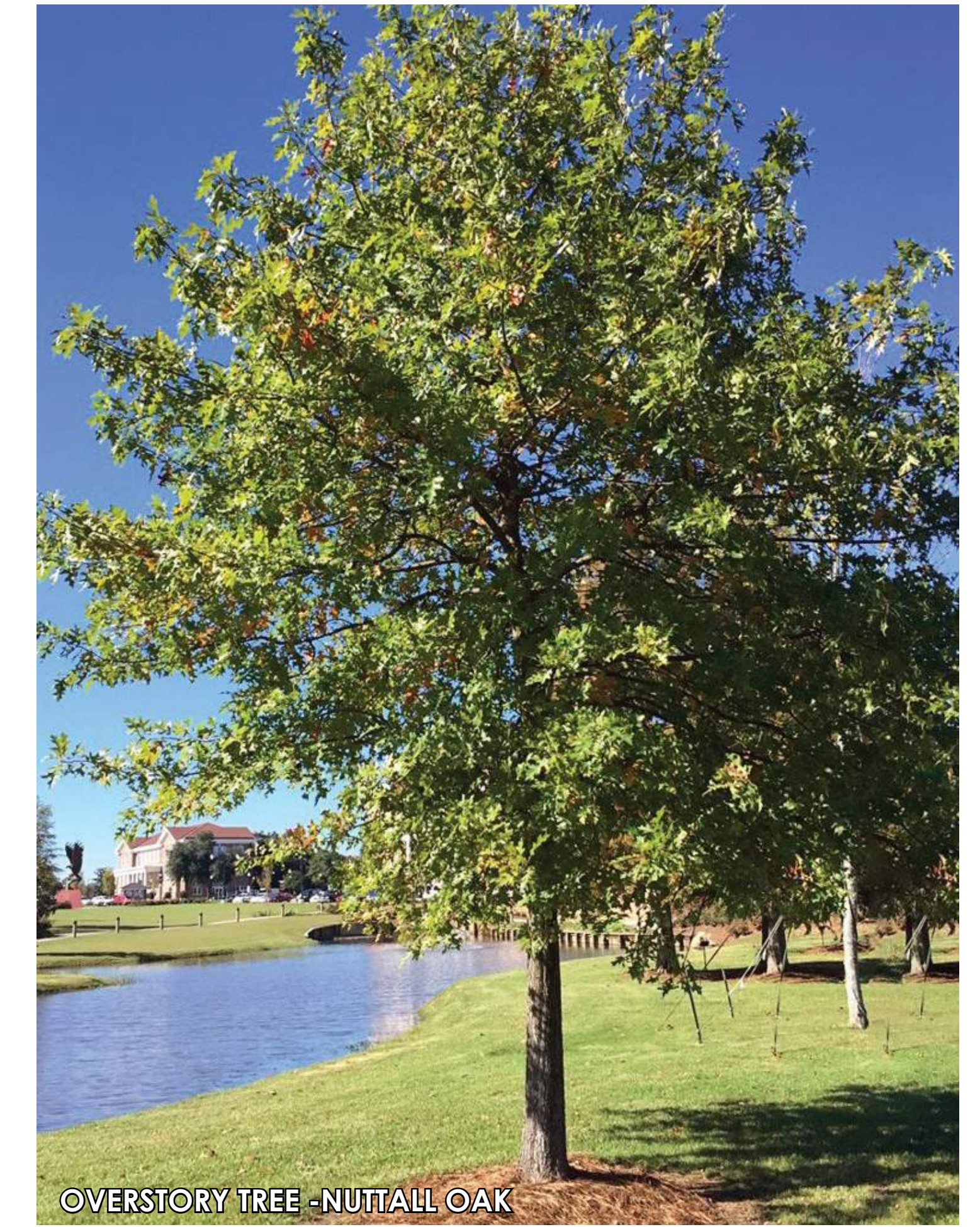
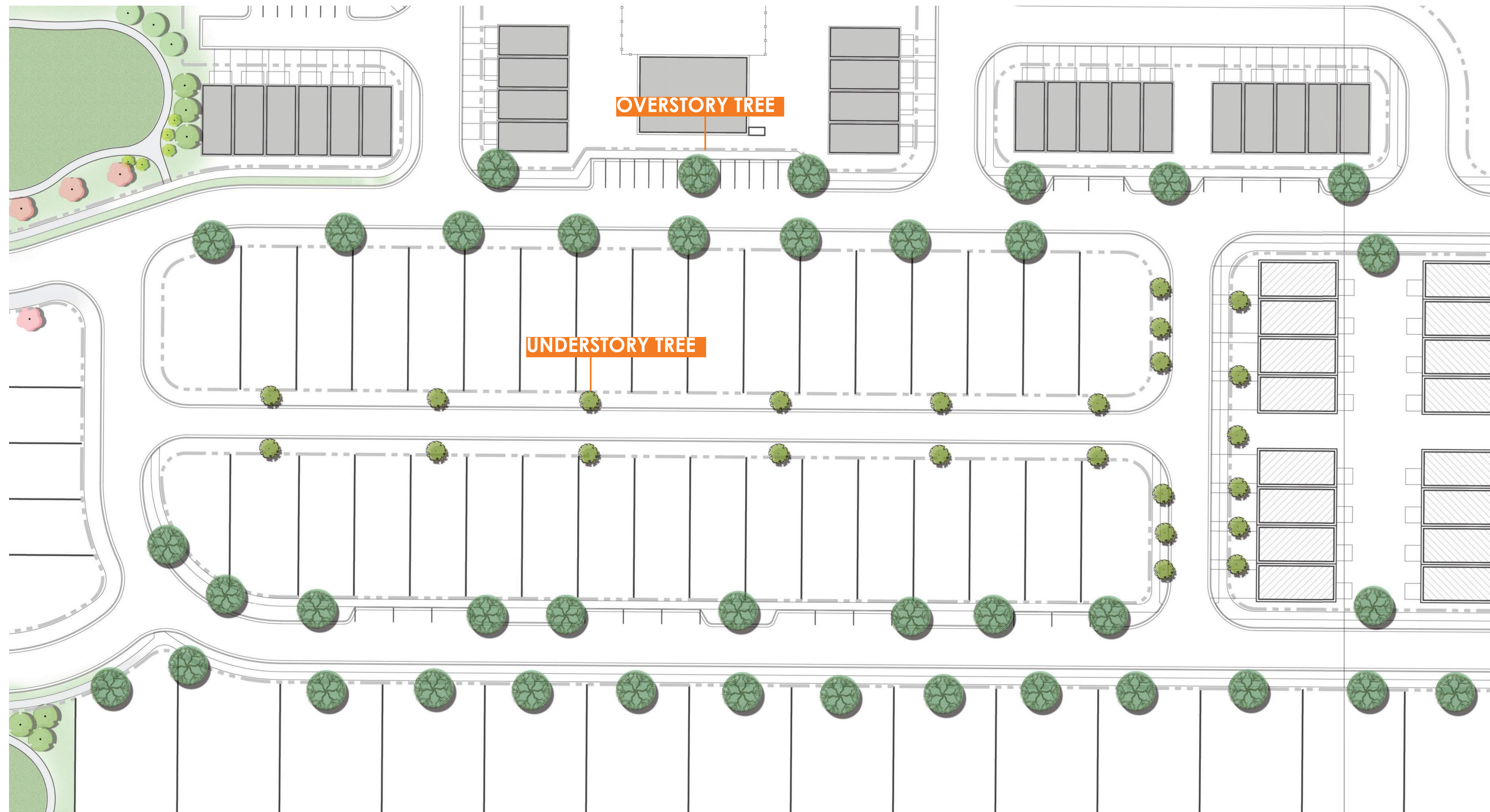
STREETSCAPE CONSISTS OF OVERSTORY TREES, ORNAMENTAL GRASSES, GROUND COVER, FLOWERING EVERGREEN SHRUBS AND EVERGREEN SHRUBS OF INTERESTING FOLIAGES.



NOTE:

1. THE LANDSCAPE PLAN IS FOR DESIGN INTENT ONLY.
2. HOA TO DETERMINE MAINTENANCE CONTRACT FOR EDIBLE LANDSCAPE. DEPENDING ON FINAL PLANTING DESIGN, GARDENS SHALL BE MANAGED BY CONTRACTED LANDSCAPE COMPANY, SPECIALTY LANDSCAPE COMPANY, OR LOCAL PROFESSIONAL.

INTERNAL STREETS LANDSCAPE EXHIBIT



NOTE:
THE LANDSCAPE PLAN IS FOR DESIGN
INTENT ONLY.



24 HOUR CONTACT:
BRYAN MUSOLF
404-895-0913

- POCKET PARK-ENHANCED OPEN SPACE (50,805 SF)
- AMENITY AREA ENHANCED OPEN SPACE (71,279 SF)
- GREENWAY TRAIL-ENHANCED OPEN SPACE (78,572 SF)
- GREEN FRONTAGE -ENHANCED OPEN SPACE (6,967 SF)
- GENERAL OPEN SPACE (195,061 SF)

ENHANCED OPEN SPACE = 4.77ac. (21.3 %)

TOTAL OPEN SPACE SITE = 9.24 ac (41.4 %)

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OPEN SPACE EXHIBIT



SCALE: 1" = 60'
DATE: MARCH 15, 2022
PROJECT: 20192.00

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GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 0000059389 EXP. 10/28/2021

Z3
SHEET

